



**AGENDA**  
**CITY OF LAKE WORTH BEACH**  
**REGULAR CITY COMMISSION MEETING**  
**CASINO BALLROOM**  
**TUESDAY, JUNE 07, 2022 - 6:00 PM**

**ROLL CALL:**

**INVOCATION OR MOMENT OF SILENCE:** led by Vice Mayor Christopher McVoy.

**PLEDGE OF ALLEGIANCE:** led by Commissioner Kimberly Stokes.

**AGENDA - Additions / Deletions / Reordering:**

**PRESENTATIONS:** (there is no public comment on Presentation items)

- A. Proclamation declaring June 2022 as PTSD Awareness Month
- B. Proclamation declaring June 19, 2022 as Juneteenth Day
- C. Proclamation declaring June 6-10, 2022 as Code Enforcement Week

**COMMISSION LIAISON REPORTS AND COMMENTS:**

**CITY MANAGER'S REPORT:**

**PUBLIC PARTICIPATION OF NON-AGENDAED ITEMS AND CONSENT AGENDA:**

**APPROVAL OF MINUTES:**

- A. [Regular Meeting - May 3, 2022](#)
- B. [Work Session - May 9, 2022](#)
- C. [Pre-Agenda work session - May 11, 2022](#)

**CONSENT AGENDA:** (public comment allowed during Public Participation of Non-Agendaed items)

- A. [Legal Agreement with GreenbergTraurig to serve as third-party negotiators for the Gulfstream Hotel Project](#)

**NEW BUSINESS:**

- A. [Ordinance No. 2022-09 – First Reading – amending the City's Official Zoning Map by approving the creation of a Mixed Use Urban Planned Development \(The Gulfstream Hotel\) located primarily at 1 Lake Avenue](#)

**CITY ATTORNEY'S REPORT:**

**UPCOMING MEETINGS AND WORK SESSIONS:**

June 8 - pre-agenda work session @ 9 AM  
June 11 - special meeting @ 10 AM (advisory board interviews)  
June 16 - Mayor's State of the City address @ 6 PM  
June 21 - regular meeting @ 6 PM

[Draft Agenda - June 21, 2022](#)

**ADJOURNMENT:**

The City Commission has adopted Rules of Decorum for Citizen Participation (See Resolution No. 25-2021). The Rules of Decorum are posted within the City Hall Chambers, City Hall Conference Room, posted online at: <https://lakeworthbeachfl.gov/government/virtual-meetings/>, and available through the City Clerk's office. Compliance with the Rules of Decorum is expected and appreciated.

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

**MINUTES  
CITY OF LAKE WORTH BEACH  
REGULAR CITY COMMISSION MEETING  
CITY HALL COMMISSION CHAMBER  
TUESDAY, MAY 3, 2022 – 6:00 PM**

The meeting was called to order by Mayor Resch on the above date at 6:02 PM in the City Commission Chamber located at City Hall, 7 North Dixie Highway, Lake Worth Beach, Florida.

**ROLL CALL:** (00:09) Present were Mayor Betty Resch, Vice Mayor Christopher McVoy (arrived at 6:06 PM), Commissioners Sarah Malega, Kimberly Stokes (arrived at 6:05 PM) and Reinaldo Diaz. Also present were City Manager Carmen Davis, City Attorney Glen Torcivia and Deputy City Clerk Shayla Ellis.

**INVOCATION OR MOMENT OF SILENCE:** (00:32) led by Commissioner Reinaldo Diaz.

**PLEDGE OF ALLEGIANCE:** (01:08) led by Commissioner Reinaldo Diaz.

**ADDITIONS/DELETIONS/REORDERING** (01:14)

There were no changes to the agenda.

**Action:** Motion made by Commissioner Malega and seconded by Commissioner Diaz to approve the agenda as is.

**Vote:** Voice vote showed: AYES: Mayor Betty Resch, Commissioners Sarah Malega and Reinaldo Diaz. NAYS: None. ABSENT: Vice Mayor Christopher McVoy & Commissioner Kimberly Stokes.

**PRESENTATIONS:** (01:48) (there is no public comment on Presentation items)

- A. Presentation regarding redistricting by Steven C. Bourassa, Ph.D., Chair of FAU's Department of Urban and Regional Planning and James Gammack-Clark, Senior Instructor in FAU's Department of Geosciences (2:04)
- B. Proclamation declaring May 2022 as Mental Health Awareness Month (25:30)
- C. Proclamation declaring May 1-7, 2022 as Professional Municipal Clerks Week (32:12)

**COMMISSION LIAISON REPORTS AND COMMENTS:** (34:15)

**CITY MANAGER'S REPORT:** (50:08)

City Manager Davis provided the following report:

- discussed the opening of the City Hall Annex for issuing new beach passes to residents who cannot get them online.

- attended the April 30 charette which had a large attendance; there would be a work-in-progress presentation on May 18<sup>th</sup> in the Commission Chambers.
- attended the April 28 Moody's rating interview for the Utility bond that went very well.
- would be attending the May NAPC meeting.
- congratulated Peter Ringle, Building Official, on his appointment to the BCAIB by the Governor. (1:11:08)

**PUBLIC PARTICIPATION OF NON-AGENDAED ITEMS AND CONSENT AGENDA:** (51:50)

**APPROVAL OF MINUTES:** (1:12:19)

**Action:** Motion made by Commissioner Stokes and seconded by Commissioner Diaz to approve the following minutes:

- A. Work Session - April 11, 2022
- B. Pre-Agenda work session - April 13, 2022
- C. Regular Meeting - April 19, 2022

**Vote:** Voice vote showed: AYES: Mayor Betty Resch, Vice Mayor Christopher McVoy, and Commissioners Sarah Malega, Kimberly Stokes and Reinaldo Diaz. NAYS: None.

**CONSENT AGENDA:** (1:12:28)

**Action:** Motion made by Commissioner Stokes and seconded by Commissioner Malega to approve the Consent Agenda:

- A. Proclamation declaring May 2022 as Hepatitis Awareness Month
- B. Resolution No. 29-2022 – Budget Amendment to transfer \$3,000 from the Tree Canopy Restoration Fund to the Grounds Maintenance operating account
- C. Resolution No. 30-2022 – recognizing the 50th Anniversary of the Florida Association of City Clerks (FACC)
- D. Payments of Fiscal Year 2021 Invoices

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy, and Commissioners Malega, Stokes and Diaz. NAYS: None.

**PUBLIC HEARINGS:** (1:12:45)

- A. Ordinance No. 2022-05 – Second Reading - revised Municipal Cemetery Ordinance

City Attorney Torcivia read the ordinance by title only.

ORDINANCE NO. 05 – 2022 – AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF LAKE WORTH BEACH, FLORIDA, AMENDING CHAPTER 10 “CEMETERIES,” TO UPDATE AND STREAMLINE THE ORDINANCE; PROVIDING FOR SEVERABILITY, CONFLICTS, CODIFICATION, AND AN EFFECTIVE DATE

**Action:** Motion made by Commissioner Malega and seconded by Commissioner Stokes to approve Ordinance No. 2022-05 – Second Reading - revised Municipal Cemetery Ordinance

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy and Commissioners Malega, Stokes and Diaz. NAYS: None.

**NEW BUSINESS:** (1:13:40)

A. Resolution No. 31-2022 - Revised Municipal Cemetery Rules and Regulations (1:13:44)

City Attorney Torcivia did not read the resolution.

RESOLUTION NO. 31-2022 OF THE CITY OF LAKE WORTH BEACH, FLORIDA, ADOPTING AMENDMENTS TO THE CITY OF LAKE WORTH BEACH MUNICIPAL CEMETERY RULES AND REGULATIONS; AND PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE

**Action:** Motion made by Commissioner Malega and seconded by Commissioner Stokes to approve Resolution No. 31-2022 - Revised Municipal Cemetery Rules and Regulations.

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy and Commissioners Malega, Stokes and Diaz. NAYS: None.

B. First Amendment to the Agreement with RSM US LLP for the annual independent financial auditing services. (1:15:26)

**Action:** Motion made by Vice Mayor McVoy and seconded by Commissioner Diaz to approve the First Amendment to the Agreement with RSM US LLP for the annual independent financial auditing services.

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy and Commissioners Malega, Stokes and Diaz. NAYS: None.

C. Ordinance No. 10-2022 – First Reading – Notice Requirements for Rental Increases and Termination of Monthly Non-Residential Tenancies Without a Specific Duration (1:17:26)

City Attorney Torcivia read the ordinance by title only.

ORDINANCE 10 – 2022 – AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF LAKE WORTH BEACH, FLORIDA, AMENDING CHAPTER 20, “CIVIL RIGHTS,” ARTICLE IV, “LANDLORD TENANT NOTICE REQUIREMENTS,” BY ADOPTING SECTION 20-22 “NOTICE OF TERMINATION OF MONTHLY NON-RESIDENTIAL TENANCY WITHOUT SPECIFIC DURATION” AND SECTION 20-23 “WRITTEN NOTIFICATION REQUIREMENTS RELATED TO RENTAL PAYMENT INCREASES FOR ALL NON-RESIDENTIAL TENANCIES,” TO REQUIRE 60-DAYS’ WRITTEN NOTICE FOR TERMINATION OF TENANCIES AND INCREASES IN RENTAL RATES; PROVIDING FOR SEVERABILITY, CONFLICTS, CODIFICATION, AND AN EFFECTIVE DATE

**Action:** Motion made by Vice Mayor McVoy and seconded by Commissioner Malega to amend Ordinance 10-2022 by changing the required noticing time-period from 60 days to 180 days and to set the second reading and public hearing for May 19, 2022.

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy and Commissioners Malega, Stokes and Diaz. NAYS: None.

**Action:** Consensus to develop an Ordinance regarding the standardizing of the “For Rent” signs in the city to be brought forth at a future meeting. (1:35:27)

**CITY ATTORNEY'S REPORT:**

City Attorney Torcivia did not provide a report.

**UPCOMING MEETINGS AND WORK SESSIONS:**

May 9 - work session @ 5 PM  
May 11 - pre-agenda work session @ 9 AM  
May 18 – special meeting @ 6 PM  
May 19 - regular meeting @ 6 PM

Draft Agenda - May 17, 2022

**ADJOURNMENT:** (1:37:03)

**Action:** Motion made by Commissioner Stokes and seconded by Commissioner Malega to adjourn the meeting at 7:39 PM.

**Vote:** Voice vote showed: AYES: Mayor Resch, Vice Mayor McVoy and Commissioners Malega, Stokes and Diaz. NAYS: None.

\_\_\_\_\_  
Betty Resch, Mayor

ATTEST:

\_\_\_\_\_  
Melissa Ann Coyne, City Clerk

Minutes approved June 21, 2022.

Item time stamps refer to the recording of the meeting which is available on YouTube.

**MINUTES  
CITY OF LAKE WORTH BEACH  
CITY COMMISSION WORK SESSION – FEDERAL HIGHWAY/PARKING  
CITY HALL COMMISSION CHAMBER  
MONDAY, MAY 09, 2022 - 5:00 PM**

The meeting was called to order by Mayor Resch on the above date at 5:02 PM in the City Commission Chamber located at City Hall, 7 North Dixie Highway, Lake Worth Beach, Florida.

**ROLL CALL:** (0:25) Present were Mayor Betty Resch; Vice Mayor Christopher McVoy and Commissioners Sarah Malega, Kimberly Stokes, and Reinaldo Diaz. Also present were City Manager Carmen Davis and Deputy City Clerk Shayla Ellis.

**PLEDGE OF ALLEGIANCE:** (0:45) led by Commissioner Kimberly Stokes.

**UPDATES / FUTURE ACTION / DIRECTION**

A. Discussion by City Commission regarding Federal Highway update. (05:25)

**Action:** Consensus to have Florida Department of Transportation (FDOT) & City Staff look at a more creative way to ensure the safety of the corridor while creating a better aesthetic for the City. (1:33:15)

B. Discussion of downtown parking study (deleted)

**ADJOURNMENT:** (01:44:50)

The meeting adjourned at 6:46 PM.

\_\_\_\_\_  
Betty Resch, Mayor

ATTEST:

\_\_\_\_\_  
Melissa Ann Coyne, City Clerk

Minutes Approved: June 7, 2022

Item time stamps refer to the recording of the meeting which is available on YouTube.

**MINUTES  
CITY OF LAKE WORTH BEACH  
CITY COMMISSION PRE-AGENDA WORK SESSION  
CITY HALL COMMISSION CHAMBER  
WEDNESDAY, MAY 11, 2022 - 9:00 AM**

The meeting was called to order by Mayor Resch on the above date at 9:03 AM in the City Commission Chamber located at City Hall, 7 North Dixie Highway, Lake Worth Beach, Florida.

**ROLL CALL:** (0:12) Present were Mayor Betty Resch; Vice Mayor Christopher McVoy, Commissioners Sarah Malega, Kimberly Stokes, and Reinaldo Diaz. Also present were City Manager Carmen Davis, City Attorney Glen Torcivia, and City Clerk Melissa Ann Coyne.

**UPDATES / FUTURE ACTION / DIRECTION:** (0:31)

**Action:** Consensus to have City Attorney Torcivia speak with each commissioner regarding tenant protections and then bring an item to a meeting in June. (6:56)

**Action:** Consensus to add an item regarding a third-party negotiator for the Gulfstream Hotel project to the May 19 meeting. (29:00)

**ADJOURNMENT:** (43:19)

The meeting adjourned at 9:46 AM.

\_\_\_\_\_  
Betty Resch, Mayor

ATTEST:

\_\_\_\_\_  
Melissa Ann Coyne, City Clerk

Minutes Approved: June 7, 2022

Item time stamps refer to the recording of the meeting which is available on YouTube.



# EXECUTIVE BRIEF REGULAR MEETING

**AGENDA DATE:** June 7, 2022

**DEPARTMENT:** City Attorney

**TITLE:**

Legal Agreement with GreenbergTraurig to serve as third-party negotiators for the Gulfstream Hotel Project

**SUMMARY:**

The City Commission directed that a legal agreement be brought forth regarding the third-party negotiator for the Gulfstream Hotel project.

**BACKGROUND AND JUSTIFICATION:**

At the May 19, 2022 City Commission meeting, four candidates were interviewed and considered to act as the third-party negotiator for the economic portion of the Gulfstream Hotel project. The candidates were short-listed to two firms at the May 24, 2022 Special City Commission Meeting; Robert Sanders and Phillip Hutchinson of GreenbergTraurig were chosen as the city's negotiators.

**MOTION:**

Move to approve/disapprove the Legal Agreement with GreenbergTraurig to serve as third-party negotiators for the Gulfstream Hotel Project, at a cost not to exceed \$35,000.

**ATTACHMENT(S):**

Fiscal Impact Analysis  
Agreement (will be provided prior to the meeting)

**FISCAL IMPACT ANALYSIS**

**A. Five Year Summary of Fiscal Impact:**

<b>Fiscal Years</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>	<b>2026</b>
Capital Expenditures	0	0	0	0	0
Operating Expenditures	35,000	0	0	0	0
External Revenues	0	0	0	0	0
Program Income	0	0	0	0	0
In-kind Match	0	0	0	0	0
<b>Net Fiscal Impact</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>No. of Addn'l Full-Time Employee Positions</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

**B. Recommended Sources of Funds/Summary of Fiscal Impact:**

Account Number	Department Name	Division Name	Account Description	Project Number	FY22 Budget	Current Balance	Budget Transfer	Agenda Expenditure	Balance
001-9010-519.34-50	Non-Departmental	Non-Departmental	Contractual Services/Other Contractual Services	N/A	302,099	53,956	0	35,000	18,956

**CITY OF LAKE WORTH BEACH  
STANDARD AGREEMENT FOR LEGAL SERVICES**

This Standard Agreement (“Agreement”) is made as of the \_\_\_\_\_ day of \_\_\_\_\_, 2022, by and between the **City of Lake Worth Beach**, a Florida Municipal Corporation, whose mailing address is 7 North Dixie Highway, Lake Worth, Florida 33460 (“City”) and **Greenberg Traurig, P.A.**, whose mailing address is 777 South Flagler Drive, Suite 300, West Palm Beach, FL 33401 (“Firm”).

In consideration of the mutual promises contained in this Agreement, the City and Firm agree as follows:

**SECTION 1 – SCOPE OF SERVICES AND TERM**

1.1 The City engages the Firm to provide legal services in regard to negotiating with the owners and developers of the Gulfstream Hotel and such other matters as assigned. Either the City or the Firm may terminate this Agreement at any time upon written notice to the other. Termination of this Agreement shall not affect any rights, obligations, and liabilities of the parties arising out of transactions which occurred prior to termination.

**SECTION 2 – REMEDIES**

2.1 This Agreement shall be governed by the laws of the State of Florida. Any and all legal action necessary to enforce the Agreement will be held in Palm Beach County, Florida. No remedy herein conferred upon any party is intended to be exclusive of any other remedy, and each and every such remedy shall be cumulative and shall be in addition to every other remedy given hereunder, now, or hereafter existing at law or in equity or by statute or otherwise.

**SECTION 3 – WAIVER OF JURY TRIAL AND ENFORCEMENT COSTS**

3.1 WAIVER OF JURY TRIAL. TO ENCOURAGE PROMPT AND EQUITABLE RESOLUTION OF ANY LITIGATION, EACH PARTY HEREBY WAIVES ITS RIGHTS TO A TRIAL BY JURY IN ANY LITIGATION RELATED TO THIS AGREEMENT.

3.2 If any legal action or other proceeding is brought for the enforcement of the Agreement, or because of an alleged dispute, breach, default, or misrepresentation in connection with any provisions of the Agreement, the parties agree that each party shall be responsible for its own attorney’s fees.

**SECTION 4 - AUTHORITY TO PRACTICE**

4.1 The Firm hereby represents and warrants that it has and will continue to maintain all licenses and approvals required to conduct its business, and that it will at all times conduct its business activities in a reputable manner and in accordance with applicable law. Proof of such licenses and approvals shall be submitted to the City upon request.

**SECTION 5 – SEVERABILITY**

5.1 If any term or provision of the Agreement, or the application thereof to any person or circumstances shall, to any extent, be held invalid or unenforceable, to remainder of the Agreement, or the application of such terms or provision, to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected, and every other term and provision of the Agreement shall be deemed valid and enforceable to the extent permitted by law.

**SECTION 6 - PUBLIC ENTITY CRIMES**

6.1 As provided in Sections 287.132-133, Florida Statutes, as amended from time to time, by entering into the Agreement, Firm certifies that it, its affiliates, suppliers, subcontractors and any other contractors who will perform hereunder, have not been placed on the convicted vendor list maintained by the State of

Florida Department of Management Services within the thirty-six (36) months immediately preceding the date hereof.

#### **SECTION 7 - ENTIRETY OF CONTRACTUAL AGREEMENT**

7.1 The City and Firm agree that this Agreement sets forth the entire contract between the parties, and that there are no promises or understandings other than those stated herein. None of the provisions, terms and conditions contained in this Agreement may be added to, modified, superseded, or otherwise altered, except by written instrument executed by the parties hereto.

#### **SECTION 8 – WAIVER**

8.1 Failure of either party to enforce or exercise any right(s) under the Agreement shall not be deemed a waiver of either party's right to enforce or exercise said right(s) at any time thereafter.

#### **SECTION 9 – COMPLIANCE**

9.1 Each of the parties agrees to perform its obligations under the Agreement in conformance with all laws, regulations and administrative instructions that relate to the parties' performance of the Agreement. In the event that either party becomes aware of a possible violation of law, regulation or administrative instruction that might affect the validity or legality of the services provided under the Agreement, such party shall immediately notify the other party and the parties shall agree on appropriate corrective action. In the event either party becomes aware that any investigation or proceeding has been initiated with respect to any of the services provided hereunder, such party shall immediately notify the other party.

#### **SECTION 10 – EFFECTIVENESS, COUNTERPARTS AND PALM BEACH COUNTY IG**

10.1 This Agreement is effective as of May 25, 2022. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and will become effective and binding upon the parties as of the effective date at such time as all the signatories hereto have signed a counterpart of this Agreement.

10.2 This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and will become effective and binding on the City and Firm at such time as both have executed a counterpart of this Agreement.

10.3 In accordance with Palm Beach County ordinance number 2011-009, this Agreement and the Agreement may be subject to investigation and/or audit by the Palm Beach County Inspector General. Firm should review Palm Beach County ordinance number 2011-009 in order to be aware of its rights and/or obligations under such ordinance and as applicable.

#### **SECTION 11 – INDEPENDENT CONTRACTOR**

11.1 No relationship of employer or employee is created by this Agreement, it being understood that Firm will act hereunder as an independent contractor and none of the Firm's, officers, directors, employees, independent contractors, representatives, or agents performing services for Firm pursuant to this Agreement shall have any claim against the City for compensation of any kind under this Agreement. The relationship between the City and Firm is that of independent contractors, and neither shall be considered a joint venturer, partner, employee, agent, representative or other relationship of the other for any purpose expressly or by implication.

#### **SECTION 12 – COMPENSATION AND INVOICING**

12.1 The City shall compensate the Firm on an hourly basis for legal services provided. The hourly rates of the Firm are as follows: \$390.00 per hour for Robert Sanders; and \$375.00 per hour for Phillip H. Hutchinson and any other attorneys of the Firm.

12.2 The Firm shall render monthly invoices to the City for services that have been rendered in conformity with this Agreement in the previous month. Invoices will normally be paid within thirty (30) days following the City's receipt of the Firm's invoice.

12.3 The total compensation to be paid to the Firm under this Agreement (including all amendments thereto) shall not exceed \$35,000 unless an amendment to this Agreement is approved by the City Commission and executed by the Mayor and City Clerk. However, this is a non-exclusive Agreement, and the City does not guarantee any level or amount of services hereunder or that the City will not terminate this Agreement before all services are utilized.

12.4 All invoices must be submitted to the Finance Department, 7 North Dixie Highway, Lake Worth, FL 33460, on a monthly basis for review and approval prior to payment. Invoices should be itemized to specifically and concisely identify each task performed and should reflect the actual time spent on each task, using 1/10 of an hour increments. The City does not accept grouping of activities or "block billing." Each task must be billed separately, and each billing entry must be sufficiently descriptive so that it can be determined exactly what professional service was provided and the appropriateness of the related time charge can be assessed. Additionally, the personnel who perform each task must be specified together with their hourly rate. Any other type of billing or timekeeping, which allows compensation for time not actually spent by the Firm, is not permitted by the City.

12.6 The City will reimburse the Firm for any out-of-pocket expenses, including, but not limited to, filing fees, long distance telephone charges, postage charges, courier fees, outside printing, photocopying, court reporting and transcription fees. Payment for some of these fees is outlined more specifically below.

- (a) In-house photocopying will be paid at the rate of ten cents (.10) per page. (It would be helpful if each invoice specified the number of copies for which reimbursement is sought).
- (b) The City will not pay for local facsimile transmissions.
- (c) Long distance telephone calls must state the number of calls, date, length of call, and per minute cost.
- (d) Any travel, per diem, mileage, or meal expenses, which may be reimbursable, must be approved in advance (orally) and will be paid in accordance with the rates and conditions set forth in Section 112.061, Florida Statutes.
- (e) The City does not pay for local travel (Palm Beach County), including, but not limited to, attorney's time for such local travel and/or reimbursement for meals.
- (f) For all disbursements, the City requires copies of paid receipts, invoices, or other documentation acceptable to the City of Lake Worth Finance Department. Such documentation must be sufficient to establish that the expense was actually incurred and necessary in the performance of legal services provided.
- (g) The City will not be responsible for the cost of any computerized legal research service that the Firm receives on a fixed or "flat fee" basis. For payment of computerized research on a "per minute" basis, the City requires copies of transaction reports indicating the total time for each research session, the charge per minute, and a brief description of the issues researched. Any extensive research project (research in excess of three hours whether said research is performed during one session or over several sessions or which is likely to exceed \$300) must

be discussed with and approved in advance. Since assignments are made to firms which have been selected for their expertise in particular areas of law, the City will not pay for research that is routine in nature. The City will pay only for updating and Shepardizing existing research and/or fact specific research.

**SECTION 13 - INSURANCE**

13.1 The Firm shall maintain during the term of this Agreement all insurance coverage as required hereunder. Such insurance policy(s) shall be issued by the United States Treasury or insurance carriers approved and authorized to do business in the State of Florida, and who must have a rating of no less than “excellent” by A.M. Best or as mutually agreed upon by the City and the Firm.

<u><b>Type of Coverage</b></u>	<u><b>Amount of Coverage</b></u>
<b>Professional liability/ Errors and Omissions</b>	\$300,000 annual aggregate
<b>Commercial General Liability Insurance</b>	\$1,000,000 per occurrence \$2,000,000 aggregate
<b>Automobile Liability (optional /per case basis)</b>	\$1,000,000 combined Single Limit
<b>Workers’ Compensation</b>	Must be in accordance with State and Federal Laws (no minimum amount)

Proof of all insurance coverage shall be furnished to the City by way of an endorsement to same or certificate of insurance upon request by the City. The City shall be identified as an “Additional Insured” on general and auto liability. Failure to comply with the foregoing requirements shall not relieve Firm of its liability and obligations under this Agreement.

**SECTION 14 – PUBLIC RECORDS**

14.1 The Firm shall comply with Florida’s Public Records Act, Chapter 119, Florida Statutes, and, if determined to be acting on behalf of the City as provided under section 119.011(2), Florida Statutes, specifically agrees to:

- (a) Keep and maintain public records required by the City to perform the service.
- (b) Upon request from the City’s custodian of public records or designee, provide the City with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119, Florida Statutes, or as otherwise provided by law.
- (c) Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of this Agreement and following completion of this Agreement if the Firm does not transfer the records to the City.
- (d) Upon completion of this Agreement, transfer, at no cost, to the City all public records in possession of the Firm or keep and maintain public records required by the City to perform the service. If the Firm transfers all public records to the City upon completion of the Agreement, the Firm shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the Firm keeps and maintains public records upon

completion of the Agreement, the Firm shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the City, upon request from the City's custodian of public records or designee, in a format that is compatible with the information technology systems of the City.

**IF THE FIRM HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE FIRM'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS OR DESIGNEE AT (561) 586-1660, mcoyne@lakeworthbeachfl.gov, or 7 North Dixie Highway, Lake Worth, FL 33460.**

IN WITNESS WHEREOF, the parties hereto have caused this Standard Agreement for Legal Services to be executed as of the day and year set forth above.

**CITY OF LAKE WORTH BEACH**

ATTESTS:

By: \_\_\_\_\_  
Melissa A. Coyne, City Clerk

By: \_\_\_\_\_  
Betty Resch, Mayor

APPROVED AS TO FORM AND  
LEGAL SUFFICIENCY

By: \_\_\_\_\_  
Glen J. Torcivia, City Attorney

**Greenberg Traurig, P.A.**

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

[Corporate Seal]

## **Addendum to the Agreement for Legal Services for the City of Lake Worth Beach**

THIS ADDENDUM TO THE AGREEMENT FOR LEGAL SERVICES FOR THE CITY OF LAKE WORTH BEACH ("**Addendum**"), dated June \_\_\_, 2022, is executed and agreed to by the **City of Lake Worth Beach**, a Florida Municipal Corporation whose address is 7 North Dixie Highway, Lake Worth, Florida 33460 ("You" or "Client") and **Greenberg Traurig, P.A.**, whose mailing address is 777 South Flagler Drive, Suite 300, West Palm Beach, FL 33401 ("GT").

City and Firm are entering into an Agreement for Legal Services (the "**Contract**"). This Addendum, which is incorporated into the Contract, amends the Contract as provided herein.

### **Conflicts**

GT represents a broad group and spectrum of clients in a variety of legal matters. As a result, conflicts of interest may arise which, absent an effective conflict waiver, may adversely affect our ability to represent you or your affiliates in pending or future matters and your ability and that of other clients or potential clients to engage GT as their counsel. We wish to be fair to all clients, and to assure that they have the right and ability to use us or any other counsel of their choice. Accordingly, this Agreement confirms that:

#### **1. consent and waiver**

You are comfortable (after having had sufficient opportunity to consider this Agreement and consult independent counsel to the extent you may wish) that you are adequately informed about the possibility and nature of such conflicts and potential conflicts and of the risks and consequences of them. Therefore, on the conditions stated in this paragraph, you, for yourself and your affiliates, to the fullest extent legally and ethically permissible: [i] waive any such actual or potential conflict which may be presented or occur as a result of this engagement; [ii] consent to GT's representation now or in the future of other present or future clients on any other matter, whether or not adverse to you or any of your affiliates (including without limitation in transactions, litigation, and other legal or ethical matters) except as stated below ("*Permitted Adverse Representation*"); and [iii] promise not to assert that this engagement or any other GT representation of you or your affiliates provides a basis for disqualifying GT from representing any other party in any "Permitted Adverse Representation" or creates or supports any claim of breach of duty against GT.

##### **a. conditions.**

The foregoing waiver, consent and promise are conditioned upon GT's agreement, confirmed hereby, that GT: [i] will not represent another client adverse to you in a matter substantially related to the Subject Matter or to any other matter in which GT is representing or has represented you or your affiliates; [ii] will screen those attorneys representing you or your affiliates from those attorneys representing other clients adverse to you or your affiliates; [iii] not use or disclose your or your affiliates' confidential information which is not public unless permitted under applicable Ethics Rules, the law or a written agreement pertaining to such confidential information.



b. **continuation.**

Subject to any limitations under the law and Ethical Rules, these waivers, consents and promises, and the conditions stated above, will continue after the end of GT's representation of you or your affiliates as to the Subject Matter or in any other engagement.

c. **marketing permission**

. Your Assent to this Agreement confirms your consent that GT may use your name, logo, and a general description of this engagement in its business development efforts and materials.

**IN WITNESS WHEREOF**, the parties hereto have caused this Standard Agreement for Legal Services to be executed as of the day and year set forth above.

**CITY OF LAKE WORTH BEACH**

ATTESTS:

By: \_\_\_\_\_  
Melissa Ann Coyne, City Clerk

By: \_\_\_\_\_  
Betty Resch, Mayor

APPROVED AS TO FORM AND  
LEGAL SUFFICIENCY

By: \_\_\_\_\_  
Glen J. Torcivia, City Attorney

**Greenberg Traurig, P.A.**

By: \_\_\_\_\_

[Corporate Seal]

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

# EXECUTIVE BRIEF REGULAR MEETING

**AGENDA DATE:** June 7, 2022

**DEPARTMENT:** Community Sustainability

**TITLE:**

Ordinance No. 2022-09 – First Reading – amending the City’s Official Zoning Map by approving the creation of a Mixed Use Urban Planned Development (The Gulfstream Hotel) located primarily at 1 Lake Avenue

**SUMMARY:**

The Gulfstream Hotel Project includes the restoration of the landmark, original historic hotel with 90 rooms, a restaurant and a rear addition to provide back of house operations. It also involves the construction of a new annex hotel with 50 additional rooms, up to 85 apartments, a three-level parking garage, and banquet/meeting facilities as well as gym, salon and rooftop restaurant and pool. All are proposed by Restoration St. Louis. The subject site is a collection of vacant parcels along the east side of South Lakeside Drive between Lake Avenue and First Avenue South as well as the parcel including the original historic hotel structure located at the southwest corner of Lake Avenue and Golfview as depicted in Exhibit A of the ordinance. The subject project is located inside of the CRA’s boundaries and the Downtown Hotel District.

The Applicant, Restoration St. Louis, is requesting approval of the following through the adoption of a mixed use urban planned development ordinance:

1. Mixed Use Urban Planned Development to renovate an existing 59,100 sf hotel building (90 hotel rooms), build a rear addition of 4,700 sf, and construct a new mixed use (hotel & multi-family) building with +/- 164,985 sf, including a maximum of 85 residential units, 50 new hotel rooms and a parking garage (283 spaces).
2. Major Site Plan for the development of a mixed-use development in excess of 7,500 square feet.
3. Development of Significant Impact (DSI) to construct a mixed-use development in excess of 100,000 sf.
4. Conditional Use Permit to establish hotel and multi-family residential uses greater than 7,500 square feet.
5. Sustainable Bonus Incentive Program for additional density, intensity and height.

If the ordinance is approved, the City’s official zoning map also will be amended to reflect the establishment of the mixed-use, urban planned development.

**BACKGROUND AND JUSTIFICATION:**

On April 27, 2022, the Historic Resources Preservation Board (HRPB) recommended that the project be approved by the City Commission with conditions as outlined in the staff report (5-1 vote). Two additional conditions were added involving the issuance of both the building permit and the final certificate of occupancy for the new construction portion of the project being predicated on, or simultaneous with, the issuance of the building permit for the hotel restoration

and the final certificate of occupancy for the hotel restoration. These additional conditions have been incorporated as part of the formal list of conditions attached to the proposed ordinance.

As outlined in the staff report, the proposed mixed use urban planned development meets all standards and requirements as outlined in the City's Land Development Regulations (LDRs) and Comprehensive Plan. The application includes no requests for waivers and/or exceptions from either the LDRs or the Comprehensive Plan. This project is the first planned development over the past ten years that is not requesting any waivers and/or exceptions to the code. In addition, the proposed project addresses a variety of the goals found in the City's Strategic Plan under three of the five Pillars.

The HRPB also provided the final approval for three (3) Certificates of Appropriateness (CoA): a CoA for Exterior Modifications and Alterations (6-0 vote); a CoA for an Addition (6-0 vote) and a CoA for New Construction (5-1 vote). A Base Flood Elevation Variance and preliminary Historic Preservation Tax Exemption application also both were approved (6-0 vote). The City Commission will render the final decision on the historic ad valorem historic preservation property tax exemption upon completion and certification of the renovation work.

Additional background, history and justification can be found in the attached documentation. An Executive Summary for the project is provided as well as a final draft of an economic impact analysis undertaken by a third-party provider.

**MOTION:**

Move to approve/disapprove Ordinance No. 2022-08 - amending the Official Zoning Map by approving the creation of a Mixed Use Urban Planned Development (The Gulfstream Hotel) located primarily at 1 Lake Avenue and to schedule the second reading and public hearing on June 21, 2022

**ATTACHMENT(S):**

Ordinance 2022-08  
Site Plan Package  
HRPB Staff Report for Ordinance  
HRBP Staff Reports for Certificates of Appropriateness  
April 27, 2022 HRPB Draft Minutes  
Economic Impact Analysis

**ORDINANCE NO. 2022-09 AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF LAKE WORTH BEACH, FLORIDA, AMENDING THE OFFICIAL ZONING MAP BY APPROVING THE CREATION OF A MIXED USE URBAN PLANNED DEVELOPMENT DISTRICT, LOCATED AT 1 LAKE AVENUE, 11 LAKE AVENUE, 12 S. LAKESIDE DRIVE, 14 S. LAKESIDE DR., 20 S. LAKESIDE DRIVE, 22 S. LAKESIDE DRIVE, AND 24 S. LAKESIDE DRIVE TO RENOVATE AN EXISTING 59,100 SQUARE FEET HOTEL BUILDING (90 HOTEL ROOMS), CONSTRUCT A REAR ADDITION OF 4,700 SQUARE FEET, AND CONSTRUCT A NEW MIXED-USE (HOTEL & MULTI-FAMILY) BUILDING WITH +/- 164,985 SQUARE FEET, INCLUDING A MAXIMUM OF 85 RESIDENTIAL UNITS, 50 NEW HOTEL ROOMS AND A PARKING GARAGE (283 SPACES) AS MORE PARTICULARLY DESCRIBED IN EXHIBIT A, LOCATED WITHIN THE DOWNTOWN (DT) ZONING DISTRICT WITH A FUTURE LAND USE DESIGNATION OF DOWNTOWN MIXED USE (DMU) SUBJECT TO SPECIFIC DEVELOPMENT STANDARDS SET FORTH IN EXHIBIT B AND CONDITIONS OF APPROVAL SET FORTH IN EXHIBIT C; APPROVING A DEVELOPMENT OF SIGNIFICANT IMPACT; APPROVING A CONDITIONAL USE PERMIT; APPROVING DENSITY, INTENSITY AND HEIGHT BONUS INCENTIVES THROUGH THE CITY'S SUSTAINABLE BONUS INCENTIVE PROGRAM; APPROVING A MAJOR SITE PLAN FOR THE DEVELOPMENT OF A MIXED USE URBAN PLANNED DEVELOPMENT IN EXCESS OF 7,500 SQUARE FEET; PROVIDED FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE**

WHEREAS, the City Commission of the City of Lake Worth Beach, Florida, pursuant to the authority granted in Chapters 163 and 166, Florida Statutes, and the Land Development Regulations, as adopted by the City of Lake Worth Beach, is authorized and empowered to consider petitions relating to zoning and land development orders; and

WHEREAS, Chapter 23, Article 3, Division 6. – Planned Development of City of Lake Worth Beach's Land Development Regulations allows for the creation of planned development districts to incentivize innovative development through the utilization of incentive programs and flexible dimensional and use requirements that are defined within and occur in conformity with an approved master development plan; and

WHEREAS, Checkmate Design, LLC and Restoration St. Louis, Inc. on behalf of Gulfstream Owner, LLC (the applicant) has petitioned the City of Lake Worth Beach (the City) for creation of a Mixed Use Urban Planned Development District to allow for the renovation of an existing 59,100 square feet hotel building (90 hotel rooms), construction of a rear addition of 4,700 square feet, and construction of a new mixed-use (hotel & multi-family) building with +/- 164,985 square feet, including a maximum of 85 residential units, 50 new hotel rooms and a parking garage with no less than 271 spaces on a site located at 1 Lake Avenue, 11 Lake Avenue, 12 S. Lakeside Drive, 14 S. Lakeside Drive, 20 S. Lakeside Drive, 22 S. Lakeside Drive, and 24 S. Lakeside Drive

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(PCNs 38434421150330090, 38434421150330070, 38434421150330060, 38434421150330050, 38434421150330040, 38434421150330030, and 38434421150330010) as further described in Exhibit A (the Property) within the DT Zoning District and the DMU Future Land Use designation, which, if approved, shall constitute an amendment to the City's official zoning map; and

WHEREAS, the applicant requests use of the City's Sustainable Bonus Incentive Program to allow for additional height, intensity and density to be considered in conjunction with the applicant's request for approval for a major site plan for the construction of a mixed-use development currently known as "Gulfstream Hotel Planned Development" containing approximately 85 residential units and 213,000 square feet of commercial use to be constructed on this site;

WHEREAS, on April 27, 2022, the Lake Worth Beach Historic Resources Preservation Board (HRPB) considered the subject application for a Mixed Use Urban Planned Development District, Development of Significant Impact, Major Site Plan, Conditional Use Permit, and Sustainable Bonus Incentive Program and recommended that the City Commission approve the creation of this mixed use urban planned development subject to specific district development standards and certain enumerated conditions; and

WHEREAS, on \_\_\_\_\_, the City Commission voted to approve on first reading the subject application for a Mixed Use Urban Planned Development District, Development of Significant Impact, Major Site Plan, Conditional Use Permit, and Sustainable Bonus Incentive Program subject to specific district development standards and enumerated conditions herein; and

WHEREAS, the City Commission has considered all of the testimony and evidence and has determined that the Mixed Use Urban Planned Development District, Development of Significant Impact, Major Site Plan, Conditional Use Permit, and Sustainable Bonus Incentive Program including the development regulations and conditions, meets the requirements of the Land Development Regulations, Section 23.3-25.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF LAKE WORTH BEACH, FLORIDA, that:**

Section 1. Recitals. The foregoing recitals are true and correct and are hereby affirmed and ratified.

Section 2. The Mixed Use Urban Planned Development District located within the DT Zoning District with a future land use designation of DMU, as described more particularly in **Exhibit A**, is hereby approved. This approval includes the approval of the following elements to be known as the Master Development Plan: (a) Mixed-Use Urban Planned Development; (b) Development of Significant Impact; (c) Major Site Plan; (d) Sustainable Bonus Incentive Program; (e) Conditional Use Permit; (g) district development standards (**Exhibit B**); (h) conditions of approval (**Exhibit C**); (i) required plans including the site plan,

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landscape plan, and civil & drainage plans; (j) supplemental supporting documents, as well as all agreements, provisions and/or covenants which shall govern the use, maintenance, and continued protection of the residential urban planned development and any of its common areas or facilities. The applicant is bound to all elements and requirements of the Master Development Plan.

Section 3. The City’s zoning maps shall be updated to reflect the changes to the property described in **Exhibit A**.

Section 4. Repeal of Laws in Conflict. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. Severability. If any provision of this ordinance or the application thereof is held invalid by a court of competent jurisdiction, the invalidity shall not affect other provisions of the ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are declared severable.

Section 6. Effective Date. This ordinance shall become effective ten (10) days after its final passage.

The passage of this ordinance on first reading was moved by \_\_\_\_\_, seconded by \_\_\_\_\_ and upon being put to a vote, the vote was as follows:

Mayor Betty Resch  
Vice Mayor Christopher McVoy  
Commissioner Sarah Malega

Commissioner Kimberly Stokes  
Commissioner Reinaldo Diaz

The Mayor thereupon declared this ordinance duly passed on first reading on the \_\_\_\_ day of \_\_\_\_\_, 2022.

The passage of this ordinance on second reading was moved by \_\_\_\_\_, seconded by \_\_\_\_\_, and upon being put to a vote, the vote was as follows:

Mayor Betty Resch  
Vice Mayor Christopher McVoy  
Commissioner Sarah Malega  
Commissioner Kimberly Stokes  
Commissioner Reinaldo Diaz

The Mayor thereupon declared this ordinance duly passed on the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

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LAKE WORTH BEACH CITY COMMISSION

By: \_\_\_\_\_  
Betty Resch, Mayor

ATTEST:

\_\_\_\_\_  
Melissa Ann Coyne, City Clerk

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**Exhibit A**

**DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
PLANNING, ZONING AND HISTORIC PRESERVATION DIVISION  
PROPERTY DESCRIPTION & LOCATION MAP**

**Address:** 1 & 11 Lake Avenue, and 12, 14, 20, 22 & 24 South Lakeside Drive (inclusive of vacated alleyways)

**General Location:** Subject site is generally located on south of Lake Avenue and north of 1<sup>st</sup> Avenue South, between South Lakeside Drive and South Golfview Road.

**Size:** +/- 1.82 ac Lot / +/- 59,100 sf. Existing Structures

**PCNs:** 38-43-44-21-15-033-0090, 38-43-44-21-15-033-0070, 38-43-44-21-15-033-0060, 38-43-44-21-15-033-0040, 38-43-44-21-15-033-0030, 38-43-44-21-15-033-0010 and 38-43-44-21-15-033-0050

**Legal Description** - The Land referred to herein below is situated In the County of Palm Beach, State of Florida, and is described as follows, inclusive of vacated alleyways:

PARCEL 1

LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, THE PALM BEACH FARMS CO. PLAT NO. 2,

LUCERNE TOWNSITE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

LOTS 7 AND 8, BLOCK 33, THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND LOTS 1 THROUGH 6, BLOCK 33, THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LANDS LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

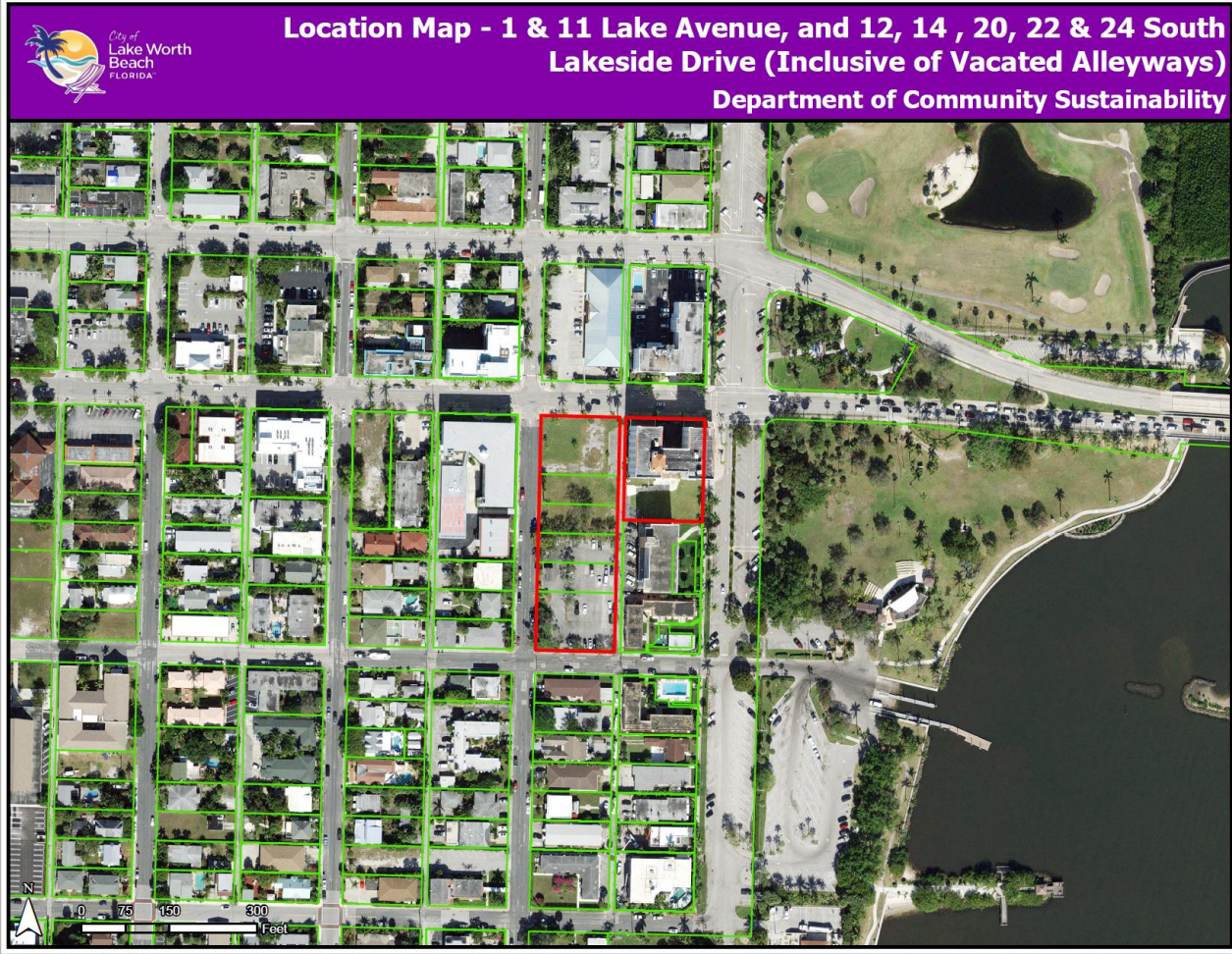
PARCEL 2

THAT CERTAIN 10-FOOT-WIDE STRIP OF LAND LYING WEST OF AND ADJACENT TO THE FOLLOWING DESCRIBED

PARCEL: LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE, (NOW KNOWN AS LAKE WORTH), ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.



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**DRAFT****Exhibit B**

**DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
PLANNING, ZONING AND HISTORIC PRESERVATION DIVISION  
DEVELOPMENT STANDARDS**

Development Standard		Land Development Requirements (LDR)			Provided
		Base Zoning District Downtown (DT)	Hotel District with Sustainable Bonus Incentive Program (SBIP)	Mixed-Use Urban Planned Development (MUPD) in Hotel District with SBIP	
Lot Size (min) In square feet (sf)		6,500 sf	0.5 acres	0.5 acres	79,375 sf / +-1.82 acres
Lot Width (min)		25' - Lake Ave 50' in general	25' - Lake Ave 50' in general	25' - Lake Ave 50' in general	280'
Setbacks	Front (min build-to line)*	10', or 5' Build-to Building Setback Line on Lake <i>Note: Project has frontage on Lake, S Lakeside Drive &amp; 1st Ave S</i>			10'
	Rear (min)	10'	10'	10'	+/- 38'
	Street Side (min) *Alley	10'	10'	10'	10'
	Interior Side (min)	0'	0'	0'	N/A
Impermeable Surface Coverage (maximum)		80%	80%	90%	70,715 (89.1%)
Structure Coverage (max)		60%	60%	70%	68.9%
Density (max)		40 du/acre (72 units)	40 du/acre (72 units)	50 du/acre (91 units)	Up to 85 Residential Units
Building Height (max)		30' (max. 2 stories)	65' (max. 6 stories)	87' (Maximum height per Section 11 of City Charter)	87' (7 stories / 1 lower parking garage/ 1 amenity deck)
Maximum Wall Height at Side Setback		30'	65'	65'	30'
Floor Area Ratio (FAR) (max)		1.1	2.2	3.0625	2.89 (229,320 sf Total= 165,520 New Building + 59,100 sf Existing Building + Addition 4,700 sf)

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Living Area (minimum)	Studio	400 sf	400 sf	400 sf	499 sf
	One-bedroom units	600 sf	600 sf	600 sf	730 sf
	Two-bedroom units	750 sf	750 s	750 s	1,070
	Three-bedroom units	900 sf	900 sf	900 sf	1,495
Parking		Parking Calculated per unit, room, and non-residential square footage. See page 7 for detailed parking analysis. *Note: The *25% shared parking credit for mixed use developments is not proposed to be utilized by applicant.		213 Required Spaces* / 283 spaces for 85 units w/o shared parking credit	283 + 1 Mobility Space* (271 garage + 12 on-street = 283 Spaces)

**DRAFT****Exhibit C****DEPARTMENT FOR COMMUNITY SUSTAINABILITY  
PLANNING, ZONING AND HISTORIC PRESERVATION DIVISION****CONDITIONS OF APPROVAL**

## Planning &amp; Zoning

1. The applicant shall be required to submit a preliminary plat application prior to the issuance of a building permit depicting all required dedications and easements and any necessary abandonments. Final plat approval is required prior to the issuance of a Certificate of Occupancy.
2. Public art, including murals, proposed in the future shall be reviewed by both the HRPB and the CRA's LULA program prior to installation.
3. Prior to the issuance of a building permit, revised photometric plans shall be required to updated as follows:
  - All lighting shall be shielded so as to not trespass upon neighboring residential properties or districts. Lighting shall not exceed 1-foot candle/ 10.76 lumens when measured from the property line and shall comply with lighting code regulations in LDR Section 23.4-3.
  - If using LED lighting, a warm light tone is required. Lighting fixtures should comply with dark skies fixture recommendations, including a 3000K light tone or less, and shall be consistent with the architectural style of the project as determined by the Development Review Official.
4. Prior to the issuance of building permit for commercial signage, a Minor Site Plan amendment to establish a Uniform Master Sign Program for individual tenants/businesses in accordance with the City's Land Development Regulations is required. Directional signage shall be exempt from the minor site plan requirement provided that is appropriately scaled and architecturally consistent.
5. Prior to the issuance of building permit, the applicant shall provide a detailed striping and signage plan for the mobility space on S. Lakeside Drive as approved by the Public Works Department.
6. Prior to the issuance of a building permit, the applicant shall pay \$54,400 into the City's Tree Canopy Restoration fund.
7. Prior to the issuance of a building permit, the site plan shall be updated to depict the location of 9 Electric Vehicle Charging Station spaces on a parking garage floor plan.
8. During peak business operational periods and special events, the hotel use shall utilize the alternative valet configuration to provide +/- 320 garage spaces.
9. Prior to the issuance of the first building permit, a school capacity fee of \$10,016 shall be contributed to the School District of Palm Beach County.
10. Fifty percent of the sustainable bonus fee (\$646,875) shall be paid to the City within one year of approval, or prior to the issuance of the building permit, whichever comes first. Alternatively, the City Commission may approve the proposed Florida Green Building Certification and public art in lieu of the fee.
11. Building permit for new construction shall not be issued prior to the issuance of a building permit for the hotel restoration. Or, the building permits shall be issued concurrently.
12. A final Certificate of Occupancy (CO) shall not be issued for the new construction until the historic hotel receives its final CO. Or, the COs shall be issued concurrently for both the new construction and historic hotel.

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### Urban Design

1. The front facing façade of the new building along Lake Avenue requires additional fenestration on floors 3 through 7. Staff has provided a suggested change to add two vertical series of windows that do not affect the use or layout of the proposed hotel rooms. The change would bring the façade into a more harmonious relationship to the existing hotel and reduce the overall bulk of the plain wall.
2. The middle section of the new building along Lakeside Drive should differentiate itself more from the north and south massing elements. Through the creative use of additional fenestration and material selection, the change would reduce the overall mass and bulk of the façade.
3. A more vibrant exterior color scheme more in keeping with the colorful diversity and charm of the City is suggested. Color palette should remain in the citrus tones and shades.

Utilities (Water, Sewer & Stormwater) Conditions approval shall be addressed prior to the issuance of a building permit unless otherwise indicated.

1. The gravity sewer relocation plan needs to include design elevations, including conflict crossing elevations, to verify the feasibility of the plan and identify conflict crossings. Show any proposed conflict structures and contact the PBC health department to determine if they will allow the use of conflict storm infrastructure.
2. Size and show the location of the grease trap/s associated with the restaurant. Grease traps shall be sized in accordance with 64E-6.013 of the F.A.C. This must be part of the site plan submittal and review.
3. The applicant provided a very high level-low detail drainage statement. Provide the drainage calculations that meet the City and the SFWMD storm design policy. The drainage calculations must be included in the site plan submittal and review to prove that drainage system can function as proposed.
4. The MEP drainage and pumping drawings with calculations were not included. Additional comment/s may be forthcoming following the submission of this information. This must be submitted with the site plan.
5. The City drainage policy states the property must retain on site, the runoff from a 3-year 1-hour storm event (2.6 inches of precipitation) before any discharge can occur. The drainage area evaluated is the total site area and this includes the hotel area. In addition, adjacent flows that enter the property must be evaluated or rerouted.
6. Will the storm manhole located in Lake Ave remain in service or be utilized? The storm main south of the structure is called out for abandonment and it appears that main was the only reason the manhole was installed. This structure may need to be removed if no longer in service.
7. Identify on the site plan that there will be an alleyway dedication to the City or not. However, if the right of way is not dedicated, provide a 15-foot-wide easement for the watermain extension that is proposed. One or the other should be shown on the site plan.
8. If the above grade meters and backflow devices serving the existing hotel located in front of roll up doors, then revise as necessary.
9. Request a sewer lateral/s locate for the existing hotel; the locates will be verified by the Utilities team with CCTV. This information is necessary to confirm the conceptual sewer plan in the alleyway south of Lake Ave.
  10. The proposed sewer relocation plan will require a shutdown of both lanes on FDOT's Lake Ave. It is recommended that the sewer main in Lake Ave be placed in the center of the travel lane since FDOT prefers single lane closures over a full closure.

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11. Bold the callout “To be lined” over the sewer main between Lake Ave to 1st Ave S. Darken the dashed line work over the sewer main to bring attention to the proposed work
12. A laundry interceptor shall be designed to the same standard as the grease trap above, however the structure/s can be located within the building.
13. There is an active 1.25-inch gas main in the alleyway. Contact Matthew Ryan with Florida Public Utilities about a plan to address gas main. mryan@chpk.com or 561-838-1832. [Advisory]
14. Plan to provide the SFWMD ERP permit before issuance of the building permit. [Advisory]
15. Provide all standard details that are associated to the conceptual plans required is the site plan submittal. [Advisory]
16. There will be an FDOT utility permit for the work proposed in Lake Ave. Please plan to submit for this prior to building permit. [Advisory]
17. Please note that capacity fee must be paid prior to building permit issuance. See City’s website (under finance) for information regarding capacity fees listed in the “schedule of fee”. [Advisory]
18. The design engineering should visit the site and take note that the roof drain gutters from the buildings at 10, 15 & 31 South Golfview. These gutters pipe underground and it must be investigated where they bubble back up to/from. [Advisory]

**Public Works**

1. The issuance of any permits shall comply with all provisions of the Lake Worth Municipal Code and all other applicable standards including but not limited to the Florida Department of Transportation (FDOT), Manual on Uniform Traffic Control Devices (MUTCD), and City of Lake Worth Public Works Construction Standards and Policy and Procedure Manual. (Condition of Approval)
2. No Certificate of Occupancy shall be granted until all conditions of approval have been satisfied under jurisdiction of the Department of Public Works. (Condition of Approval)
3. Prior to the issuance of a building permit, contact the Lake Worth Drainage (LWDD) District’s Engineering Department and obtain any required permit(s), if necessary, and furnish to the City. Prior to the issuance of a building permit, contact the South Florida Water Management District’s (SFWMD) Engineering Department and obtain any required permit(s), if necessary. (Condition of Approval)
4. Prior to the issuance of a certificate of occupancy, ensure the entire surrounding off-site infrastructure inclusive of the roadway, sidewalk, curbing, stormwater system piping and structures, valve boxes, manholes, landscaping, striping, signage, and other improvements are in the same condition as prior to construction. A pre-construction video of the entire perimeter shall be performed and submitted to the City. (Condition of Approval)
5. Prior to the issuance of a building permit, submit an Erosion Control plan and indicate the BMP’s and NPDES compliance practices. (Condition of Approval)
6. Prior to the issuance of a Certificate of Occupancy, fine grade and sod all disturbed areas with bahia sod. (Condition of Approval)
7. Prior to the issuance of a Certificate of Occupancy, broom sweep all areas of the affected right of way and remove of all silt and debris collected as a result of construction activity. (Condition of Approval)
8. Prior to performing work in the right of way, apply for and receive issuance of a “Right of Way/Utility Permit” application. (Condition of Approval)

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9. Prior to the issuance of a Certificate of Occupancy, restore the right of way to a like or better condition. Any damages to pavement, curbing, striping, sidewalks or other areas shall be restored in kind (Condition of Approval)
10. Prior to proposed road closures, submit a Maintenance of Traffic plan to be reviewed and approved by the City prior to implementation. Affected residents must be notified once the plan is approved. (Condition of Approval)
11. Prior to the issuance of a Certificate of Occupancy, coordinate with the Solid Waste and Recycling Division the collection schedule, frequency and logistics. (Condition of Approval)
12. Prior to the issuance of a Building Permit, please provide a detailed plan for the following:
13. Proposed parking plan for construction vehicles, equipment and materials for all phases of the project.
14. Proposed staging/usage plan for cranes, lifts, and other equipment that must utilize the right of way. Maintenance of Traffic plan including resident parking, access, pedestrian and boat ramp/tourist activity must be considered
15. Prior to the issuance of a Building Permit, provide to the City an evaluation of the feasibility and a proposed design for providing 2-way traffic flow along S. Lakeside Drive between 1st Ave South and Lake Avenue.
16. Prior to the issuance of a Certificate of Occupancy, construct alleyway improvements consisting of a 1" mill and 1" overlay from 1st Ave South to the north dead end. Special attention to be given for positive drainage.

### Electric Utilities

1. At the time of application for a Building Permit, the applicant shall provide all applicable load calculation and the total conditioned space.
2. Prior to the issuance of a building permit, the following actions shall be completed:
  - a. Show the location of the Padmount Transformers, Automatic Transfer Switch (ATS), and the meter banks. The Padmount Transformer locations will need to be in an accessible location to our trucks and will need 8-ft (8 feet) of minimum clearance in the front and 3-ft (3 feet) of minimum clearance on the sides and rear. This clearance includes landscaping. None trees, plants, shrubs or vegetations are allowed within the clearance
  - b. Provide the electric riser diagrams for all buildings, the proposed electrical loads and the voltages required, including proposed Electrical Cable Schedules.
  - c. Provide the Amp Sizes and Voltages for any other services needed than the commercial units, such as lighting, irrigation, etc. If any meter is over 320 amps for Single Phase, and over 200 amps for 3-Phase, a CT Cabinet and CT Meter Can will need to be installed. All meters and CT Cabinets will need a minimum of 36" (36 in) of clearance in front of them.
  - d. Provide a 10-ft (10 feet) wide utility easement for the underground electric lines, Padmount Transformers & Switchgear that will serve this project. Starting on 1st Ave South running North along the alley and East along the South side of the existing building, and stop 15-ft (15 feet) West of the Generator. The Main Electric Line Routing from the Poles to the Padmount Transformers will be determined by the Lake Worth Beach design engineer.
  - e. Transformer & Electrical Equipment Box Pad Elevations shall be FEMA 100 yr. Flood-Plain Elevation + 1-ft (1 feet).
  - f. Provide details for Temporary Power during construction, Voltage & Amps and approximate Location of service point.
    - g. CLWB will remove All Electric Over Head (OH) Infrastructure from the Alley between S. Lakeside Dr. and S Golfview Rd. between Lake Ave. and 1st Ave. S.

**DRAFT**

- h. Complete payment to Lake Worth Beach for electrical infrastructure costs for labor & materials to serve this project.
    - i. The customer will be responsible for installing any Secondary Conduit at a minimum of 24" (24 in) deep from the Secondary Winding of the Transformer of the property to the building.
    - j. The customer will be responsible for Any and All labor and material costs for providing electric service to this project.
    - k. The CLWB will procure one (1) Padmount Transformer and Box Pad to serve the facility, the owner/developer is responsible for the reimbursement costs to the City. The City will procure one (1) Spare Padmount Transformer at the City's expense.
  3. Prior to the issuance of a Certificate of Occupancy, the following actions shall be completed:
    - a. Provide copy of recorded Utility Easement.
    - b. Note that No permanent power can NOT be provided until a Final Electrical Inspection is done.



## HISTORIC RESOURCES PRESERVATION BOARD (HRPB) REPORT

**Ordinance 2022-09 (PZHP Main Project Number 22-00900001):** Consideration of a request for a Mixed Use Urban Planned Development, Major Site Plan, Development of Significant Impact, Conditional Use Permit, and Sustainable Bonus Incentive Program approval commonly referred to as the “Gulfstream Hotel Planned Development.”

**Note:** The data and analysis for the associated historic preservation applications is under a separate cover.

**Transmittal Date:** April 20, 2022

**Meeting Date:** April 27, 2022

**Property Owner:** HH Gulfstream Land Holdings, LLC

**Applicant:** Checkmate Design, LLC and Restoration St. Louis, Inc. on behalf of Gulfstream Owner, LLC

**Address:** 1 & 11 Lake Avenue, and 12, 14 ,20, 22 & 24 South Lakeside Drive (inclusive of vacated alleyways)

**General Location:** Subject site is generally located on south of Lake Avenue and north of 1<sup>st</sup> Avenue South, between South Lakeside Drive and South Golfview Road.

**Size:** +/- 1.82 ac Lot / +/- 59,100 sf. Existing Structures

**Existing Land Use:** vacant land, vacant historic hotel building since 2006, & private surface parking.

**Current Future Land Use Designation:** Downtown Mixed Use (DMU)

**Zoning District:** Downtown (DT)

**PCNs:** 38-43-44-21-15-033-0090, 38-43-44-21-15-033-0070, 38-43-44-21-15-033-0060, 38-43-44-21-15-033-0040, 38-43-44-21-15-033-0030, 38-43-44-21-15-033-0010 and 38-43-44-21-15-033-0050

**General Location Map:**



## RECOMMENDATION

The documentation and materials provided with the application request were reviewed for compliance with the applicable guidelines and standards found in the City of Lake Worth Beach Land Development Regulations (LDRs) including the City's Major Thoroughfare Design Guidelines and Historic Preservation Design Guidelines and for consistency with the Comprehensive Plan and Strategic Plan. The proposed "Gulfstream Hotel Planned Development" is consistent with the Comprehensive Plan, Strategic Plan, and LDRs, as conditioned, and, therefore, a **recommendation of approval with conditions** is provided to the HRPB for Ordinance 2022-09. The conditions are located on beginning on page 11 of this report.

## PROJECT DESCRIPTION

The Applicant, Gulfstream Owner, LLC, is requesting approval of Ordinance 2022-09, which is inclusive of the following application types:

- Mixed Use Urban Planned Development to renovate existing 59,100 sf hotel building (90 hotel rooms), construct a rear addition of 4,700 sf, and construct a new mixed use (hotel & multi-family) building with +/- 164,985 sf, including maximum of 85 residential units, 50 new hotel rooms and a parking garage (283 spaces).
- Major Site Plan for the development of mixed use development in excess of 7,500 square feet.
- Development of Significant Impact to construct a mixed use development in excess of 100,000 sf.
- Conditional Use Permit to establish hotel and multi-family residential uses greater than 7,500 square feet.
- Sustainable Bonus Incentive Program for additional density, intensity and height.

## COMMUNITY OUTREACH

The City published a project webpage the first week of April 2022, where residents and members of the public are able to view the renderings of the proposal. In addition, the project has complied with all of the public notice requirements, including a 400-foot courtesy notice, sign posting and legal notice. At the time of the completion and dissemination of this staff report, the City had received a phone call and an email in support of the project from the public.

## BACKGROUND

Below is a summary of the property based on Palm Beach Property Appraiser's records and City records:

**Construction/Approvals:** The historic Gulfstream Hotel (+/-59,100 sf) was permitted through the City's Building Department in May of 1923, constructed in 1925, and the first grand opening occurred on January 20, 1925. The subject building is a contributing resource within the South Palm Park Local Historic District. It was placed on the National Register of Historic Places in 1982 and is recorded on a Florida Master Site File as PBO0202. The National Register nomination form attributes the design to G. Lloyd Preacher & Company, Inc. and describes it as a "rare survivor of the resort hotels built along Florida's southeast coast during the 1920s Land Boom era." In 2016, an approval was granted to allow for the redevelopment of the property of a +/- 6,500 square foot addition to the historic Gulfstream Hotel, a new +/- 74,572 square foot hotel with eighty-seven (87) rooms and a two (2) story parking garage with rooftop parking containing a minimum of one hundred forty-five (145) parking spaces and +/- 2,590 square feet of ground floor retail for community use. However, construction of the project was never pursued by the applicant at the time, HH Gulfstream Land Holdings, LLC, the approved entitlement remains vested and is current.

**Use:** The property's use is vacant. The Gulfstream Hotel building is also vacant.

**Code Compliance:** There are no active code cases on the subject site. There have been 21 code cases previously initiated as far back as year 2000. The complaints included concerns related to:

- Garbage/Trash/Debris
- Fence falling down
- Illegal signage violations

- Overgrowth and landscape maintenance
- Noise complaints
- No business license and/or working beyond the scope of the business license
- Maintenance of the swimming pool
- No vacant property registry
- Deterioration by neglect
- Board & Secure
- Open and/or expired permits
- Graffiti
- Permit violations
- General requirements ensuring proper maintenance of the property

## ANALYSIS

### Consistency with the Comprehensive Plan and Strategic Plan

The subject site has a Future Land Use (FLU) designation of Downtown Mixed Use (DMU). Per Policy 1.1.1.7, the DMU FLU is “intended to provide for the establishment and expansion of a broad range of office, retail and commercial uses, and some residential within the traditional downtown core of the City. Diversity of retail uses is encouraged; however, certain commercial uses are not permitted in the Downtown Mixed Use category because they would be detrimental to the shopping or office functions of the area.” The proposal would allow for the redevelopment of an existing vacant historic hotel building with a rear addition, the construction of new mixed-use building connected to the historic hotel building, and the establishment of hotel and multi-family residential conditional uses along one of the City’s major thoroughfares, Lake Avenue, as consistent with the intent of the DMU FLU.

The proposal is supported by several Goals, Policies, and Objectives in the Comprehensive Plan, including:

- FLU Element - Objective 1.2.1: To promote the location of high-quality retail, office and mixed use projects in the Downtown Mixed Use (DMU) and Mixed Use East (MU-E) designations as the prime retail and commercial areas of the City.
- FLU Element - Goal 1.3: To preserve and enhance the City’s community character as a quality residential and business center within the Palm Beach County urban area.
- FLU Element - Objective 1.3.3: To adopt and utilize innovative land development regulations that implement the goal of preserving and enhancing the character of Lake Worth as an attractive residential community and business center.
- FLU Element - Goal 1.4: Encourage preservation and rehabilitation of historic and natural resources and where appropriate restrict development that would damage or destroy these resources.
- FLU Element - Objective 1.4.2: To provide for the protection, preservation or sensitive reuse of historic resources.
- FLU Element - Policy 11.1.2.2: The City shall attract industries and employers in cluster industries such as light manufacturing, green manufacturing, cultural arts, artisanal arts, research and development, tourism and associated ancillary businesses; and, other emerging industry clusters.
- Housing & Neighborhoods Element - Objective 3.4.1: To provide for the protection, preservation or sensitive reuse of Historic and Archeological Resources.
- Housing & Neighborhoods Element - Policy 3.4.2.1: Properties of special value for historic, architectural, cultural or aesthetic reasons will be restored and preserved through the enforcement of the City’s Historic Preservation Ordinance to the extent feasible.
- Economic Development Element - Goal 11.1: The economic goal of the City of Lake Worth is to achieve a sustainable, balanced and diversified economy which is compatible with the City’s built environment and protects important cultural, historical and natural resources.
- Economic Development Element - Objective 11.1.1: The City of Lake Worth shall maintain and expand a diversified economy by encouraging growth in targeted cluster industries that provide employment and

complement changing economic conditions by supporting existing businesses, business attraction, renewable energy and by retaining and improving resource-based sectors, such as tourism, retirement, and recreation.

The City's Strategic Plan focuses on fostering safer neighborhoods, encouraging community pride, building a vibrant and diverse economy, planning for the future, and enhancing the natural, historic, and cultural environment of the City. The proposed project seeks to implement several of the Strategic Plan's Pillars. Pillar II.C. focuses on preserving the character and protect historic resources of the City's community of neighborhoods. Pillar III.C. encourages tourism by increasing options for visitors to stay and experience the City. Pillar IV.A and Pillar IV.D state that the City shall achieve economic and financial sustainability through a versatile and stable tax base, and influence the supply and expansion of jobs.

The proposed renovation of the vacant historic hotel building, addition to the historic building, and new mixed use building will allow for the re-establishment of a hotel business in the downtown core of the City that will contribute towards the City's tax base and sustain or increase jobs as recommended under Pillar III.C, Pillar IV.A and Pillar IV.D. The hotel mixed use development would support the downtown business center by bringing additional customers to shop and dine in the downtown. Hotel guests in the 140-room hotel would support tourism related businesses in the City. Further, the proposed project would rehabilitate a culturally and architecturally significant landmark as mentioned in Pillar II.C. and Pillar III.C. Use of the City's Sustainable Bonus Incentive Program would allow for the financially feasible rehabilitation of a character defining structure as supported by FLU Objective 1.3.3. Based on the analysis above, the proposed Gulfstream Hotel Planned Development (Ordinance 2022-09) request is consistent with the goals, objectives, and polices of the City of Lake Worth Beach's Comprehensive Plan and Strategic Plan.

#### Consistency with the Land Development Regulations (LDRs):

**Mixed Use Urban Planned Development** - Per Section 23.3-25, planned developments are intended to encourage innovative land planning and development techniques through incentives to create more desirable and attractive development within the City. The Department of Community Sustainability is tasked to review planned development applications in accordance with the City's LDRs, to assess compliance with the findings for granting planned developments (analyzed below) and to provide a recommendation for whether the application should be approved, approved with conditions, or denied.

**Analysis:** The proposed Mixed Use Urban Planned Development was reviewed for compliance with Section 23.3-25. No waivers or exceptions to the land development regulations are being requested. The applicant has demonstrated the required unity of control for the petition, and provided the required supporting information and development plans that comprise the master development plan. The proposal meets the minimum site area requirement of 0.5 acres. Outdoor storage is not proposed. The project planned development meets all land development requirements with no waivers, exceptions and/or variances.

**The Downtown (DT) zoning district** is designed for the commercial core of Lake Worth, primarily along Lake and Lucerne Avenues from Golfview to the Florida East Coast Railroad right-of-way. The DT zoning district is intended to provide the establishment and expansion of a broad range of office and commercial uses, including higher density residential use. Certain commercial uses are not permitted in the district because they will be detrimental to the shopping or office functions of the area.

**The Hotel District Overlay** is designed to encourage and facilitate hotels or motels of at least fifty (50) rooms as individual projects or as part of an overall mixed use project. The area is bounded by Golfview Road to the east, Federal Highway to the west, First Avenue South to the south, and Second Avenue North to the north and includes only those lots with the underlying zoning classification of DT as depicted on the official zoning map on file in the office of the planning, zoning and preservation division.

**March 2020 Height City Charter Amendment Referendum** allowed for a maximum building height of 87' for the subject site and adjacent properties on the same block. The stated purpose of the charter amendment was to make the

renovation and reopening of the Gulfstream Hotel financially feasible, and it allowed for the proposed maximum building height for both the historic hotel property and the adjacent properties within the same block located south of Lake Avenue, east of South Lakeside Drive, west of South Golfview Road, and north of 1<sup>st</sup> Avenue South.

**Analysis:** The proposed hotel and multi-family uses are anticipated and encouraged uses in the Hotel District Overlay and in the DT zoning district. The uses have been reviewed for consistency with the required conditional use review criteria and that analysis is provided on page 10 of this report. Further, the use location and height of the structure was also anticipated in the Land Development Regulations and in the 2020 City Charter amendment, which allowed for a height of 87' on the subject site to facilitate the redevelopment of the historic Gulfstream hotel and associated new construction. The land development requirements of the DT zoning in the Hotel District Overlay are analyzed in the table below. The subject application is consistent with all LDR requirements; and, the applicant is not requesting any exceptions to these requirements.

The table below shows the proposed site features and its compliance with the LDRs, as applicable:

Development Standard		Land Development Requirements (LDR)			Provided by Applicant
		Base Zoning District Downtown (DT)	Hotel District with Sustainable Bonus Incentive Program (SBIP)	Mixed-Use Urban Planned Development (MUPD) in Hotel District with SBIP	
Lot Size (min) In square feet (sf)		6,500 sf	0.5 acres	0.5 acres	79,375 sf / +-1.82 acres
Lot Width (min)		25' - Lake Ave 50' in general	25' - Lake Ave 50' in general	25' - Lake Ave 50' in general	
Setbacks	Front (min build-to line) *	10', or 5' Build-to Building Setback Line on Lake <i>Note: Project has frontage on Lake, S Lakeside Drive &amp; 1st Ave S</i>			10'
	Rear (min)	10'	10'	10'	+/- 38'
	Street Side (min) *Alley	10'	10'	10'	10'
	Interior Side (min)	0'	0'	0'	N/A
Impermeable Surface Coverage (maximum)		80%	80%	90%	70,715 (89.1%)
Structure Coverage (max)		60%	60%	70%	68.9%
Density (max)		40 du/acre (72 units)	40 du/acre (72 units)	50 du/acre (91 units)	Up to 85 Residential Units
Building Height (max)		30' (max. 2 stories)	65' (max. 6 stories)	87' (Maximum height per Section 11 of City Charter)	87' (7 stories / 1 lower parking garage/ 1 amenity deck)
Maximum Wall Height at Side Setback		30'	65'	65'	30'

Floor Area Ratio (FAR) (max)	1.1	2.2	3.0625	2.89 (229,320 sf Total= 165,520 New Building + 59,100 sf Existing Building + Addition 4,700 sf)	
FEMA Base Flood Elevation for Finished Floor (NAVD) Note:	AE Flood Zone - Current FEMA BFE: 7' AE Flood Zone - Proposed FEMA BFE: 10'  <i>Note: Existing grade is 4.5' – 5.3' NAVD. The finished floor of historic hotel. is 5.95' to 6.95'. A Historic BFE Variance is required for existing hotel building and addition (under separate cover).</i>			New Building: 10 ' Existing/Addition: 5.94' – 7'	
Living Area (minimum)	Studio	400 sf	400 sf	400 sf	499 sf
	One- bedroom units	600 sf	600 sf	600 sf	730 sf
	Two- bedroom units	750 sf	750 s	750 s	1,070
	Three- bedroom units	900 sf	900 sf	900 sf	1,495
Parking	Parking Calculated per unit, room, and non- residential square footage. See page 7 for detailed parking analysis. *Note: The *25% shared parking credit for mixed use developments is not proposed to be utilized by applicant.		213 Required Spaces* / 283 spaces for 85 units w/o shared parking credit	283 + 1 Mobility Space* (271 garage + 12 on- street = 283 Spaces)	

**Section 12-7, Dumpster Requirements:** *The location of all dumpsters shall be approved by the public services director or his designee and/or the building official or his designee. All dumpsters shall meet the requirements set forth in this section and all other ordinances, rules, regulations and policies adopted by the city.*

**Analysis:** The proposed trash compactor location and service plan was reviewed by Public Works, who determined that the refuse management plan was feasible to service and is typically for urban hotel operations. No dumpster is proposed on the property. The applicant will coordinate with Public Works on the pick-up schedule of the trash compactors prior to opening the facility. The compactors are located in the rear of the connection between the historic and new building. The compactors will be rolled out by hotel/property management staff prior to collection.

**Section 23.4-3, Exterior Lighting:** *All outdoor lighting shall be installed in conformance with the provisions of this chapter, applicable electrical and energy codes, and applicable sections of the building code. Further per Section 23.3-25.b)D)7, exterior lighting “shall not exceed one (1) foot candle at or beyond the boundaries of such development.”*

**Analysis:** A photometric plan was provided depicting the lighting within the parking garage structure. However, compliance with the City’s exterior lighting requirements is measured from the property line. No exterior light poles are proposed as part of the site plan. Therefore, a recommended condition of approval has been provided requiring an updated photometric plan at building permit demonstrating that the proposed exterior lighting shall not exceed a maximum of 1-foot candle/ 10.76 lumens at the property line. Further, the lighting fixtures shall comply with Dark Skies lighting recommendations. The proposed fixtures shall be required to have a warm tone setting of 3000K or less. The proposed fixtures may be substituted with another architecturally compatible fully shielded light fixtures at

building permit to achieve a warm LED light tone of 3000K or less if the proposed fixture cannot be set to provide the required light tone.

**Section 23.4-10. - Off-street parking:** This section provides general provisions for off-street parking. The standards “apply to all parking spaces required for new buildings, new uses, additions, enlargements, or changes.”

**Analysis:** The proposed parking would provide 283 parking spaces (270 garage spaces + 13 on-street parking spaces along S. Lakeside Drive) for the addition and new construction. Parking is calculated by use area, which include assembly, restaurant, personal services, office and lodging parking multipliers in Section 23.4-10. For mixed use projects, a shared parking credit of 25% is also applied to calculate the required parking of a proposed project. Therefore, the required parking for the property is (283 X .75 = 213 spaces). The applicant has selected to provide parking without utilizing the 25% parking reduction credit for a mixed use project. The applicant is also proposing an additional on-street mobility parking space to allow for a designated pick-up area for ride-share services. Additional parking is not required for change of use for existing structures, so parking is not required for the existing hotel. The applicant has also submitted an optional valet parking configuration on 2<sup>nd</sup> level of the parking garage to add an additional 37 spaces for peak operational periods and special events, which would allow for a total of +/-320 off-street garage spaces. Valet service would be provided for hotel guests, and there is an existing valet lane that is proposed to continue to be utilized by the applicant. The total required electric vehicle charging station spaces is 9 spaces, or 4% of the required parking 213 spaces. Staff has added a condition of approval requiring the final location of the EV charging stations to be depicted on the parking garage floor plan prior to the issuance of building permit.

**Section 23.4-9, Off-Street Loading Regulations:** Retail operations, wholesale operations and industrial operations, with gross floor area of less than ten thousand (10,000) square feet, shall provide sufficient space (not necessarily a full berth) so as not to hinder the free movements of vehicles and pedestrians over a sidewalk, street or alley. Where site conditions allow, loading areas shall be screened and buffered from public view.

**Analysis:** A loading space is proposed in the rear of the property that provides screening from public streets and is located in a manner as to allow for the free movements of vehicles and pedestrians over the rear alley.

**Signage:** Signage is required to comply with the size and design requirements in the Land Development Regulations. Prior to the issuance of building permit for commercial signage, a Minor Site Plan amendment to establish a Uniform Master Sign Program for individual tenants/businesses in accordance with the City's Land Development Regulations is required. Directional signage shall be exempt from the minor site plan requirement provided that is appropriately scaled and architecturally consistent.

**Section 23.6-1. - Landscape regulations:** The objective of this section is to provide minimum standards for the installation and maintenance of landscaping within the City. Per Section 23.6-1(c)(2), “on the site of a building or open lot use providing an off-street parking, storage or other vehicular use area, where such an area will not be screened visually by an intervening building or structure from an abutting right-of-way or dedicated alley, shall require landscaping” consistent with this section including a landscape strip ten (10) feet in depth.

**Analysis:** The development proposal provides perimeter landscaping and shade trees and features a green roof deck over the parking garage. The proposed landscaping is consistent with the City's landscape regulations and the Major Thoroughfare Design Guidelines. Tree species include a mix of Gumbo Limbo, Spanish Stopper, Live Oak and Wild Tamarind trees for the ground floor plantings along with multiple native and non-native shrubs, grasses and groundcovers. The green roof deck plantings also contain a mixture of native and non-native plants such as Silver Buttonwood trees, Thatch palms and Beauty Berry shrubs and native ferns. The proposed landscape complies with the City's requirement that 75% of all required plants be Florida native.

As required by the tree removal provisions in the landscape regulations, the applicant submitted a tree survey and disposition plan that was reviewed by staff. The diameter at breast height (DBH) for the existing trees with a condition rating of fifty (50) percent or greater on the property is used to calculate the replacement tree requirement. Based on the tree survey, replacement trees are required to have an average DBH of 12.5 inches to qualify as replacement trees. As there is not sufficient space on site to successfully plant enough replacement trees with the required DBH, there is a mitigation short fall of 136 inches. Since the property cannot accommodate all of the required tree replacements on site, an in-lieu of fee may be paid into the Tree Canopy Restoration Fund as a substitute to replacement. Therefore, staff has proposed a condition requiring the payment of \$54,400 into the City’s Tree Canopy Restoration fund prior to the issuance of a building permit.

**Section 23.2-31 - Site Design Qualitative Standards review required for Major Site Plan (Attachment A)**

Site Design Qualitative Standards are intended to “promote safety and minimize negative impacts of development on its neighbors by establishing qualitative requirements for the arrangements of buildings, structures, parking areas, landscaping and other site improvements. The qualitative standards are designed to ensure that site improvements are arranged in ways which cannot be otherwise accomplished with quantitative standards.” These qualitative standards are applicable to site plan applications as well as all conditional uses. The Major Thoroughfare Design Guidelines are an adopted component of these Site Design Qualitative Standards as per Section 23.2-31(j), which are applicable to properties adjacent to the City’s major thoroughfares inclusive of the subject site. Compliance determination with the applicable standards in Section 23.2-31 are provided in Attachment A. **The following analysis of the site, building, vehicular use area and appearance support the compliance findings for the applicable standards listed in Attachment A and in the Major Thoroughfare Design Guidelines.**

**Site Design Qualitative Standards Analysis (including vehicular use areas) and Major Thoroughfare Design Guidelines:** The proposed improvements to the site circulation, parking, landscaping and architecture are consistent with the Major Thoroughfare Design Guidelines and the City’s LDRs. The configuration of the existing sidewalks and roadways will not be impacted. The rear 10’ alleyway will be enlarged to a functional width of 20’ with the addition of a stabilized 10’ semi-pervious surface area, allowing for improved fire rescue access to the proposed and existing structures. Refuse compactors that roll out curbside for pick-up are proposed. The compactors are located inside the building and will be rolled out for pick-up. The location of the compactors was determined to be an appropriate location for pick-up services by Public Works. Improvements to the existing landscaping are also proposed and discussed in the landscape section of this report. The proposed parking garage and vehicular use areas will be effectively screened from the public view by both landscaping and buildings. The proposed parking garage access and layout does not create an unsafe situation and will conform to the requirements of the LDRs.

The existing uses in the surrounding area are as follows:

Direction	Future Land Use	Zoning District	Existing Use
North Uses are located across Lake Ave	Downtown Mixed Use (DMU)	DT - Downtown	Commercial Retail (Dollar General) & Multi-family Residential (7 stories)
South Uses are located across 1 <sup>st</sup> Ave S	High Density Residential	MF-30 - Medium Density Multi-Family Residential 30	Multi-family Residential (1 -2 stories)
East	Downtown Mixed Use (DMU) & Public Recreation & Open Space (PROS)	MF-30 - Medium Density Multi-Family Residential 30 & Public Recreation & Open Space PROS	Multi-family Residential (2-7 stories) & Park (Bryant Park)
West Uses are located across S. Lakeside Dr.	Downtown Mixed Use (DMU)	DT – Downtown & MF-30 - Medium Density Multi-Family Residential 30	Multi-family (2-5 stories)



The proposed uses are anticipated, desired and compatible uses in the Hotel District Overlay. Additional use analysis is located in the Conditional Use Permit section located on page 9 of this report. The corresponding proposed site circulation and improvements are appropriate and will minimize negative impacts on existing surrounding properties.

The proposed architecture of the building will improve the aesthetics of the existing property, and be an asset to the neighborhood. Staff has proposed several urban design conditions requiring additional fenestration and modifications to window configurations that do not impact the hotel floor plan. These changes would bring the façade into a more cohesive relationship to the existing hotel and reduce the overall bulk of the plain wall. Further, staff is recommending that the middle section of the new building along Lakeside Drive should differentiate itself more from the north and south massing elements. Through the creative use of additional fenestration and material selection, the appearance of the overall mass and bulk of the façade would be reduced. As conditioned, the design of the buildings has a unity of character; and, the proposed texture and color of materials create a harmonious aesthetic appearance as a whole. The subject application design and scale do not detract from the character, value, and attractiveness of the surroundings due to the fact the applicant has taken care to set back portions of the building from 1<sup>st</sup> Avenue South and from the condominium buildings to the east. Staff has proposed a condition of approval related to the approval and installation of public art in the future.

#### **Community Appearance Criteria:**

The proposed renovation of the historic hotel, new construction, new landscaping, and associated site improvements represent an enhancement in the general appearance of the property over the existing vacant lot and vacant hotel building. The proposed architecture of the building is appropriate and in harmony with the surrounding mixed use area as conditioned. The maximum height of the structure is 87' per the City Charter as approved by referendum in 2020. The building height steps down on the southern and eastern property lines for compatibility with the height of the adjacent and proximate multi-family residential structures. Along the southern property line adjacent to 1<sup>st</sup> Avenue North, the building steps down to a height of +/- 30' for compatibility with the lower scale residential across the street to the south. The rear of the building fronting the alley on the eastern property line also steps down to a height of +/- 30' for compatibility with the adjacent condominium properties. The landscaping along the western and southern property lines softens the façade of the new construction with native and Florida-friendly landscaping and shade trees (Live Oak & Spanish Stopper) along the public sidewalks.

Overall, the proposed project represents a substantial improvement in the visual appearance over the existing property and is consistent with the Comprehensive Plan, Major Thoroughfare Design Guidelines and the City's Land Development Regulations (LDRs). The project is in conformity with the principals of good design and quality and is in harmony with the city and the surrounding area as conditioned.

#### **Section 23.2-35 - Development of Significant Impact (DSI)**

A development of significant impact (DSI) is a commercial, office, or industrial development of 100,000 or more gross square feet of enclosed building area, including renovations of existing structures when a change to a more intensive use is anticipated, or a residential development of 100 or more dwelling units, including renovations of existing structures when a change to a more intensive use is anticipated. The project proposed qualifies as a DSI because it exceeds 100,000 sf.

Per LDR Section 23.2-35, a proposed DSI and any amendments to an approved DSI shall be reviewed and approved in accordance with the procedures and requirements for a Conditional Use Permit except that the City Commission shall be the decision maker and not the Planning and Zoning Board or the Historic Resources Preservation Board. The Conditional Use Permit criteria is outlined in the conditional use analysis section below.

**Section 23.2-29 - Conditional Use Permit (CUP)**

Conditional uses are those uses that are generally compatible with the other uses permitted in a district, but that require individual review of their location, design, structure, configuration, density and intensity of use, and may require the imposition of conditions to ensure the appropriateness and compatibility of the use at a particular location. The hotel and multi-family residential uses were reviewed for consistency with the required conditional use findings (Attachment B).

The proposed conditional uses are anticipated uses in the DT zoning district and in the Hotel District Overlay. The site and building are already served by municipal services, including water, sewer, refuse, fire and police. Improvements to both the City's water/sewer and electrical utilities that are included in the City's Five Year Capital Improvement Plan (CIP) will be implemented as part of the development of the project. The existing 10' alley will be widened to provide a 20' wide travel lane to ensure appropriate fire rescue accessibility to the rear of subject site and adjacent properties. The site circulation, parking garage access and valet service are designed to maximize the efficiency of hotel operations and minimize impacts on adjacent properties. The applicant has also provided a PBC Traffic Performance Standards approval letter. In summary, the hotel and multi-family uses are not anticipated to negatively impact the surrounding areas with traffic, noise, and air pollution more than if the proposed project were broken up into multiple individual uses that are permitted by right.

**Section 23.2-33(c) - Sustainable Bonus Incentive Program (SBIP)**

The City of Lake Worth Beach Sustainable Bonus Incentive Program (SBIP) is intended to implement Objective 1.2.3 of the City's Comprehensive Plan which states the City shall establish incentives to help support the creation of a compact, sustainable, community-oriented development by implementing a Sustainable Bonus Incentive Program. The Program offers the opportunity to attain an option for increased height and/or FAR in exchange for the incorporation of sustainable design features, community-based improvements and overall design excellence as part of a development proposal.

Per Policy 1.2.3.4 of the City's Comprehensive Plan, a mixed use urban planned development may obtain a 25% bonus on density, intensity (FAR), and height over the base line as outlined in Table 1 of the Comprehensive Plan. The Applicant is asking for a bonus height up to 87' as consistent with the City Charter, a density of +/-46.7 units per acre (13 bonus units), and a floor area ratio (FAR) of 2.89, which are less than the maximum allowances that can be permitted for height, density and intensity through a sustainable bonus incentive in a planned development in the DT zoning district and Hotel District Overlay. The total square footage of bonus area above the second floor is +/-139,385 square feet in total (106,270 sf bonus area in height only for floors 3 through 6 and 33,115 sf for floors 7 and penthouse in height, density and intensity incentives). Therefore, the value of required improvements for the SBIP bonus areas are \$797,025 (106,270 sf X \$7.50 per sf), plus an additional \$496,725 (33,115 sf X \$15 per square foot). The total combined value of required improvements both areas \$1,293,750. The project is proposing to renovate and restore a designated structure on the National Register of Historic Places, which entitles the project to 50 percent of the incentive award regardless of the number of additional stories of square feet above the initial two stories, which has an equivalent value of \$646,875. The applicant has requested that the City Commission waive the requirement that 50% of the sustainable bonus incentive fee be paid to the City per recent City Commission direction. The applicant is proposing that in lieu of paying 50% of the sustainable bonus incentive payment that the project be conditioned to require Florida Green Building certification (equal to 50% of the value of the sustainable bonus fee per the LDRs) and a public art component. The project does not include off-site improvements toward the SBIP credit. The proposed development meets the intent of the SBIP as conditioned. Staff has proposed a condition of approval requiring 50% of the sustainable bonus incentive fee be paid to the City, or that the City Commission should provide direction that the Florida Green Building certification and public art component is required in lieu of that amount.

## CONCLUSION AND CONDITIONS

The DT zoning district is intended “to provide the establishment and expansion of a broad range of office and commercial uses, including higher density residential use.” The Hotel District Overlay is designed to encourage hotel uses in the Overlay. The hotel and multi-family conditional uses are anticipated and encouraged uses in the zoning district and overlay. Based on the data and analysis in this report and the supporting materials by the applicant, the proposed site plan, building design and site circulation are appropriate and consistent with the City’s Comprehensive Plan, Strategic Plan, Major Thoroughfare Design Guidelines, and Land Development Regulations with no requested exceptions or waivers. The proposed site circulation, parking, refuse, delivery, and amenity locations anticipated to minimize and/or mitigate any impacts of the hotel uses on the adjacent and proximate multi-family residential uses. The applicant has also provided documentation that the proposed project will provide a substantial positive economic impact on the City’s downtown. Further, the proposal would allow for the renovation and reopening of a historically and culturally significant landmark hotel. **Therefore, a recommendation of approval is provided to the HRPB with the following conditions:**

### Planning & Zoning

1. The applicant shall be required to submit a preliminary plat application prior to the issuance of a building permit depicting all required dedications and easements and any necessary abandonments. Final plat approval is required prior to the issuance of a Certificate of Occupancy.
2. Public art, including murals, proposed in the future shall be reviewed by both the HRPB and the CRA's LULA program prior to installation.
3. Prior to the issuance of a building permit, revised photometric plans shall be required to updated as follows:
  - All lighting shall be shielded so as to not trespass upon neighboring residential properties or districts. Lighting shall not exceed 1-foot candle/ 10.76 lumens when measured from the property line and shall comply with lighting code regulations in LDR Section 23.4-3.
  - If using LED lighting, a warm light tone is required. Lighting fixtures should comply with dark skies fixture recommendations, including a 3000K light tone or less, and shall be consistent with the architectural style of the project as determined by the Development Review Official.
4. Prior to the issuance of building permit for commercial signage, a Minor Site Plan amendment to establish a Uniform Master Sign Program for individual tenants/businesses in accordance with the City's Land Development Regulations is required. Directional signage shall be exempt from the minor site plan requirement provided that is appropriately scaled and architecturally consistent.
5. Prior to the issuance of building permit, the applicant shall provide a detailed striping and signage plan for the mobility space on S. Lakeside Drive as approved by the Public Works Department.
6. Prior to the issuance of a building permit, the applicant shall pay \$54,400 into the City’s Tree Canopy Restoration fund.
7. Prior to the issuance of a building permit, the site plan shall be updated to depict the location of 9 Electric Vehicle Charging Station spaces on a parking garage floor plan.
8. During peak business operational periods and special events, the hotel use shall utilize the alternative valet configuration to provide +/- 320 garage spaces.
9. Prior to the issuance of the first building permit, a school capacity fee of \$10,016 shall be contributed to the School District of Palm Beach County.
10. Fifty percent of the sustainable bonus fee (\$646,875) shall be paid to the City within one year of approval, or prior to the issuance of the building permit, whichever comes first. Alternatively, the City Commission may approve the proposed Florida Green Building Certification and public art in lieu of the fee.

### Urban Design

1. The front facing façade of the new building along Lake Avenue requires additional fenestration on floors 3 through 7. Staff has provided a suggested change to add two vertical series of windows that do not affect the

- use or layout of the proposed hotel rooms. The change would bring the façade into a more harmonious relationship to the existing hotel and reduce the overall bulk of the plain wall.
2. The middle section of the new building along Lakeside Drive should differentiate itself more from the north and south massing elements. Through the creative use of additional fenestration and material selection, the change would reduce the overall mass and bulk of the façade.
  3. A more vibrant exterior color scheme more in keeping with the colorful diversity and charm of the City is suggested. Color palette should remain in the citrus tones and shades.

Utilities (Water, Sewer & Stormwater) Conditions approval shall be addressed prior to the issuance of a building permit unless otherwise indicated.

1. The gravity sewer relocation plan needs to include design elevations, including conflict crossing elevations, to verify the feasibility of the plan and identify conflict crossings. Show any proposed conflict structures and contact the PBC health department to determine if they will allow the use of conflict storm infrastructure.
2. Size and show the location of the grease trap/s associated with the restaurant. Grease traps shall be sized in accordance with 64E-6.013 of the F.A.C. This must be part of the site plan submittal and review.
3. The applicant provided a very high level-low detail drainage statement. Provide the drainage calculations that meet the City and the SFWMD storm design policy. The drainage calculations must be included in the site plan submittal and review to prove that drainage system can function as proposed.
4. The MEP drainage and pumping drawings with calculations were not included. Additional comment/s may be forthcoming following the submission of this information. This must be submitted with the site plan.
5. The City drainage policy states the property must retain on site, the runoff from a 3-year 1-hour storm event (2.6 inches of precipitation) before any discharge can occur. The drainage area evaluated is the total site area and this includes the hotel area. In addition, adjacent flows that enter the property must be evaluated or rerouted.
6. Will the storm manhole located in Lake Ave remain in service or be utilized? The storm main south of the structure is called out for abandonment and it appears that main was the only reason the manhole was installed. This structure may need to be removed if no longer in service.
7. Identify on the site plan that there will be an alleyway dedication to the City or not. However, if the right of way is not dedicated, provide a 15-foot-wide easement for the watermain extension that is proposed. One or the other should be shown on the site plan.
8. If the above grade meters and backflow devices serving the existing hotel located in front of roll up doors, then revise as necessary.
9. Request a sewer lateral/s locate for the existing hotel; the locates will be verified by the Utilities team with CCTV. This information is necessary to confirm the conceptual sewer plan in the alleyway south of Lake Ave.
10. The proposed sewer relocation plan will require a shutdown of both lanes on FDOT's Lake Ave. It is recommended that the sewer main in Lake Ave be place in the center of the travel lane since FDOT prefers single lane closures over a full closure.
11. Bold the callout "To be lined" over the sewer main between Lake Ave to 1st Ave S. Darken the dashed line work over the sewer main to bring attention to the proposed work
12. A laundry interceptor shall be designed to the same standard as the grease trap above, however the structure/s can be located within the building.
13. There is an active 1.25-inch gas main in the alleyway. Contact Matthew Ryan with Florida Public Utilities about a plan to address gas main. [mryan@chpk.com](mailto:mryan@chpk.com) or 561-838-1832. [Advisory]
14. Plan to provide the SFWMD ERP permit before issuance of the building permit. [Advisory]
15. Provide all standard details that are associated to the conceptual plans required is the site plan submittal. [Advisory]

16. There will be an FDOT utility permit for the work proposed in Lake Ave. Please plan to submit for this prior to building permit. [Advisory]
17. Please note that capacity fee must be paid prior to building permit issuance. See City’s website (under finance) for information regarding capacity fees listed in the “schedule of fee”. [Advisory]
18. The design engineering should visit the site and take note that the roof drain gutters from the buildings at 10, 15 & 31 South Golfview. These gutters pipe underground and it must be investigated where they bubble back up to/from. [Advisory]

**Public Works**

1. The issuance of any permits shall comply with all provisions of the Lake Worth Municipal Code and all other applicable standards including but not limited to the Florida Department of Transportation (FDOT), Manual on Uniform Traffic Control Devices (MUTCD), and City of Lake Worth Public Works Construction Standards and Policy and Procedure Manual. (Condition of Approval)
2. No Certificate of Occupancy shall be granted until all conditions of approval have been satisfied under jurisdiction of the Department of Public Works. (Condition of Approval)
3. Prior to the issuance of a building permit, contact the Lake Worth Drainage (LWDD) District’s Engineering Department and obtain any required permit(s), if necessary, and furnish to the City. Prior to the issuance of a building permit, contact the South Florida Water Management District’s (SFWMD) Engineering Department and obtain any required permit(s), if necessary. (Condition of Approval)
4. Prior to the issuance of a certificate of occupancy, ensure the entire surrounding off-site infrastructure inclusive of the roadway, sidewalk, curbing, stormwater system piping and structures, valve boxes, manholes, landscaping, striping, signage, and other improvements are in the same condition as prior to construction. A pre-construction video of the entire perimeter shall be performed and submitted to the City. (Condition of Approval)
5. Prior to the issuance of a building permit, submit an Erosion Control plan and indicate the BMP’s and NPDES compliance practices. (Condition of Approval)
6. Prior to the issuance of a Certificate of Occupancy, fine grade and sod all disturbed areas with bahia sod. (Condition of Approval)
7. Prior to the issuance of a Certificate of Occupancy, broom sweep all areas of the affected right of way and remove of all silt and debris collected as a result of construction activity. (Condition of Approval)
8. Prior to performing work in the right of way, apply for and receive issuance of a “Right of Way/Utility Permit” application. (Condition of Approval)
9. Prior to the issuance of a Certificate of Occupancy, restore the right of way to a like or better condition. Any damages to pavement, curbing, striping, sidewalks or other areas shall be restored in kind (Condition of Approval)
10. Prior to proposed road closures, submit a Maintenance of Traffic plan to be reviewed and approved by the City prior to implementation. Affected residents must be notified once the plan is approved. (Condition of Approval)
11. Prior to the issuance of a Certificate of Occupancy, coordinate with the Solid Waste and Recycling Division the collection schedule, frequency and logistics. (Condition of Approval)
12. Prior to the issuance of a Building Permit, please provide a detailed plan for the following:
13. Proposed parking plan for construction vehicles, equipment and materials for all phases of the project.
14. Proposed staging/usage plan for cranes, lifts, and other equipment that must utilize the right of way. Maintenance of Traffic plan including resident parking, access, pedestrian and boat ramp/tourist activity must be considered
15. Prior to the issuance of a Building Permit, provide to the City an evaluation of the feasibility and a proposed design for providing 2-way traffic flow along S. Lakeside Drive between 1st Ave South and Lake Avenue.

16. Prior to the issuance of a Certificate of Occupancy, construct alleyway improvements consisting of a 1" mill and 1" overlay from 1st Ave South to the north dead end. Special attention to be given for positive drainage.

Electric Utilities

1. At the time of application for a Building Permit, the applicant shall provide all applicable load calculation and the total conditioned space.
2. Prior to the issuance of a building permit, the following actions shall be completed:
  - a. Show the location of the Padmount Transformers, Automatic Transfer Switch (ATS), and the meter banks. The Padmount Transformer locations will need to be in an accessible location to our trucks and will need 8-ft (8 feet) of minimum clearance in the front and 3-ft (3 feet) of minimum clearance on the sides and rear. This clearance includes landscaping. None trees, plants, shrubs or vegetations are allowed within the clearance
  - b. Provide the electric riser diagrams for all buildings, the proposed electrical loads and the voltages required, including proposed Electrical Cable Schedules.
  - c. Provide the Amp Sizes and Voltages for any other services needed than the commercial units, such as lighting, irrigation, etc. If any meter is over 320 amps for Single Phase, and over 200 amps for 3-Phase, a CT Cabinet and CT Meter Can will need to be installed. All meters and CT Cabinets will need a minimum of 36" (36 in) of clearance in front of them.
  - d. Provide a 10-ft (10 feet) wide utility easement for the underground electric lines, Padmount Transformers & Switchgear that will serve this project. Starting on 1st Ave South running North along the alley and East along the South side of the existing building, and stop 15-ft (15 feet) West of the Generator. The Main Electric Line Routing from the Poles to the Padmount Transformers will be determined by the Lake Worth Beach design engineer.
  - e. Transformer & Electrical Equipment Box Pad Elevations shall be FEMA 100 yr. Flood-Plain Elevation + 1-ft (1 feet).
  - f. Provide details for Temporary Power during construction, Voltage & Amps and approximate Location of service point.
  - g. CLWB will remove All Electric Over Head (OH) Infrastructure from the Alley between S. Lakeside Dr. and S Golfview Rd. between Lake Ave. and 1st Ave. S.
  - h. Complete payment to Lake Worth Beach for electrical infrastructure costs for labor & materials to serve this project.
  - i. The customer will be responsible for installing any Secondary Conduit at a minimum of 24" (24 in) deep from the Secondary Winding of the Transformer of the property to the building.
  - j. The customer will be responsible for Any and All labor and material costs for providing electric service to this project.
  - k. The CLWB will procure one (1) Padmount Transformer and Box Pad to serve the facility, the owner/developer is responsible for the reimbursement costs to the City. The City will procure one (1) Spare Padmount Transformer at the City's expense.
3. Prior to the issuance of a Certificate of Occupancy, the following actions shall be completed:
  - a. Provide copy of recorded Utility Easement.
  - b. Note that No permanent power can NOT be provided until a Final Electrical Inspection is done.

**BOARD POTENTIAL MOTION:**

I move to recommend approval **with conditions** of Ordinance 2022-09, commonly referred to as the "Gulfstream Hotel Planned Development" based on upon the competent and substantial evidence provided in the staff report and in the testimony at the public hearing.

I move to **recommend denial** the subject request of Ordinance 2022-09, commonly referred to as the “Gulfstream Hotel Planned Development.” The project does not meet the review criteria [Board member state applicable review criteria] for the following reasons [Board member please state reasons.].

**Consequent Action:** *The Historic Preservation Review Board recommendation will be forwarded to the City Commission as part of the public hearing supporting documents and materials upon first reading of Ordinance 2022-09.*

#### ATTACHMENTS

- A. Qualitative Development Standards
- B. Conditional Use Findings
- C. Application Package (survey, site plan package, architectural plans & supporting documents). Attachments are numbered and apply to both the planning and zoning as well as the historic preservation applications.

**ATTACHMENT A – Qualitative Development Standards**

<b>Section 23.2-31(c) –Qualitative Development Standards</b>	<b>Analysis</b>
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**1. Harmonious and efficient organization.** All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of plot, the character of adjoining property and the type and size of buildings. The site shall be developed so as to not impede the normal and orderly development or improvement of surrounding property for uses permitted in these LDRs. **In compliance**

**2. Preservation of natural conditions.** The natural (refer to landscape code, Article 6 of these LDRs) landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and by such other site planning approaches as are appropriate. Terrain and vegetation shall not be disturbed in a manner likely to significantly increase either wind or water erosion within or adjacent to a development site. Natural detention areas and other means of natural vegetative filtration of stormwater runoff shall be used to minimize ground and surface water pollution, particularly adjacent to major waterbodies. Fertilizer/pesticide conditions may be attached to development adjacent to waterbodies. Marinas shall be permitted only in water with a mean low tide depth of four feet or more. **Not applicable**

**3. Screening and buffering.** Fences, walls or vegetative screening shall be provided where needed and practical to protect residents and users from undesirable views, lighting, noise, odors or other adverse off-site effects, and to protect residents and users of off-site development from on-site adverse effects. This section may be interpreted to require screening and buffering in addition to that specifically required by other sections of these LDRs, but not less. **In compliance**

**4. Enhancement of residential privacy.** The site plan shall provide reasonable, visual and acoustical privacy for all dwelling units located therein and adjacent thereto. Fences, walls, barriers and vegetation shall be arranged for the protection and enhancement of property and to enhance the privacy of the occupants. **In compliance**

**5. Emergency access.** Structures and other site features shall be so arranged as to permit emergency vehicle access by some practical means to all sides of all buildings. **In compliance**

**6. Access to public ways.** All buildings, dwelling units and other facilities shall have safe and convenient access to a public street, walkway or other area dedicated to common use; curb cuts close to railroad crossings shall be avoided. **In compliance**

**7. Pedestrian circulation.** There shall be provided a pedestrian circulation system which is insulated as completely as reasonably possible from the vehicular circulation system. **In compliance**

**8. Design of ingress and egress drives.** The location, size and numbers of ingress and egress drives to the site will be arranged to minimize the negative impacts on public and private ways and on adjacent private property. Merging and turnout lanes traffic dividers shall be provided where they would significantly improve safety for vehicles and pedestrians. **In compliance**

**9. Coordination of on-site circulation with off-site circulation.** The arrangement of public or common ways for vehicular and pedestrian circulation shall be coordinated with the pattern of **In compliance**



existing or planned streets and pedestrian or bicycle pathways in the area. Minor streets shall not be connected to major streets in such a way as to facilitate improper utilization.

**10. Design of on-site public right-of-way (ROW).** On-site public street and rights-of-way shall be designed to for maximum efficiency. They shall occupy no more land than is required to provide access, nor shall they unnecessarily fragment development into small blocks. Large developments containing extensive public rights-of-way shall have said rights-of-way arranged in a hierarchy with local streets providing direct access to parcels and other streets providing no or limited access to parcels. **Not applicable**

**11. Off-street parking, loading and vehicular circulation areas.** Off-street parking, loading and vehicular circulation areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property. **In compliance**

**12. Refuse and service areas.** Refuse and service areas shall be located, designed and screened to minimize the impact of noise, glare and odor on adjacent property. **In compliance**

**13. Protection of property values.** The elements of the site plan shall be arranged so as to have minimum negative impact on the property values of adjoining property. **In compliance**

**14. Transitional development.** Where the property being developed is located on the edge of the zoning district, the site plan shall be designed to provide for a harmonious transition between districts. Building exteriors shall complement other buildings in the vicinity in size, scale, mass, bulk, rhythm of openings and character. Consideration shall be given to a harmonious transition in height and design style so that the change in zoning districts is not accentuated. Additional consideration shall be given to complementary setbacks between the existing and proposed development. **In compliance**

**15. Consideration of future development.** In finding whether or not the above standards are met, the review authority shall consider likely future development as well as existing development. **In compliance**

<b>Section 23.2-31(d) - Qualitative Buildings, generally</b>	<b>Analysis</b>
<p>1. Buildings or structures which are part of a present or future group or complex shall have a unity of character and design. The relationship of forms of the use, texture and color of material shall be such as to create one (1) harmonious whole. When the area involved forms an integral part of, is immediately adjacent to, or otherwise clearly affects the future of any established section of the city, the design, scale and location of the site shall enhance rather than detract from the character, value and attractiveness of the surroundings. Harmonious does not mean or require that the buildings be the same.</p>	<b>In compliance with conditions</b>
<p>2. Buildings or structures located along strips of land or on a single site, and not a part of a unified multi-building complex shall achieve as much visual harmony with the surroundings as is possible under the circumstances. If a building is built in an undeveloped area, three (3) primary requirements shall be met, including honest design construction, proper design concepts, and appropriateness to the city.</p>	<b>In compliance with conditions</b>
<p>3. All façades visible to public or adjacent property shall be designed to create a harmonious whole. Materials shall express their function clearly and not appear foreign to the rest of the building.</p>	<b>In compliance with conditions</b>

4. *The concept of harmony shall not infer that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of scale, mass, bulk, proportion, height, orientation, site planning, landscaping, materials, rhythm of solids to voids and architectural components including but not limited to porches, roof types, fenestration, orientation and stylistic expression.* **In compliance with conditions**
5. *Look-alike buildings shall not be allowed unless, in the opinion of the board, there is sufficient separation to preserve the aesthetic character of the present or evolving neighborhood. This is not to be construed to prohibit the duplication of floor plans and exterior treatment in a planned development where, in the opinion of the board, the aesthetics or the development depend upon, or are enhanced by the look-alike buildings and their relationship to each other.* **In compliance**
6. *Buildings, which are of symbolic design for reasons of advertising, unless otherwise compatible with the criteria herein, will not be approved by the board. Symbols attached to the buildings will not be allowed unless they are secondary in appearance to the building and landscape and are an aesthetic asset to the building, project and neighborhood.* **In compliance**
7. *Exterior lighting may be used to illuminate a building and its grounds for safety purposes, but in an aesthetic manner. Lighting is not to be used as a form of advertising in a manner that is not compatible to the neighborhood or in a manner that draws considerably more attention to the building or grounds at night than in the day. Lighting following the form of the building or part of the building will not be allowed if, in the opinion of the board, the overall effect will be detrimental to the environment. All fixtures used in exterior lighting are to be selected for functional as well as aesthetic value.* **In compliance**
8. *Building surfaces, walls and roofs shall be compatible and in harmony with the neighborhood.* **In compliance**
9. *"Take-out" or "pick-up" windows of retail or wholesale establishments shall not be located on a building façade that faces a public right-of-way, unless they are designed in such a manner as to constitute an aesthetic asset to the building and neighborhood.* **Not applicable**
10. *All exterior forms, attached to buildings, shall be in conformity to and secondary to the building. They shall be an asset to the aesthetics of the site and to the neighborhood.* **In compliance**
11. *All telephones, vending machines, or any facility dispensing merchandise, or a service on private property, shall be confined to a space built into the building or buildings or enclosed in a separate structure compatible with the main building, and where appropriate and feasible, should not be readily visible from off-premises.* **In compliance**
12. *Buildings of a style or style-type foreign to south Florida or its climate will not be allowed. It is also to be understood that buildings which do not conform to the existing or to the evolving atmosphere of the city, even though possessing historical significance to south Florida, may not be approved.* **In compliance**
13. *No advertising will be allowed on any exposed amenity or facility such as benches and trash containers.* **In compliance**
14. *Light spillage restriction. The applicant shall make adequate provision to ensure that light spillage onto adjacent residential properties is minimized.* **In compliance**

<b>Section 23.2-31(h) – Criteria for parking lots and vehicular use areas</b>	<b>Analysis</b>
1. <i>Parking lots and other vehicular use areas are to be designed as an aesthetic asset to a neighborhood and to the building, group of buildings, or facility they serve. A parking lot is to be considered an outside space; a transitional space that is located between access areas (such as roads) and the building, group of buildings or other outside spaces which it serves. The parking lot, because it is viewed from above as well as at eye level, should be designed accordingly.</i>	<b>In compliance</b>
2. <i>Parking lots, vehicular use areas, and vehicles parked therein are to be effectively screened from the public view and from adjacent property in a manner that is attractive and compatible with safety, the neighborhood and the facility served.</i>	<b>In compliance</b>
3. <i>The responsibility for beautification and design of a parking lot is the same as that which a homeowner has to his residential lot. The atmosphere within a parking lot or vehicular use area is to be as pleasant and park-like as possible, rather than a harsh stand of paving. Trees are of primary importance to the landscape and are not to be minimized in either height or quantity. Trees impart a sense of three-dimensional space in a relatively flat area. Trees cast shadows that help to reduce the monotony of an expanse of paving and create a refuge from the tropical sun. Signs designating entrances, exits and regulations are to be of a tasteful design and shall be subject to review by the board. Consideration may be given to use of pavement which is varied in texture or color to designate lanes for automobile traffic, pedestrian walks and parking spaces. Brightly colored pavement is to be used with restraint. In order to create a pleasant atmosphere, it is recommended that consideration be given to sculpture, fountains, gardens, pools and benches. Design emphasis is to be given to the entrance and exit areas of the lot. Trash, refuse and unaesthetic storage and mechanical equipment shall be screened from the parking lot.</i>	<b>In compliance</b>
4. <i>Lighting is to be designed for visual effects as well as safety and resistance to vandalism. Care should be taken not to create a nuisance to the neighborhood from brightness or glare. Low lights in modest scale can be used along with feature lighting emphasizing plants, trees, barriers, entrances and exits. The fixtures are to be selected for functional value and aesthetic quality. Fixtures should be regarded as "furniture of the parking lot" which are visible both day and night.</i>	<b>In compliance</b>

<b>Section 23.2-31(l) – Community Appearance Criteria</b>	<b>Analysis</b>
1. <i>The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the city as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.</i>	<b>In compliance</b>
2. <i>The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.</i>	<b>In compliance</b>
3. <i>The proposed structure or project is in harmony with the proposed developments in the general area, with code requirements pertaining to site plan, signage and landscaping, and the comprehensive plan for the city, and with the criteria set forth herein.</i>	<b>In compliance</b>
4. <i>The proposed structure or project is in compliance with this section and 23.2-29, Conditional Use Permits (CUP), as applicable.</i>	<b>In compliance</b>

**ATTACHMENT B - Findings for Granting Conditional Uses**

Prior to approving any conditional use permit, the decision-making authority shall find based on competent and substantial evidence that the following criteria related to conditional uses are met:

Section 23.2-29(d) General findings relating to harmony with LDRs and protection of public interest.	Analysis
1. <i>The conditional use exactly as proposed at the location where proposed will be in harmony with the uses which, under these LDRs and the future land use element, are most likely to occur in the immediate area where located.</i>	<b>In compliance</b>
2. <i>The conditional use exactly as proposed at the location where proposed will be in harmony with existing uses in the immediate area where located.</i>	<b>In compliance</b>
3. <i>The conditional use exactly as proposed will not result in substantially less public benefit or greater harm than would result from use of the site for some use permitted by right or some other conditional use permitted on the site.</i>	<b>In compliance</b>
4. <i>The conditional use exactly as proposed will not result in more intensive development in advance of when such development is approved by the future land use element of the comprehensive plan.</i>	<b>In compliance</b>

Section 23.2-29(e) Specific findings for all conditional uses.	Analysis
1. <i>The proposed conditional use will not generate traffic volumes or movements which will result in a significant adverse impact or reduce the level of service provided on any street to a level lower than would result from a development permitted by right.</i>	<b>In compliance</b>
2. <i>The proposed conditional use will not result in a significantly greater amount of through traffic on local streets than would result from a development permitted by right and is appropriately located with respect to collector and arterial streets</i>	<b>In compliance</b>
3. <i>The proposed conditional use will not produce significant air pollution emissions, or will appropriately mitigate anticipated emissions to a level compatible with that which would result from a development permitted by right.</i>	<b>In compliance</b>
4. <i>The proposed conditional use will be so located in relation to the thoroughfare system that neither extension nor enlargement nor any other alteration of that system in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right.</i>	<b>In compliance</b>
5. <i>The proposed conditional use will be so located in relation to water lines, sanitary sewers, storm sewers, surface drainage systems and other utility systems that neither extension nor enlargement nor any other alteration of such systems in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right.</i>	<b>In compliance</b>
6. <i>The proposed conditional use will not place a demand on municipal police or fire protection service beyond the capacity of those services, except that the proposed facility may place a</i>	<b>In compliance</b>

*demand on municipal police or fire protection services which does not exceed that likely to result from a development permitted by right.*

7. *The proposed conditional use will not generate significant noise, or will appropriately mitigate anticipated noise to a level compatible with that which would result from a development permitted by right. Any proposed use must meet all the requirements and stipulations set forth in section 15.24, Noise control.* **In compliance**
  
8. *The proposed conditional use will not generate light or glare which encroaches onto any residential property in excess of that allowed in section 23.4-10, Exterior lighting.* **In compliance**

## **GULFSTREAM HOTEL**

**1 Lake Avenue, 11 Lake Avenue, , and 11, 12, 14, 20, 22 and 24 South Lakeside Drive and including vacated alley**

### **STATEMENT OF USE AND JUSTIFICATION**

**Resubmitted 3.30.22 to respond to SPRTC round 2**

**for Mixed Use Urban Planned Development Approval, Major Site Plan Approval, Conditional Use Approval, Sustainable Bonus Incentive Program, Certificate of Appropriateness Exterior Modification; Certificate of Appropriateness Additions; Certificate of Appropriateness New Construction, and Variance pursuant to Section 23.7-7**

Gulfstream Owner, , LLC (“**Petitioner**”), an affiliate of Restoration St. Louis, Inc. and HH Gulfstream Land Holdings, LLC, proposes to renovate and redevelop the historic Gulfstream Hotel and related properties, an assemblage of multiple parcels located at 1 Lake Avenue, 11 Lake Avenue, 12 South Lakeside Drive, 14 South Lakeside Drive, 20 South Lakeside Drive, 22 South Lakeside Drive and 24 South Lakeside Drive, including vacated alley (collectively referred to herein as “**Property**”), which is generally located on the south side of Lake Avenue between South Lakeside Drive and South Golfview Road within the City of Lake Worth Beach (“**City**”). The Property is located within the South Palm Park Historic District, designated DMU, Downtown Mixed Use, on the City’s Future Land Use Map and located within the DT, Downtown, zoning district, and the Hotel District overlay.

#### Property History

The Property is currently approved for and developed with the historic one hundred five (105) room Gulfstream Hotel, a surface parking lot, vacant land, and a vacated alley. The historic Gulfstream Hotel was permitted through the City’s Building Department in May of 1923 and the first grand opening occurred January 20, 1925.

Originally conceived as El Nuevo Hotel, construction of the Gulfstream Hotel began in early 1923 due to the lack sufficient hotel rooms to meet the influx of business travelers, seasonal tourists, and new residents without homes. The six-story hotel was designed by G. Lloyd Preacher & Company, architects and engineers out of Atlanta. After construction delays, the hotel formally opened in 1925 and three years later, fell victim to a deadly hurricane that swept through Palm Beach causing destruction to many landmarks in the area. The Gulfstream served as Lake Worth Beach's only Red Cross shelter to aid victims. The crippled hotel opened briefly until the collapse of the stock market and remained closed until 1936 when two Army veterans (General Richard C. Marshall II and Colonel H. C. Maddux) acquired ownership and began restoration and expansion after the conclusion of WWII, which included the adjacent lots that included additional hotel Villas and the neighboring 7-story tower that has since been converted to condos. While many buildings were demolished for new construction, the Gulfstream is a notable exception. On January 11, 1983, became the city's first listing on the Nation Register of Historic Places and underwent an \$8.5 million restoration in 1986 under new ownership.

### Project Proposal

At this time, Petitioner proposes to renovate, expand, and restore the historic Gulfstream Hotel building to provide 90 hotel rooms, and to construct a 48-52 room new building, with 80-85 residential units and a structured parking garage containing approximately 271 parking spaces, together with ancillary restaurants, bars, fitness center, full service spa, 400 person ballroom and event spaces, rooftop pool, outdoor bar and support spaces, and a connector between the historic hotel and the new construction building ("**Project**"). A Conceptual Site Development Plan showing the proposed redevelopment plan is included with this application.

With its stucco exterior, arches, and flat roof with parapet, the design of the historic hotel can be described as Mediterranean Revival; the expansion of the historic building will also be Mediterranean Revival, designed to blend with the existing structure. The south elevation of the expansion will utilize recessed rectangular stucco inserts with score lines to in continuity with the new fixed windows from the East façade. The southern face of the addition will be stuccoed and painted to match the color of the rest of the hotel. The parapet of the addition resembles the raised corners at the rooftop. In contrast, the new construction building has a Contemporary design. Its wider range of materials, including concrete, significant use of glass, flow of indoor to outdoor spaces, green roof terrace, oversized windows, use of color, and activated rooftop (pool and restaurant) are all hallmarks of Contemporary design. However, at the request of the City, the new building also gives nods to the Mediterranean Revival style of the existing historic hotel, including stuccoed elevations, balconies, and first floor windows that mirror the historic hotel's arches but are square instead of arched in order to be similar but deferential. The exterior materials of the small new connector will be composed of either stucco or a more contemporary material, to invoke either the Mediterranean Revival style or the contemporary style of the buildings that it bridges, based on feedback from the NPS but will be very deferential to the Gulfstream Historic building. It is intended to have little visibility from the front-- camouflaged by the big setback, landscaping and the exterior ramp and stair.

The Gulfstream Project will renew and revitalize the downtown corridor between the downtown retail and restaurant uses and beach and historic Lake Worth Beach Casino area.

The City of Lake Worth Beach has a proud history, an appealing artistic personality, an exciting food scene, a coveted beachfront location in a prime coastal area--- and a giant hole at its front door.

The Gulfstream Hotel was once an engine in the Lake Worth Beach economy, putting the city on the map, bringing in visitors, and fueling the two long blocks of charming restaurants, bars, retail, and other commercial businesses along Lake and Lucerne. It was a fixture in the local community from its opening in 1925. As it approaches its 100 year anniversary, the building is now an iconic original example of the Mediterranean Revival style that is one hallmark of Lake Worth Beach. But it sits as an empty, forlorn drag on downtown.

When it closed in 2006 it was a blow to local businesses and to the pride of the community. No thriving community wants an empty building and a vacant, underutilized lot sitting on its prime corner in downtown. Large vacant buildings contribute to increased crime, lower property values, and create an atmosphere of decline. Yet the Gulfstream has been vacant for over a decade and a half.

The Gulfstream closed because it was no longer financially viable in its current structure. It hasn't been reopened largely because the historic hotel doesn't have the amenities needed for a successful modern hotel. The existing historic hotel doesn't allow modern room size and amenities such as modern bathrooms, fitness center, room service and on-site restaurant. The cost to renovate and operate the historic hotel can't be supported long term by the number of rooms in the historic building alone. To stay in business for the long term, the Gulfstream Hotel needs strong economic fundamentals, and ancillary sources of revenue such as a ballroom & meeting rooms (providing wedding/meeting income); spa; multiple food outlets, and residential units, which provide income to balance the hotel revenues and provide value for lender requirements and economics. If the Gulfstream could be viably redeveloped without this supporting development it would have happened by now.

A modernized, financially stable, nationally branded Gulfstream Hotel and apartments will activate this important corner in downtown and create excitement that is contagious both within the business community and in the tourist/retail community. Downtown will become a more desirable location The hotel and its restaurants will provide new pedestrian destinations downtown and increase foot traffic for local businesses. The ballroom venue will be used by tourists, locals, and residents of nearby communities who will see a new Lake Worth Beach and



the visibility for local establishments will increase. The 80+ residential units will further increase activity in Old Town Historic district, giving its businesses an influx of new consumers. It will also help alleviate the strain on the current LWB housing market by providing much needed rental units to the housing pool.

The effect of an operating, viable Gulfstream is not just increased optimism, pride, and foot traffic. While those are important, the Gulfstream project in fact will trigger major economic benefits for the Lake Worth Beach community.

Rehabilitating the Gulfstream Hotel into a new, larger, boutique hotel will give Lake Worth Beach a larger piece of the tourism pie. Currently, Lake Worth Beach has minimal motel options and no hotel options available. This leads Lake Worth Beach visitors to leave the city and pay for a hotel in Palm Beach or other nearby areas, taking both tax revenue and tourism dollars away from the city. The redevelopment of Gulfstream will give tourists, travelers, and residents the ability to stay in Lake Worth Beach, interact with the local community, and spend their money there. This will provide significant benefit to LWB businesses, helping them to thrive and grow. Using a recognized ‘tourist spending multiplier’, Florida cities can see community spending increase anywhere from 39% to 700% with the addition of a project like Gulfstream. According to the Lake Worth Beach Tourism Taskforce, each hotel room = \$100,000 annually in economic impact for the neighborhood. Based on that metric, the local neighborhood will see over \$14 Million in economic impact from the hotel rooms alone, providing a much needed “shot in the arm” for retailers and restaurants along Lake & Lucerne Avenue.

In its first 10 years of operation, the Gulfstream Project is projected to generate over \$3.5M in new revenues for the City owned utilities. The increased real estate tax revenue from the Gulfstream will be significant – according to CRA calculations, between 2024 and 2033, the redeveloped Gulfstream Hotel Project will pay approximately **\$7,683,545** in additional real estate taxes, over and above what it would pay if the hotel was not redeveloped. As the Gulfstream and more businesses open and thrive downtown, that increased sales tax revenue also will flow to the county and the city. We have often seen that when a project of this scale gets off the ground you can expect 12-20 new retail permits to follow it within the first year.

The Gulfstream The Project also will be a source of stable employment—projected to be **125 - 175 new jobs**-- with good pay scales for existing and future residents of Lake Worth Beach. A robust job market is important to keep Lake Worth Beach’s diverse range of ages and incomes in the community. And the employment spark isn’t limited to the hotel jobs. The hotel employees will have new money to spend at local businesses. That in turn creates new jobs. Economists recognize an ‘employment multiplier’ as the number of additional jobs generated by each new tourism job and it’s not unusual for communities like Lake Worth Beach to see an additional up to 2.63 jobs created for every hotel job.

The Gulfstream also plans to create a robust local vendor purchasing program to further support local businesses and contractors. For reference, Hotel Saint Louis in Missouri **supports 150 local vendors that supply over \$5 Million in goods and services in a normal year**. Every dollar used locally has been shown to be recirculated in the local economy 7 times – leading to an indirect boost to the local economy of \$28-42 Million, over and above the \$14 Million in economic impact from hotel guests. The total impact (direct & indirect) of The Gulfstream hotel operations is therefore expected to be \$46-60 Million overall.

This Project is not a cookie-cutter, big box project. In addition to restoring the historic building and its rich past, Petitioner is mindful of the historic, artistic, and culturally diverse nature of Lake Worth Beach and plans to emphasize the characteristics that have heralded it as ‘Jewel of the Gold Coast.’ The petitioner plans to use the hotel to increase artistic opportunities in the community through the curation of art shows and the installation of local art inside the public spaces of the hotel. The main salon facing the corner of Lake and Lakeview has been designed as a free art gallery space for local artists to show and sell their work. The Project has been designed to allow for the projection of selected art on the building itself as a unique mural form that can highlight various local artists. Petitioner also plans to project announcements of local events to help keep the community and visitors engaged in all the city has to offer. The Gulfstream expects to create and maintain a mutually beneficial and community-focused Project.

The redeveloped and revitalized Gulfstream Hotel will resurrect a historic building, activate an abandoned corner on a major thoroughfare, draw visitors to downtown to spend time and money at our many wonderful retail establishments along Lake and Lucerne Avenues, bolster tax revenue and the local economy, and jumpstart other improvements. But every year that passes without action makes it less likely that the Gulfstream Hotel can be saved and re-opened. The window is closing. Lake Worth Beach needs and deserves a modern quality hotel development like the Gulfstream Project.

In order to develop the Project, Petitioner is seeking the following s approvals:

- Mixed Use Urban Planned Development to allow renovation and rear expansion of the historic hotel and construction of a +/-164,985 gross square foot new building with 48-52 rooms, 80-85 residential units, and a structured parking garage containing approximately 271 parking spaces, together with ancillary restaurants, bars, fitness center, pool, full service spa, ballroom, event spaces and support spaces. These spaces will provide elegant event spaces for local weddings, celebrations, art openings, local vendors, business meetings and more.
- Major Site Plan Approval to allow a +/- 164,985square foot new building with 48-52 rooms, 80-85 residential units, and a structured parking garage containing

- approximately 271 parking spaces, together with ancillary restaurant, bar, gym, salon, event spaces and support spaces ;
- Conditional Use Approval to allow the operation of a 90 room hotel in the historic Gulfstream Hotel building with an additional 48-52 hotel rooms and suites in the proposed new building;
  - Sustainable Bonus Incentive Program (with required value payment waived) to allow the proposed 87'-07story (with 1 lower parking level and rooftop amenity level) building height and floor area ratio ("FAR") ;
  - Approval to allow renovation of the historic hotel and construction of a new building with 48-52 rooms, 80-85 residential units, and a structured parking garage containing approximately 271 parking spaces, together with ancillary restaurant, bar, gym, salon, event spaces and support spaces
  - This project is over 100,000 square feet, and so will require Development of Significant Impact approval
  - Certificate of Appropriateness – New Construction, for construction of the +/- 164,985 gross square foot new building
  - Certificate of Appropriateness – Exterior Modification, for renovation and rear expansion of the historic hotel
  - Certificate of Appropriateness – Additions - for rear expansion of the historic hotel (and connector, if required)
  - Variance pursuant to section 23.7-7 from the flood resistant construction requirements for the first floor of the existing historic hotel and rear expansion
  - Petitioner is seeking Federal Historic Tax Credits and an Historic Property Tax Exemption in connection with the rehabilitation of the existing historic Gulfstream hotel building; the credits affect a variety of design decisions, including the contemporary style of the adjacent new building (because the federal credit program will not allow mirroring of the adjacent historic architecture).

The Petitioner is sympathetic to the inconvenience to nearby residents during the construction process, and will collaborate with the city to minimize noise, dust, and other construction disturbances to the extent possible.

Major Thoroughfare Design Guidelines (the "MTD Guidelines")

Sitting at the corner of Lake and South Golfview Avenues, the Gulfstream Project is located within Major Thoroughfare A.

The Gulfstream Project conforms to the MTD Guidelines for Site Planning call for a high quality mixed use project with separate entrances for residences and significant open spaces; on site structured parking with aesthetic elements and paint added to increase compatibility with surrounding context (see additional discussion below); substantial pedestrian sidewalks and minimized building setbacks to enhance the pedestrian experience; open arcades and glass design and substantial lighting; setback of the new building to minimize obstruction of the historic hotel and setbacks on the east and south that adjust the sense of

scale for pedestrians and allow for a landscaped green roof area and on the south; and site planning and design that provides harmonious facades within the Project, and compatibility and harmony with the neighborhood (see additional discussion below).

The Gulfstream Project conforms to the MTD Guidelines for Building Design regarding entrances with a regular and consistent pattern of doors and openings and distinct entrances; regarding Landscape and streetscape with Florida native/Florida friendly landscaping; materials and construction with high quality materials, primarily stucco facades/exterior walls and glass, balcony, and trim materials as accent; for Public art + murals with proposed public art installations (see discussion above); for roofs and terraces that reflect historic architecture, flat roof parapets, a rooftop patio and a landscaped green roof ; for signage with quality signage both historic style (such as recreating the historic “Gulfstream” neon crown sign with modern materials) and minimalist signage on the new building to complement the historic; for street + site lighting designed to adequately light for safety while minimizing spillage beyond the Project; for sustainability with the green roof, electric vehicle charging stations, efficient mechanical systems; for windows with historic-compatible windows in the historic hotel building, significant transparent glass/openings in the New Building, units oriented to the water,

#### Tree Mitigation/Justification Statement.

##### **Fee waiver requests**

Given the historic and economic importance of the Gulfstream to the Lake Worth Beach community, the historic/landmark building that is the heart of the Project, and the difficulty in bringing it back to life for the long term (as evidenced by its long vacancy), the Petitioner is seeking a form of public/private partnership in which the City provides incentives and support as it is able under its current codes and economics. As part of this, the Petitioner is requesting that the City waive its sustainable bonus payments, but we have withdrawn the request that the City waive its other fees related to the entitlements requested, including withdrawal of the request that the city waive its \$800 tree mitigation fee.

##### Request for reduction in palms

The SPRT first comment letter asked the Petitioner to “reduce the number of Palms.” The round #2 comment letter confirms that in response, Petitioner’s plan reduced the number of Palms by almost 40%. (from 18 palms to 11). This is a significant reduction in the number of Palms.

## STATEMENT FOR MIXED USE URBAN PLANNED DEVELOPMENT DISTRICT

(sec. 23.3-25 (b) general provisions and requirements)

Supporting information (sec. 23.3-25 (b) (12):

Gulfstream/zoning/justification statement/March 30 2022

a. Comprehensive plan. The Gulfstream Hotel Project furthers the goals of the City's Comprehensive Plan by Restoring the historic heart of its downtown and focusing on supporting the community. This will plan to be achieved by utilizing pre-function and other hotel spaces for art openings as well as displaying art that hotel guests and residents can admire and purchase during their visit. The front of the new building is planned to serve as a canvas to project local pieces for all passersby to view. The projection can also be used to enhance community engagement by displaying local announcements and events such as the street painting festival and family date night to keep residents in the know. The hotel will bring people who will spend money, and our local emphasis will keep that money in the community to continue the growth and development of Lake Worth Beach. Purchasing local to empower small businesses has been a cornerstone of hotel development. This has been championed by the Hotel Saint Louis, which in 2019 purchased over \$5 million in local goods, leading to over \$30 million going into the pockets of local businesses. The Gulfstream Hotel will enhance the character of Lake Worth Beach and quality of life of its residents, fostering the City of Lake Worth Beach as a livable community where live, work, play, and learn become part of the daily life of residents and visitors. This project will support preserving and enhancing the City's character, and will continue to exhibit the city of Lake Worth Beach as a charming and quality business and residential community.

b. General Description of Proposed Development:

Under the Gulfstream Hotel Project the Petitioner will renovate and restore the historic Gulfstream Hotel building to provide 90 hotel rooms and construct a 48-52 room new building, 80-85 residential units, and a structured parking garage containing approximately 271 parking spaces, together with ancillary restaurant, bar, gym, salon, event spaces and support spaces ("**Project**").

The Project will rescue an iconic building and bring it back into service with modern amenities. The Project will be a catalyst for significant additional investment in Lake Worth Beach, and will renew and revitalize the downtown corridor between the downtown retail and restaurant uses and beach and historic Lake Worth Beach Casino area.

The planned hotel will operate the historic building and the new construction as one hotel, with event spaces, spa and restaurants and bars open to hotel guests and to the public. The residential units will be market rate, and will have access to hotel amenities including pool, fitness center, garage parking, and room service. The planned residential component is a mix of one, two and three bedroom units to fit a wide variety of tenants.

The Project will be an anchor for local businesses both new and existing. A focus on purchasing local will help existing businesses thrive, and the allure of the redeveloped grand hotel will attract new businesses to open their doors. The Hotel will emphasize hiring local, giving residents a wide range of employment opportunities for stable, good-paying jobs. The Project will be a tangible reminder of Lake Worth Beach's historic charm and will provide a place to live, work, and play for the generations of families who have called Lake Worth Beach their home. See above for additional discussion of community benefits expected from the Project.

The Project consists of 1.82 acres (approx. 0.96 used for commercial hotel and 0.86 for residential units) . The overall density of the Project is 80-85 dwelling units.

The following are the site design standards in the proposed development:

Lot Area: 79,375 sq. ft (1.82 acres)

Lot Width: 280'-0"

Building height: 87'-0"

Building size: Existing (59,100 sf) + Proposed rear expansion 4,700 + new construction 164,985 = 228,785 total sq. ft proposed

Setbacks:

	Setbacks Existing Building	Required	Existing	Proposed	Deficiencies
19	Front Setback:	5'-0"	0	0	N/A
20	Side Setback:	0	0	0	N/A
21	Side Setback:	0	0	0	N/A
22	Side Setback facing street:	10'-0"	0	0	N/A
23	Rear Setback:	10'-0"	73'-0"	38'-0"	0
	Setbacks New Building	Required	Existing	Proposed	Deficiencies
24	Front Setback:	5'-0"	0	5'-0"	0
25	West Side Setback:	10'-0"	0	10'-0" to Façade 0'-0" to Arcade	0
26	East Side Setback:	10'-0"	0	9'-0" to Façade 0'-0" to Egress Stairs	1'-0"
27	South Setback facing street:	10'-0"	0	10'-0"	0
28	Rear Setback:	N/A	0	N/A	0

Residential Density: 80-85 dwelling units

Overall Project Density in dwelling units per acre= (80-85 /1.82) = 43.95-46.70 units per acre.

Parking: 284spaces

The increase in density contemplated does not exceed the density provided in the Lake Worth Beach Comprehensive Plan

- c. Proposed Schedule of Development. Construction is set to begin upon the closing of financing (including federal historic tax credits). The current target for closing is summer 2022, subject to entitlements approvals. The Project is expected to be substantially completed within 18 months to 2 years from commencement of construction. The project is not phased—one

Gulfstream/zoning/justification statement/March 30 2022

construction period is expected. However, given the scope of the Project it is likely that occupancy for various elements of the Project will be staggered, so that they are completed and open for business on different dates. For example, the historic hotel might be completed and operated before the new construction portion of the hotel;; the room operations of the hotel may be completed before the event spaces or other, similar staggered commencements.

- d. A detailed traffic impact study for the Project has been prepared by Simmons and White, Inc. and approved by Palm Beach County in 2020; Simmons and White has prepared an update which has been provided to the city and has been re-submitted to the County for approval
- e. Compliance with the General Provisions and Requirements in Section 23.83-25(b)

The Project complies with the general provisions and requirements in Section 23.83-25(b)

- 1 Compliance with sections 23.2-27, - waiver for historic district or landmark property in COA– the Project is in an historic district and has applied for a COA with appropriate waivers
- 2 23.2-28 Administrative Adjustments/approvals – none needed per City staff; and
- 3 23.2-29 conditional use permits – Petitioner has applied for a conditional use permit; see discussion below
- 4 Compliance with 23.3-25 where other sections conflict;  
compliance with utility system or service regulations where 23.3-25 conflicts. – acknowledged

The following is a list of requests of all exemptions from the zoning requirements that are proposed and a justification for each request, including but not limited to setback exception requests:

Petitioner is aware of the following areas that “conflict” with other sections, and would be “waived” or “varied” or “exempted” by adoption of the Planned District:

- a. Encroachment into side setback along South Lakeside Drive for arcade, entrance stairs, and ADA ramp  
Justification/Reason for need: We are encroaching into the setback to create a functional and attractive ADA entry. This approach allows us to have more landscaping buffer as requested by the city while still providing access to the building in a lively and varied façade. It also gives more ground level feature to the building and provides a gentle transition from the street. Placing inside the building would have eaten up parking, but even more the façade would suffer. This helps to soften the impact of the building mass to the pedestrian.
- b. Relief from the build-to line on 1st avenue south.  
Justification/Reason for need:

The 10 foot build-to line is met at the ground floor. At the 3<sup>rd</sup> floor and above, the building steps further back than the code 8-12 feet in order to provide a better transition to the adjoining residential neighborhood (see Statement for Major Site Plan Approval, item (14) transitional development for more discussion). This effect was requested by the city as a way to transition from the buildings across 1<sup>st</sup> at 2-3 levels and then to push back in bringing the massing up. This provides a gradual step up approach as you leave 1<sup>st</sup> Avenue.

c. Exception for glazing requirement on the ground level facing Lake Avenue

Justification/Reason for need:

The building must be elevated to meet flood requirements so glazing/windows can't be provided on the ground level. However, the new contemporary building utilizes glass as one of the primary materials, and the main entry level – which is at +10NAVD as required by code meets or exceeds the glazing requirement. The design is successful in creating space for landscaped areas, accessible stair entries and for placement of public art.

- 5 dedication of public facilities. The interior alley proposed as part of the project is already dedicated; the Petitioner has agreed to dedicate any necessary utility easements for existing or replacement lines or to serve the Project
- 6 utilities underground, except as may be exempt. All utilities in the Project will be underground or located within structures, except any utilities required to be above ground by the utility company.
- 7 visibility triangles at all street and alley intersections per Section 23.4-4. The Project complies with Section 23.4-4 by providing the visibility triangles as shown on the plans; all entries and exits from the site will comply.
- 8 Open space  
The new building provides open space on more than half the project with its rooftop pool complex and open air seating, and its third floor green roof/garden area, and first floor veranda which is more than most commercial projects in downtown Lake Worth Beach, and adequate for all community sustainability purposes.
- 9 unified control. The property is already subject to a recorded unified control agreement. The parcels are all under the same ownership and if



- the city desires the owner/Petitioner will re-execute and record a unity of title agreement.
- 10 master development plan- A master development plan has been submitted to the city, with a site plan meeting all requirements, and a written legal description, names and addresses of all owners of record. The project does not have "common areas or facilities" for use by different owners; the project is under one ownership and the site plan and Mixed Use Urban Planned Development approvals will govern the planned development.
  - 11 required supporting information – Petitioner has provided the requested documentation: a statement that the project complies with the comprehensive plan; A general description of the proposed development, including the total acreage involved in the project; the number and percentage of acres devoted to various categories of land use; the number and type of dwelling units proposed and the overall project density in dwelling units per gross acre; the minimum design standards for such features as lot shape and size, building size and lot coverage, open space, off-street parking and loading, signs, and landscaping; The proposed schedule of development which identifies the anticipated project start and completion dates, stages of development (if any), and the area and location of common open space to be provided at each stage; A detailed traffic impact analysis study; A detailed market analysis study prepared pursuant to commonly accepted professional practices (this study may be required at the discretion of the city commission); and Schematic architectural drawings (floor plans, elevations, perspectives, method of attachment, etc.) of all proposed structure types and improvements in the proposed project, except detached single-family residences and related accessory buildings (at the discretion of the city commission, these drawings may be submitted in stages if the project is to be developed in stages).
  - 12 professional services- Petitioner has provided professionally prepared site plan/master development plan , prepared by a Florida licensed architect ( and landscape plan, tree study, drainage plan all prepared by licensed professionals.
  - 13 application fees.

Section 23.3-25 (11)(e)

*Mixed use urban planned development district.*

1. *Location. Urban planned developments may be located in any mixed use district, such as Mixed Use — East, Mixed Use — West, Mixed Use — Dixie Highway, Mixed Use — Federal Highway, Transit Oriented Development — East, Transit Oriented Development — West and Downtown with the exception of the neighborhood commercial district. Industrial planned developments are not allowed as a mixed use urban planned development. The Project complies because it is located in the Mixed Use district of DT- Downtown*
2. *Minimum area required. The minimum area required for an urban planned development district shall be one-half (0.5) acres. The Project complies because it comprises well over one full acre*
3. *Permitted uses. Permitted uses within a mixed use urban development are shown in [article 3](#) of these LDRs. An urban planned development may be residential alone or may be any mixture of residential, retail, commercial, office, personal services, institutional, and cultural and artisanal arts or other uses specifically listed with the use tables of [section 23.3-6](#) for the districts where the planned development is to be locate. The Project complies because its uses, including hotel, residential, and accessory /ancillary uses are permitted or a conditional use is being sought.*
4. *Required setbacks. Required setbacks shall be as provided in these LDRs for the zoning district in which the planned development is to be located. The Project complies because it meets or exceeds setback requirements. See details above under “general description of proposed development”*
5. *Parking and loading space requirements. Parking and loading spaces shall be provided pursuant to [article 4](#) of these LDRs The Project provides parking and loading that meets*

or exceeds the requirements of article 4, as follows:

	Parking	Required	Existing	Proposed	Deficiencies
29	Parking District: Core Parking Area				
30	Total # of parking spaces:	279	0	284	0
	# of parking residential	1.75 spaces per unit (2 or 2 spaces per unit (3 or) no additional guest spaces required for 2br units or more	0	135	
31	# of parking hotel rooms (new building)	0.75 spaces per unit		38	
	# of parking accessory uses (new building)	106		111	
	# of parking hotel rooms (existing building)	0		0	
	Available parking			0	
32	# of parking spaces per level			First Level: 94 spaces / Second Level: 89 spaces / Third Level: 88 spaces	
33	Parking Space Dimensions:			9'-0" x 18'-0"	
34	Parking Space configuration (45o,60o,90o,Parallel)			90	
35	ADA Spaces			7	
36	Tandem Spaces				
37	Drive aisle width			20'	
38	Valet drop off and pick up			Y	
39	Loading zones and Trash collection areas			Y	

6. *Landscaping/buffering.* Landscaping and buffering shall be provided as required by [section 23.6-1](#) . The Project landscaping plan complies with Section 23.6-1
7. *Illumination.* Any source of illumination located within a commercial or industrial planned development district shall not exceed one (1) foot candle at or beyond the boundaries of such development. the proposed Project lighting does not exceed one (1) foot candle at or beyond the boundaries of the Project
8. *Outdoor storage.* All outdoor storage facilities are prohibited in any mixed use urban planned development district. The Project will not contain outdoor storage
9. *Sustainability.* All mixed use urban planned development districts shall include provisions for sustainability features such as those listed in [section 23.2-33](#), City of Lake Worth Sustainable Bonus Incentive Program. The Project includes sustainability features and is seeking the Sustainable Bonus Incentive
10. . See below under " Sustainable Bonus Incentive Program" for details.

## **STATEMENT FOR MAJOR SITE PLAN APPROVAL**

In accordance with Section 23.2-31 of the City’s Land Development Regulations (“LDRs”), Site Design Qualitative Standards, the Project is designed to promote: (1) harmonious and efficient organization; (2) preservation of natural conditions; (3) screening and buffering; (4) enhancement of residential privacy; (5) emergency access; (6) access to public ways; (7) pedestrian circulation; (8) design of ingress and egress drives; (9) coordination of on-site and off-site circulation; (10) design of on-site public right-of-way; (11) off-street parking, loading and vehicular circulation areas; (12) refuse and service areas; (13) protection of property values; (14) transitional development; and (15) consideration of future development.

1. Harmonious and efficient organization – The proposed site plan is designed such that all elements are harmoniously and efficiently organized in relation to topography, the size and type of the Property, the character of adjoining property, the relation to the adjacent public streets and the type and size of surrounding buildings.

As described above, the Project will renovate and restore the historic Gulfstream Hotel building to provide 90 hotel rooms and construct a 48-52 room new building, -80-85 residential units, and a structured parking garage containing approximately 271 parking spaces, together with ancillary restaurant, bar, gym, salon, event spaces and support spaces. The proposed new construction is designed to complement (rather than mimic, or compete with) the renovated historic hotel. For example, the front façade of the new building is set back from the front of the historic hotel to make sure it retains prominence. The connection between the two hotels is recessed and minimal to ensure the historic hotel retains its singular identity. The Project is designed to provide front facades that are pedestrian oriented and create a special sense of arrival along both Lake Avenue and South Lakeside Drive, appropriate for an iconic hotel complex and an anchor to the downtown area.

The historic hotel will contain the main lobby of the hotel with entry on Lake along with meeting space and a ground floor restaurant/bar open to the public. A pool and deck will be provided on the rooftop of the renovated second story behind the hotel. The newly constructed building will contain additional hotel rooms and related spaces on the north end, including a 400 capacity ballroom on the northwest corner, a spa open to the public, rooftop pool, restaurant and bar, and fitness center. Parking for the Project is proposed to be provided with three (3) floors in the center of the new building. It is possible that a portion of the first floor parking could be set aside for public use. The 42-55 residential units will be located on the south end of the new building, with a separate dedicated entrance and elevator. The roof of the new building is proposed to contain a rooftop pool for use of both residential residents and hotel guests, and a second restaurant with a terrace overlooking the golf course as well as a fitness center.

The scale of the Project is in harmony with the existing condominium structure to the south as well as that of the Gulfstream historic building and was voted on by the people of the city in terms of height. To the west, green space and landscaping is proposed at the west and southern edges of the property as a buffer to adjacent residential. On all sides there will be landscaping, terracing, green

roofing where possible and glass railings to make the size of the building cohesive with the area around it. Considering the scale of the existing historic hotel and the condominiums to the west and south, , the community nature of the proposed restaurant and spa and green space buffering proposed along the property lines except Lake Avenue, the Project is designed to provide a passive use and transition from the DMU land use designation and DT zoning district on the north side of 1<sup>st</sup> Avenue South to the High Density Residential (HDR) land use and Medium Density Residential (MF-30) zoning on the south side of 1<sup>st</sup> Avenue South.

Further, the scale and height of the existing and proposed buildings is in harmony with the size and type of surrounding buildings. The existing condo building located across the alley to the east of the Property is six (6) stories; the existing condo building located across South Lakeside Drive to the west of the Property is five (5) stories; the existing condo building located across Lake Avenue to the north of the proposed hotel building is equivalent to five (5) stories; and the existing building located across Lake Avenue to the north of the historic Gulfstream Hotel is seven (7) stories. Considering the foregoing, the Project has been designed such that all elements are organized harmoniously and efficiently in relation to the topography, size and type of the Property, character of adjoining property and the type and size of surrounding buildings.

2. Preservation of natural conditions – The Project is designed to preserve the landscape in its natural state, insofar as practical, by minimizing tree and soil removal. As detailed above, the Property includes the historic Gulfstream Hotel, , vacant land and a paved parking area. As such, the Property has already been developed or cleared for development. The trees existing on-site are proposed to either be relocated and incorporated into the Project or mitigated for with replacement on-site in accordance with the provisions of Section 23.6-1 of the City’s LDRs. Please refer to Sheet LA-102, which specifies the condition and disposition of each existing tree on the Property. Stormwater management and dust control will meet or exceed the standard for the new build, by providing a substantial amount of green roofing. Plantings proposed will be Florida native species.

Considering the foregoing, the Project is designed to provide for the preservation of the natural conditions including landscape, water quality and air quality on and surrounding the Property

3. Screening and buffering – The Project is designed with all users in mind. Preventative measures taken are planned to provide walls and/or vegetative screening where needed and practical to protect residents and users from undesirable views, lighting, noise, odors, or other adverse off-site effects, and to protect residents and users of off-site development from on-site adverse effects

4. Enhancement of residential privacy – The Project is designed to provide visual and acoustical privacy for all dwelling units located adjacent to the Property. As described in greater detail above, the site plan is configured to route traffic to minimize encounters with the residential streets adjacent to the project and the concrete structure will prevent noise bleed to the outside. This combined with buffering of the landscaping and the fact that the pool is at the roofline above all of the residential should make it so that sound is not an issue.

5. Emergency access – The Project is designed to permit emergency vehicle access to all sides of all buildings. Specifically, there is access from 3 sides from the street and the Fourth side from the ally with a wide turning ratio in the rear. This combined with ADA elevator access and fully sprinkled buildings should bring the hotels up to current code in all aspects.
6. Access to public ways – The Project is designed such that buildings and other facilities have safe and convenient access to a public street, walkway or other area dedicated to common use. Pedestrian access points for use by customers and/or hotel staff are provided on the north side of the historic Gulfstream Hotel building and on the north and west of the proposed new building. Primary access to the Property is provided by the valet lane on Lake Avenue, both up a stair and by ADA ramp between the buildings to give access to both old and new and a garage entrance on Lakeside Drive. An L-shaped drive and alley that runs north-south between Golfview Avenue and 1<sup>st</sup> Avenue South provides access to the parking garage for valet and loading, waste removal and utility facilities, and will be available for use by the existing residential property to the south of the historic building.
7. Pedestrian circulation – The Project is designed to put the pedestrian first. This will be done by providing a pedestrian circulation system that is insulated from the vehicular circulation system. Primary pedestrian access to the hotel is in the historic hotel, on the Lake Avenue frontage. The Lake frontage has an existing valet lane, where a valet parking program is proposed to allow hotel guests and visitors to access the historic building and the new building via the ground level connector across the vacated easement. The location of the valet loading area is located contiguous to existing pedestrian sidewalks that run along all Project frontages adjacent to public rights-of-way thus allowing hotel patrons immediate access to an insulated pedestrian circulation system the moment they arrive. Vehicles will then be taken by valet parking staff to the parking garage via the drive immediately behind the hotel while hotel patrons enter the hotel building using the existing pedestrian circulation system, which connects directly to the hotel's existing and proposed entrances. This design allows patrons to enter the resort hotel space without any pedestrian-vehicular conflict and utilize the common areas (covered porches along Lake Avenue, pool and elevated deck area on the rooftop of the new building), all of which are fully separate and insulated from the vehicular circulation system serving the Project. Patrons, guests, and residents may also self-park in the garage and enter the building on either end of the garage and take the elevator to their floor.
8. Design of ingress and egress drives – The location, size and number of ingress and egress drives for the Property are designed to minimize the negative impacts on public and private ways and on adjacent private property. The Project includes: One ingress drive off of Golfview which will be used by valet and residents to access both the garage and the residential parking behind their building as well as services, trash, deliveries. Also one entrance off of Lakeside into the garage for residents and guests of the restaurants, etc. of the hotel as well as potential public parkers. Considering the foregoing, the ingress and egress driveways for the Property will not have a negative impact on public or private ways or private property.

9. Coordination of on-site circulation with off-site circulation – The arrangement of common ways for vehicular and pedestrian circulation are coordinated with the pattern of existing streets and pedestrian/bicycle pathways in the area. As detailed above under “Pedestrian circulation”, the Project is designed to provide a valet parking program that provides direct access for hotel guests and visitors from their vehicles to the public pedestrian paths and then to the hotel entrances. The routes in and out are minimized so as to not retard pedestrian flow around the building and to increase landscaped and pedestrian areas. The proposed improvements capitalize upon coordination with the existing on- and off-site circulation systems and create a safer and more accessible circulation system for pedestrians, automobiles and cyclists alike.
10. Design of on-site public right-of-way – The Project is self-contained, and no public right-of-way is proposed. However, there will be some vehicular use of the Project by the public: the alleyway that runs north-south in the Property will be available for use by the condominium to the south. There is a possibility that parking on the first floor of the garage could be designated for public use.
11. Off-street parking, loading and vehicular circulation areas – The off-street parking, loading and vehicular circulation areas for the Project are located, designed and screened to minimize the impact of noise, glare and odor on adjacent property. At this time, there are about 8 parking spaces existing on the vacant lot of the Property. Pursuant to an exception in Section 23.4-10(i)4.B of the City’s LDRs, parking is not required for the remodeling or building expansion of the historic Gulfstream Hotel as it is a contributing structure in one of the City's historic districts. The Project is designed to provide for the parking demands of the hotel and restaurant and residential development. The following table identifies the parking that is proposed to be provided for the Project.

<b>Provided Parking</b>	
<b>Parking Structure</b>	
Lower level	94
2 level	89
3rd level	88
<b>TOTAL GARAGE PARKING</b>	<b>271</b>
<b>On-Street Parking</b>	
Lake Avenue	0/Valet
South Lakeside Drive	13

1st Avenue South	0
South Golfview Road	0
<b>TOTAL ON-STREET PARKING</b>	<b>13</b>
<b>TOTAL PARKING PROVIDED</b>	<b>284</b>

As described above under “Harmonious and efficient organization”, off-street parking is provided in a structured garage, which completely screens and eliminates any potential noise, glare and odor arising from vehicles from impacting adjacent properties. Off-street loading for the hotel operations is provided along the alley that runs east-west between Golfview Avenue and the north-south vacated alley in order to minimize adverse impacts on public rights-of-way and vistas. The alley will be equipped with greenery to screen it from public view

12. Refuse and service areas – Refuse and service areas for the Property are located, designed, and screened to minimize the impact of noise, glare, and odor on adjacent property. The refuse and service areas for the hotel operations is provided along the alley that runs east-west between Golfview Avenue and the north-south vacated alley. The building proposes to have a dumpster for cardboard and recycling within the building area so not visible outside.
13. Protection of property values – The Project is designed to have only a positive impact on the property values of adjoining property. As described above under “Harmonious and efficient organization”, the Project is designed to locate the hotel use on the northern portion of the Property, nearer to the high density residential uses to the north, and the enclosed parking and residential units to the south adjacent to the medium density residential uses. The Project will revitalize and reinvigorate the surrounding area by removing blighted structures and restoring the historic Gulfstream Hotel. Considering the foregoing, the Project will likely have a positive impact on surrounding property values by making the area vibrant and used and restoring the current vacant eyesore on the main corner.
14. Transitional development - The Project is designed to provide an appropriate transition between the DT and MF-30 zoning districts. By placing the residential portion of the project closer to the residential portion of the neighborhood the project is respectful of residential use and will not impact the residences across first avenue. The setbacks on Lakeview also allow us to look and feel more residential along that façade and lend a more residential feeling to the development. The new building has been (re)-designed to provide exterior materials and balcony materials and separations to reflect the historic nature of the neighborhood, and window and door openings visually compatible with the predominant features of the historic hotel. The design of the Gulfstream’s residential wing attempts to respond to its adjacent context. The residential wing is placed near the



adjoining residential properties. The new hotel wing is placed near like-sized buildings along Lake Ave.

The Gulfstream's massing transitions from its highest point (87' to match the height of the historic Gulfstream Hotel) to its lowest point (the 29' tall garage podium.)

The south end of the residential wing of the new building attempts to transition from the 7<sup>th</sup> level penthouse unit (set back 45'-4" from the property line) to the 4<sup>th</sup> through 6<sup>th</sup> level apartments (set back 24' from the property line) to the garage podium (set back 10' from the property line.) The roughly 13' tall home at 102 Lakeside Dr. is roughly 60' south of the 29' tall south façade of the Gulfstream's garage podium.

The roughly 24' tall Hampshire Building at 31 S Golfview Rd is about 24' east of the Gulfstream's 29' tall garage podium.

15. Consideration of future development – The Property is located in the downtown core of the City in an area that is primarily built out. As demonstrated herein, the Project has been designed with due consideration given to the current and future land use of the surrounding properties.

I Buildings, generally.

1. Buildings or structures which are part of a present or future group or complex shall have a unity of character and design. The relationship of forms of the use, texture and color of material shall be such as to create one (1) harmonious whole. When the area involved forms an integral part of, is immediately adjacent to, or otherwise clearly affects the future of any established section of the city, the design, scale and location of the site shall enhance rather than detract from the character, value and attractiveness of the surroundings. Harmonious does not mean or require that the buildings be the same.

*The elements of the existing hotel, expansion, and new building/annex are designed to be harmonious with each other and to enhance each other. The new building design is compatible with , but not mimicking, the existing historic hotel. The height, color, and surface materials of the existing historic hotel and the new construction will match. As detailed above, the existing hotel, expansion and new building/annex have been designed such that design, scale, texture, and color are harmonious in relation to the topography, size and type of the Property, character of adjoining property and the type and size of surrounding buildings, and of each other.*

2. Buildings or structures located along strips of land or on a single site, and not a part of a unified multi-building complex shall achieve as much visual harmony with the surroundings as is possible under the circumstances. If a building is built in an undeveloped area, three (3) primary requirements shall be met, including honest design construction, proper design concepts, and appropriateness to the city.

*The buildings and structures of the Project have been designed to achieve as much visual harmony with the surroundings as is possible under the circumstances. The proposed new building is located on the northern portion of the Property in proximity to the existing five (5), six (6) and seven (7) story buildings, while the building height steps on the southern portion of the Property adjacent to the one (1) and two (2) story medium-density residential uses to the south. As detailed above, the existing hotel, expansion and new building/annex have been designed such that design, scale, texture, and color are harmonious in relation to the topography, size and type of the Property, character of adjoining property and the type and size of surrounding buildings, and of each other. The parking garage is also designed to provide a façade that is visually compatible and in harmony with the existing residential uses to the east and west.*

3. All façades visible to public or adjacent property shall be designed to create a harmonious whole. Materials shall express their function clearly and not appear foreign to the rest of the building.

*All façades visible to public or adjacent property are be designed to create a harmonious whole. The height, color, massing, and surface materials of the existing historic hotel and the new construction will match. The new building design is compatible with , but not mimicking, the existing historic hotel.*

3. The concept of harmony shall not infer that buildings must look alike or be of the same style. Harmony can be achieved through the proper consideration of scale, mass, bulk, proportion, height, orientation, site planning, landscaping, materials, rhythm of solids to voids and architectural components including but not limited to porches, roof types, fenestration, orientation and stylistic expression.

*Acknowledged*

4. Look-alike buildings shall not be allowed unless, in the opinion of the board, there is sufficient separation to preserve the aesthetic character of the present or evolving neighborhood. This is not to be construed to prohibit the duplication of floor plans and exterior treatment in a planned development where, in the opinion of the board, the

aesthetics or the development depend upon, or are enhanced by the look-alike buildings and their relationship to each other.

*The Project contains no look-alike buildings. The new construction has been designed to be different than, but compatible with, the historic hotel.*

5. Buildings, which are of symbolic design for reasons of advertising, unless otherwise compatible with the criteria herein, will not be approved by the board. Symbols attached to the buildings will not be allowed unless they are secondary in appearance to the building and landscape and are an aesthetic asset to the building, project and neighborhood.

*The Project contains no symbols attached to buildings, all buildings are designed to meet with the applicable criteria.*

6. Exterior lighting may be used to illuminate a building and its grounds for safety purposes, but in an aesthetic manner. Lighting is not to be used as a form of advertising in a manner that is not compatible to the neighborhood or in a manner that draws considerably more attention to the building or grounds at night than in the day. Lighting following the form of the building or part of the building will not be allowed if, in the opinion of the board, the overall effect will be detrimental to the environment. All fixtures used in exterior lighting are to be selected for functional as well as aesthetic value.

*All proposed lighting is and will be both aesthetic and functional, and compatible with the neighborhood and the historic features of the Project.*

7. Building surfaces, walls and roofs shall be compatible and in harmony with the neighborhood.

*The building surfaces, walls and roofs are designed to be compatible and in harmony with the existing historic hotel, which in turn is compatible and in harmony with the neighborhood that has been developed around the historic hotel.*

8. "Take-out" or "pick-up" windows of retail or wholesale establishments shall not be located on a building façade that faces a public right-of-way, unless they are designed in such a manner as to constitute an aesthetic asset to the building and neighborhood.

*Acknowledged. No "take-out" or "pick-up" windows of retail or wholesale establishments are currently proposed for the Project.*

9. All exterior forms, attached to buildings, shall be in conformity to and secondary to the building. They shall be an asset to the aesthetics of the site and to the neighborhood.

*All exterior forms, attached to buildings, have been designed in conformity to and secondary to the building, and to be aesthetic assets to the Project and the neighborhood.*

10. All telephones, vending machines, or any facility dispensing merchandise, or a service on private property, shall be confined to a space built into the building or buildings or enclosed in a separate structure compatible with the main building, and where appropriate and feasible, should not be readily visible from off-premises.

*The Project is not expected to have any telephones, vending machines, or facility dispensing merchandise that would be exterior, or even visible from outside the building. Trash service is designed to be located on the interior of the Project so as not to be readily visible from off-premises*

11. Buildings of a style or style-type foreign to south Florida or its climate will not be allowed. It is also to be understood that buildings which do not conform to the existing or to the evolving atmosphere of the city, even though possessing historical significance to south Florida, may not be approved.

*The buildings conform to the existing or to the evolving atmosphere of the city. The existing historic building is an iconic representation of historic Lake Worth Beach. New construction is compatible with the historic hotel and designed to reflect both historic and evolving architecture in the downtown areas.*

12. No advertising will be allowed on any exposed amenity or facility such as benches and trash containers.

*Acknowledged, and none included in the plans.*

13. Light spillage restriction. The applicant shall make adequate provision to ensure that light spillage onto adjacent residential properties is minimized.

*The Project's lighting plan will comply with all applicable requirements, and will make adequate provision to ensure that light spillage onto adjacent residential properties is minimized*

In addition to the foregoing, in accordance with the Community Appearance Criteria in Section 23.2-31(l) of the City's LDRs, Petitioner will demonstrate below that the Project is: (1) in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality; (2) not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value; (3) in harmony with the proposed developments in the general area, with code requirements pertaining to site plan, signage and landscaping, and the Comprehensive Plan for the City; (4) in compliance with Sections 23.2-29 and 23.2-31 of the City's LDRs as applicable.

1. The Project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.

The Project is in conformity with good taste and good design and will contribute to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality. As detailed above, the Project entails restoration of the historic Gulfstream Hotel, which is one of the City's most prominent and recognizable buildings. Restoration and expansion of the historic building will renew the beauty and spaciousness of the Lake Avenue vistas and City skyline from all directions. Local art and projected murals will be displayed throughout to enhance and highlight the vibrant beauty that Lake Worth Beach has to offer.

2. The Project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.

The Project is of superior quality so as to cause the nature of the local environment or evolving environment to materially appreciate in appearance and value. The Project is designed consistent with –and in some cases exceeding the quality of –the existing local character and environment. Further, the Project entails restoration of the historic Gulfstream Hotel building to its historical use, which will eliminate blight from the Property and surrounding area causing the environment to appreciate in appearance and value.

3. The Project is in harmony with the proposed developments in the general area, with code requirements pertaining to site plan, signage and landscaping, and the comprehensive plan for the City.

The Project is in harmony with the proposed development in the surrounding area, LDR requirements pertaining to site plan, signage and landscaping and the City's Comprehensive Plan. As detailed above, the Project is designed to promote harmonious transitions to all surrounding uses with the location of the higher intensity hotel use on the northern portion of the Property and the residential units on the southern portion of the Property. Further, the Project is designed to comply with all code requirements and the City's Comprehensive Plan.

4. The Project is in compliance with this section and 23.2-29, as applicable.

As demonstrated by the foregoing responses, the Project is in compliance with the City's Site Design Qualitative Standards. Further, Petitioner will demonstrate below that the Project is in compliance with the City's conditional use criteria in Section 23.2-29 of the City's LDRs.

## **STATEMENT FOR CONDITIONAL USE APPROVAL**

In accordance with Sections 23.2-29(d) and (e) of the City's LDRs, Petitioner will demonstrate that the Conditional Use exactly as proposed at the location where proposed will: (1) be in harmony with the uses which, under the City's LDRs and Future Land Use Element, are most likely to occur in the immediate area where located; (2) be in harmony with existing uses in the immediate area where located; (3) not result in substantially less public benefit or greater harm than would result from use of the Property for some use permitted by right or some other conditional use permitted on the Property; (4) not result in more intensive development in advance of when such development is approved by the Future Land Use Element of the Comprehensive Plan; (5) not generate traffic volumes or movements which will result in a significant adverse impact or reduce the level of service provided on any street to a level lower than would result from a development permitted by right; (6) not result in a significantly greater amount of through traffic on local streets than would result from a development permitted by right and is appropriately located with respect to collector and arterial streets; (7) not produce significant air pollution emissions, or will appropriately mitigate anticipated emissions to a level compatible with that which would result from a development permitted by right; (8) be so located in relation to the thoroughfare system that neither extension nor enlargement nor any other alteration of that system in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right; (9) be so located in relation to water lines, sanitary sewers, storm sewers, surface drainage systems and other utility systems that neither extension nor enlargement nor any other alteration of such systems in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right; (10) not place a demand on municipal police or fire protection service beyond the capacity of those services, except that the proposed facility may place a demand on municipal police or fire protection services which does not exceed that likely to result from a development permitted by right; (11) not generate significant noise, or will appropriately mitigate anticipated noise to a level compatible with that which would result from a development permitted by right; and (12) not generate light or glare which encroaches onto any residential property in excess of that allowed in section 23.4-10, Exterior Lighting.

### **Conditional Use Approval to allow the operation of a 90 room hotel in the historic Gulfstream Hotel building with an additional 48-52 hotel rooms in the proposed new building. ("Conditional Use")**

1. The Conditional Use exactly as proposed at the location where proposed will be in harmony with the uses which, under these LDRs and the Future Land Use Element, are most likely to occur in the immediate area where located.

Approval of the requested Conditional Use exactly as proposed on the Property is in harmony with the uses most likely to occur in the immediate area under the City's Future Land Use Element and LDRs. The following table identifies the future land use, zoning and current use of the properties adjacent to the Property.

<b>Adjacent Property Information</b>			
<b>Property Location</b>	<b>Land Use</b>	<b>Zoning</b>	<b>Current Use</b>
North	DMU	DT	Retail / Multi-Family Residential
South	High Density Residential	MF-30	Multi-Family Residential
East	DMU/PROS	MF-30/PROS	Multi-Family Residential (Gulfstream Condos) / Bryant Park
West	DMU	DT/MF-30	Multi-Family Residential (Gold Coast Towers)

The predominant land use designation and zoning of properties in the area immediately surrounding the Property are Downtown Mixed Use (DMU), High Density Residential (HDR) and Public Recreation and Open Space and Downtown (PROS), Multi-Family (30 dwelling units per acre) and Public Recreation and Open Space, respectively. As such, the following uses are permitted (and thus likely) to occur in the surrounding area: Commercial, Office, Retail, Personal Services, Cultural and Artisanal Arts, Institutional, Open Air Retail Sales, Essential services, Places of Worship, Multi-Family Residential, Single-Family Residential and Park/Outdoor Open Space. The proposed hotel use is compatible and complementary to the mix of commercial, residential and recreational uses allowed to occur in the surrounding area. Approval of the requested Conditional Use will allow for the restoration and expansion of the existing Gulfstream Hotel facility to its historic use as a hotel, but with increased room sizes, sufficient parking and the resort amenities required to meet the needs of modern travelers and ensure the long-term viability of the Project. As such, the Project will provide an enlivened streetscape between the existing downtown retail, restaurant and cultural uses located to the west and the recreational opportunities at Bryant Park, the Beach and Casino complex and the Municipal Golf Course located to the east. Further, the proposed hotel, structured parking, event spaces and residential units are designed to provide a harmonious transition from the higher intensity commercial and residential uses along Lake Avenue to the medium-density residential uses located in the neighborhood to the south by providing the highest use intensities on the northern portion of the Property and use intensities on the southern portion of the Property. It is clear from future land use, zoning and existing development on the surrounding properties and the overall development pattern of the City that the proposed Conditional Use is in harmony with the future uses likely to occur in the immediate area as allowed under the City's Future Land Use Element and LDRs.

2. The Conditional Use exactly as proposed at the location where proposed will be in harmony with existing uses in the immediate area where located.

Approval of the requested Conditional Use exactly as proposed on the Property is in harmony with the existing uses in the immediate area. As detailed above, the Property is adjacent to a mix of uses including high-density residential uses to the north, east and west, retail use (Dollar General) to the north, Bryant Park to the east, and medium-density residential uses to the south and west. The Project will provide an invigorated streetscape between the existing downtown retail, restaurant and cultural uses located to the west and the recreational opportunities at Bryant Park, the Beach and Casino complex and the Municipal Golf Course located to the east. It is clear from future land use, zoning and existing development on the surrounding properties and the overall development pattern of the City that the proposed Conditional Use is compatible with the existing uses in the surrounding area.

3. The Conditional Use exactly as proposed will not result in substantially less public benefit or greater harm than would result from use of the site for some use permitted by right or some other conditional use permitted on the Property.

The proposed hotel use will result in greater public benefit than would result from use of the Property for a use permitted by right. As detailed above, the uses typically permitted by right in the DT zoning district are Commercial, Office, Retail, Personal Services, Cultural and Artisanal Arts, Institutional, Open Air Retail Sales, Essential services, Places of Worship and Multi-Family Residential. The proposed hotel use and related amenities are consistent and compatible with all uses permitted by right and will complement the existing and future development in the surrounding area. As such, the Project will not result in less public benefit or greater harm than a use permitted by right. Further, approval of the requested Conditional Use will allow operation of the historic Gulfstream Hotel use and expansion to allow for larger guest rooms, modern kitchen and restaurant facilities and parking to adequately meet the needs of today's guests. Considering that the Project entails restoring the historic Gulfstream Hotel to its former glory and historic use and providing the necessary services to ensure the long-term success of the Project, approval of the Conditional Use will actually provide substantially greater public benefit than would result from the use of the Property for some use permitted by right.

In addition Petitioner is considering creating a public art piece on the new building that will change regularly to provide additional benefit to the community as well as highlight local artists.

4. The Conditional Use exactly as proposed will not result in more intensive development in advance of when such development is approved by the Future Land Use Element ("**FLUE**") of the Comprehensive Plan.

*Approval of the requested Conditional Use to allow the proposed hotel use will not result in more intensive development in advance of when such development is allowed by the Future Land Use Element. As detailed above, the Property is designated as DMU, Downtown Mixed Use, on the City's Future Land Use Map, which is "intended to provide for the establishment and expansion of a broad range of office, retail and commercial uses, including higher intensity commercial within the traditional downtown core of the City." The proposed Conditional Use is consistent with the intent of the DMU future land use designation in that it will allow for the expansion and reopening of the historic Gulfstream Hotel with*



*sufficient parking , event space and restaurant uses to support the viability of the hotel use. The Project is also designed to comply with the dimensional requirements in the City's Comprehensive Plan and LDRs, which allow a maximum building height of 87 feet for these parcels and a maximum floor area ratio of 3.3 or more for the Property subject to approval of a Conditional Use Permit, Community Benefit/Sustainable Bonus Incentive through the Mixed Use Urban Planned Development. The Project is in harmony with Objective 1.2.2 of the FLUE which contains an objective of compact, sustainable urban development. The Project also furthers Section 1.1.3.6 of the FLUE by providing sufficient parking for all existing and proposed uses on the Property. In addition to the foregoing, the Project furthers the following Comprehensive Plan objectives and policies (**emphasis added**):*

FLUE Objective 1.3.7: To discourage the proliferation of urban sprawl by **promoting high quality retail, office, and mixed use, especially in the Downtown Mixed Use category** and the Dixie Highway Corridor, as the prime retail and commercial areas as specified on the Future Land Use Map.

Policy 1.3.7.1: High quality retail office and **defined mixed uses are encouraged in the downtown area.**

Policy 1.3.7.2: The highest possible degree of **mutually reinforcing commercial uses are encouraged in the DMU.**

Policy 1.3.7.3: The City shall continue to be **proactive in development of strategies that facilitate adequate parking in the DMU** and Dixie Highway Corridor.

Policy 1.3.7.5: The **pedestrian character of the downtown commercial area will be enhanced through continuation of pedestrian access programs to ensure that development in the DMU is easily accessible to residents and visitors.**

FLUE Objective 1.7.3: **To support redevelopment plans which recognize and respect the historic urban character of Downtown Lake Worth Beach and the surrounding neighborhoods.**

Transportation Element Policy 2.1.1.9: The City shall **discourage urban sprawl through private redevelopment in the downtown area.**

Transportation Element Policy 2.1.4.5: The City shall **support the provision of safe vehicular parking to support new land development.** Public parking lots shall continue to be provided to serve the downtown mixed use area, major attractions (such as Lake Worth Beach) and mass transit access points.

5. The Conditional Use will not generate traffic volumes or movements which will result in a significant adverse impact or reduce the level of service provided on any street to a level lower than would result from a development permitted by right.

Approval of the requested Conditional Use will not generate traffic volumes or movements that result in a significant adverse impact or reduce the level of service provided on any street to a level lower than would result from a development permitted by right. The Strategic Master Plan for the City establishes

a level of service (“LOS”) standard of “C” for Lake Avenue. The current operating LOS for Lake Avenue is “C”. As the Project will not cause a change in the LOS, there is sufficient capacity on Lake Avenue to serve the Project without adversely impacting or reducing the LOS provided to lower than the adopted LOS.

6. The Conditional Use will not result in a significantly greater amount of through traffic on local streets than would result from a development permitted by right and is appropriately located with respect to collector and arterial streets.

Approval of the requested Conditional Use will not result in a significantly greater amount of through traffic on local streets than would result from a development permitted by right and is appropriately located with respect to collector and arterial streets. The Property is located on Lake Avenue, an FDOT controlled major thoroughfare that runs through the City’s historic downtown intersecting with Dixie Highway (US-1) and Federal Highway and continuing east to the City’s Beach and Casino complex where it terminates at the intersection with A1A. Considering that Lake Avenue is an arterial roadway that is heavily travelled and used as a main traffic artery with access from/to other arterial roadways, such as Dixie Highway, the requested Conditional Use is located to minimize through traffic on local streets.

7. The Conditional Use will not produce significant air pollution emissions, or will appropriately mitigate anticipated emissions to a level compatible with that which would result from a development permitted by right.

Approval of the requested Conditional Use will not produce significant air pollution emissions. The proposed residential, hotel, and accessory restaurant, and meeting spaces do not involve any activities that generate industrial, manufacturing, special or hazardous waste, airborne pollutants (such as NOx, SOx, CO, VOC’s, heavy metals, etc. or any special handling of solid waste.

8. The Conditional Use will be so located in relation to the thoroughfare system that neither extension nor enlargement nor any other alteration of that system in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right.

The Conditional Use is located in relation to the thoroughfare system such that no extension, enlargement or any other alteration of that system in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right is required. The Property is located on Lake Avenue, an FDOT controlled major thoroughfare that runs through the City’s historic downtown intersecting with Dixie Highway (US-1) and Federal Highway and continuing east to the City’s Beach and Casino complex where it terminates at the intersection with A1A. As detailed above, the Lake Avenue roadway is built to its ultimate width and operates at the City’s adopted LOS. Considering the Property is located along the functioning Lake Avenue right-of-way, approval of the requested Conditional Use will not require extension, enlargement or alteration of the thoroughfare system.

9. The Conditional Use will be so located in relation to water lines, sanitary sewers, storm sewers, surface drainage systems and other utility systems that neither extension nor enlargement nor any other alteration of such systems in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right.

The Conditional Use is located in relation to water lines, sanitary sewers, storm sewers, surface drainage systems and other utility systems such that no extension, enlargement or any other alteration of such systems in a manner resulting in higher net public cost or earlier incursion of public cost than would result from development permitted by right is required. The plan for the Project is that it will continue to be served by an existing 8" water main that runs the length of the alley from Lake Avenue to 1<sup>st</sup> Avenue South. In addition, the Project is served by a sewer main that runs the length of the alley from Lake Avenue to 1<sup>st</sup> Avenue South. Petitioner is not aware of services currently provided that enlargement or other alteration of the water, wastewater, stormwater or other utility systems resulting in a higher public cost would not be greater than that of a development permitted by right is required for development of the Project.

10. The Conditional Use will not place a demand on municipal police or fire protection service beyond the capacity of those services, except that the proposed facility may place a demand on municipal police or fire protection services which does not exceed that likely to result from a development permitted by right.

Approval of the requested Conditional Use will not place a demand on municipal police or fire protection service beyond the capacity of those services, except that it may place a demand on municipal police or fire protection services that does not exceed that likely to result from a development permitted by right. As described above, the Project entails the restoration and expansion of the historic Gulfstream Hotel to its historic use. Due to the Property's current lack of sufficient amenities and parking to promote the successful operation of a resort hotel, the building has been vacant for a decade. Approval of the Conditional Use will allow for the reestablishment of regular human activity in the historic building and on the Property thus eliminating the opportunity for vagrancy and criminal activity that occurs in blighted areas. Further, the Project's design provides increased "eyes on the street" with the provision of covered porches along the Lake Avenue frontage and surveillance cameras on the exterior and interior of the building which will be made available to law enforcement via the internet and promotes Crime Prevention through Environmental Design ("CPTED") principles of Natural Surveillance, Natural Access Control, Natural Territorial Reinforcement and Maintenance, which are intended to deter criminal activity. In addition, the Project is designed to comply with all applicable fire codes, provide for emergency vehicle access and provide a Fire Command Center in the lobby of the historic Gulfstream Hotel building. Considering the foregoing, approval of the Conditional Use is likely to reduce the demand on police and fire protection services by upgrading the historic Gulfstream Hotel, improving emergency access to the Property and reactivating the surrounding area.

11. The Conditional Use will not generate significant noise, or will appropriately mitigate anticipated noise to a level compatible with that which would result from a development permitted by right. Any proposed use must meet all the requirements and stipulations set forth in section 15.24, Noise control.

Approval of the requested Conditional Use will not generate significant noise and will appropriately mitigate any potential anticipated noise to a level compatible with that which would result from a development permitted by right. The Conditional Use will meet all applicable requirements and stipulations set forth in Section 15-24 of the City's LDRs regarding Noise Control.

12. The Conditional Use will not generate light or glare which encroaches onto any residential property in excess of that allowed in section 23.4-10, Exterior Lighting.

Approval of the requested Conditional Use will not generate light or glare which encroaches onto any residential property in excess of that allowed in Section 23.4-10 of the City's LDRs, Exterior Lighting.

## SUSTAINABLE BONUS INCENTIVE PROGRAM

In accordance with Section 23.2-33 of the City's LDRs and the City's Future Land Use Element, Petitioner hereby requests approval for increased building height and increased intensity (measured by FAR) in exchange for the incorporation of sustainable design features, community based improvements and overall design excellence as part the Project, subject to waiver as necessary.

Height: As detailed above, the Project includes construction of a new 87 foot, 7 story building, with a lower parking level and a rooftop amenity deck. The DT zoning permits sixty-five feet (65') of building height, not to exceed six (6) stories, by right for all hotel projects with an additional eighty- one and one fourth feet (81.25') of building height, not to exceed a maximum of seven (7) stories, permitted under the Sustainable Bonus Incentive Program and Mixed Use Urban Planned Development. Ordinance 2019-16 adopted in December 2019 permits a height of 87 feet for this property.

FAR: The Comprehensive Plan and DT zoning also permit a maximum base FAR of 2.45 for the Property ( as it includes hotel use) with an additional bonus FAR of .5 permitted under the Sustainable Bonus Incentive Program and Mixed Use Urban Planned Development for a maximum FAR of 3.0625 for the Project.

The Sustainable Bonus Incentive Program requires that Petitioner provide the following information to the City for review: building specifications including the bonus height and bonus intensity proposed, the number of square feet on each story of all proposed buildings that are above the first two (2) stories and the number of square feet that are sought for the bonus floor area ratio; and a summary of each of the proposed on-site and off-site sustainable design features or community based improvements, and the market value of each, which are proposed to qualify for the incentive program. Please see below for the required information:

### Bonus Height:

Number of Additional Stories: 5 above 2 additional stories of building height for the proposed new building.



- Possibly, obtaining Florida Green Building Certification

Fees. Given the historic and economic importance of the Gulfstream to the Lake Worth Beach community, the historic/landmark building that is the heart of the Project, and the difficulty in bringing it back to life for the long term (as evidenced by its long vacancy), the Petitioner is seeking a form of public/private partnership in which the City provides incentives and support as it is able under its current codes and economics. As part of this, the Petitioner is requesting that the City waive its Sustainable Bonus Fees (we have withdrawn the request to waive or reduce bldg permit fees, tree mitigation fees, and other application fees).

## **VARIANCE PURSUANT TO SECTION 23.7-7 FROM THE FLOOD RESISTANT CONSTRUCTION REQUIREMENTS**

The Project includes the substantial improvement and rear expansion of existing historic hotel building (the “**Historic Building**”). The proposed repair, improvement, and rehabilitation will not preclude the historic hotel’s designation as a historic building and the variance is the minimum necessary to preserve the historic character and design of the building.

Petitioner is making no change to the existing level of the Historic Building. The level cannot be changed without damage to the historic character and design of the building. The expansion is necessary to provide services needed for a modern luxury hotel. The level of this functionally dependent rear expansion is dictated by the existing level of the Historic Building. The expansion will be “back of house” space with minimal improvements and finishes, designed for heavy use. The rear expansion is designed to incorporate appropriate flood measures.

The danger that materials and debris may be swept onto other lands resulting in further injury or damage; The danger to life and property due to flooding or erosion damage; and The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners are all substantially the same as have existed since the hotel’s construction in 1923.

The proposed development has significant importance to the community to preserve an iconic historic building integral to the City’s history, and to renew and revitalize the downtown corridor between the downtown retail and restaurant uses and beach and historic Lake Worth Beach Casino area

Because the existing building cannot be moved, there are no alternate locations for the proposed development that are subject to lower risk of flooding or erosion. The following are not substantially altered by the proposed renovation and rear expansion of the Historic Hotel: compatibility of the proposed development with existing and anticipated development; the relationship of the proposed development to the comprehensive plan and floodplain management program for the area; the safety of access to the property in times of flooding for ordinary and emergency vehicle; the expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and the costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges.

1. the unique characteristics of the existing Historic Hotel limit compliance with Section 23/ elevation standards;

*Because of its size and construction, the Historic Hotel cannot feasibly be raised out of the flood level, or relocated. Raising the existing floors to the required Flood Plain level within the existing walls would result in a serious degradation of the historic and architectural integrity of this structure. Window and door*



*openings would no longer correspond to the original floor level and could not be raised within the original exterior walls without jeopardizing the original construction, as well as the historic design.*

2. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the Historic Hotel undevelopable without a variance

*This historic building cannot feasibly be raised or relocated. Although it was in compliance when constructed and through much of its history, the flood levels have been increased to render this property non-compliant but grandfathered. If a variance is not granted, the historic hotel cannot be renovated and saved. The only feasible development alternative to a variance would be to tear down the hotel and build a new structure that is compliant, which the Petitioner does not want and is working to prevent—this historic hotel should be saved, renovated and re-opened.*

3. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and ordinances

*The rear expansion of the Historic Hotel meets the required EL. 7.00, except for a trash room and loading dock that are essentially exterior amenities. In the Historic Hotel, the finished floor of the lobby sits at 6.95, above the 6 foot FEMA zone, and only six inches below the required 1 foot freeboard. The restaurant area of the Historic Hotel is slightly lower). Petitioner is proposing no change to the existing levels of the Historic Hotel, . Thus, the new non-compliance is not being exacerbated. Lenders for this project will require flood insurance, which places the cost of any flood difficulties to the Petitioner and not to the public.; and*

4. The variance is the minimum necessary, considering the flood hazard, to afford relief

*The variance is the minimum necessary, considering the flood hazard, to afford relief because there is no change to the existing levels of the Historic Hotel and the level of the rear expansion is dictated by the existing level of the Historic Building. The proposed rehabilitation and alteration will not preclude the structure's continued designation as an 'HISTORIC' structure . In order to prevent the complete loss of this historic structure and the serious degradation of its architectural and historic integrity. the variance is the minimum necessary, considering the flood hazard, to afford relief.*

5. the granting of the variance will be in accordance with the spirit and purpose of the chapter, and will not be unduly injurious to contiguous property or the surrounding neighborhood nor otherwise detrimental to the public welfare.

*The renovation, reopening, and viability of the Gulfstream Hotel will be beneficial to contiguous property, the surrounding neighborhood, and the public welfare by revitalizing the area, increasing tax revenues, increasing property values, and preserving an iconic historic building , which furthers the City's declared public policy of historic preservation*

## **CERTIFICATES OF APPROPRIATENESS , EXTERIOR RENOVATION OF AND ADDITIONS TO HISTORIC HOTEL**

As part of the Project it is the intent of the owner to restore and refurbish the historic Gulfstream Hotel. The report of the statement of conditions of the existing building has been submitted in the application for Historic Preservation Property Tax Exemption. The Project's design team has followed the "Model Guidelines for Design Review: A Guide for Developing Standards for Historic Rehabilitation in Florida Communities" and the Secretary of the Interiors Standards for Rehabilitation as the materials and methods for the repairing and altering the structure were developed. "Rehabilitation" is defined by the U.S. National Parks Service as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." The following is an outline of the process and items that will be included in this rehabilitation.

There will be a two-story addition to the rear (south) of the original building, which will serve as an elevated outdoor terrace. The exterior of the addition is included in the elevations descriptions below. The addition will house operation and services (laundry, kitchen, offices, storage and mechanical and electrical rooms) at the first floor level. A new corridor will connect from the eastern foyer to the new stairs and egress provided within the addition. The outdoor terrace will be accessed from the second floor lobby through the double doors. A small connection between the historic building and the new construction across the alley to the west will be described in the "Rear & West Elevation" section below.

### Front (North) Façade

#### Existing Features and Condition of the Front Façade:

The front façade (along Lake Avenue) approaches the street with a full length porch, which is articulated with arched openings. The openings on the east side have previously been filled in with windows for enclosure of the restaurant that historically occupied the corner of the first floor. The primary guest entrance is located directly in the center, with inset stairs leading to the entry doors covered by the porch. The other openings all have a concrete balustrade across the front. The first floor ends somewhat abruptly, with an undecorated flat cornice, punctuated only by a railing in the center, where the mezzanine porch is located. The hotel rises another five stories, divided into roughly three bays, with the center bay deeply recessed. The side bays are occupied by two rooms, each with a single double hung window for the main room and a narrower window for the bathroom. This pattern is mirrored on the other half of the bay. The brick and concrete structure is completely covered in a uniform stucco. The only ornamentation occurs at the parapet. Each parapet has a raised corner with a tiled Mission style pent roof between. Beneath the pent is a long rectangular relief panel, now stuccoed like the rest of the façade. The center bay is as recessed as it is wide. The face is divided into

three even spaces, each with a triple set of double-hung windows. The cornice is completely plain, similar to the first level, and spaced above each set of sixth floor windows is a matching frieze panel.

**Proposed Work and Impact on the Front Façade:**

The front facade will be retained in its current configuration. Stucco repairs will match the color and texture of the existing historic stucco. Cleaning of the exterior stucco will be accomplished using the gentlest means possible without damaging the surface of the stucco. Cleaning and repair will be done according to the guidance provided by Preservation Brief #22, The Preservation and Repair of Historic Stucco. Good quality overall and close-up color photographs of the stucco both before and after cleaning and repair will be submitted with the Request for Certification of Completed Work to ensure conformance with the Standards.

The entire facade will be repainted with a suntan yellow finish once repaired and cleaned. Boards over doors & windows will be removed. Specific door & window replacement design will depend on storm/impact rating necessities (see "Doors" & "Windows" sections).

The simple but decorated railing spanning the front of the outdoor terrace will be maintained and repainted with a black finish to match existing.

The canvas awnings will be removed.

Decorative elements on the façade (relief panels) will remain and be painted with the same finish as the rest of the building, as it is currently.

Four window openings across the 2<sup>nd</sup> floor terraces will be converted to doors to accommodate individual exterior terrace access for hotel rooms.

**Side (East) Façade:**

**Existing Features and Condition of the Side (East) Façade:**

The existing east facade is an almost symmetrical facade, with five identical floors above a stucco colonnade on the first floor. Originally the first floor colonnade was at street level, but previous rehabilitation work raised the floor of the colonnade to match the floor level of the front porch. The arched openings were originally completely open, but have since been redesigned to match the front facade openings, with low concrete banisters installed at each opening except the center and the south openings. The upper floors consist of five evenly spaced double window sets, with single windows in the side bays. The only ornamentation occurs at the parapet. Each parapet has a raised corner with a tiled Mission style pent roof between. Beneath the pent is a long rectangular relief panel, now stuccoed like the rest of the facade. The raised corners each have a shield medallion and the north corner has "GULFSTREAM" neon lighting beneath the medallion in line with the relief panel. The entire facade has been uniformly stuccoed and painted. Most of the stucco is in fairly good condition.

**Proposed Work and Impact on the Side (East) Façade:**

The east facade will be largely retained in its current configuration. Stucco repairs will match the color and texture of the existing historic stucco. Cleaning of the exterior stucco will be accomplished using the gentlest means possible without damaging the surface of the stucco. Cleaning and repair will be done according to the guidance provided by Preservation Brief #22, The Preservation and Repair of Historic Stucco. Good quality overall and close-up color

photographs of the stucco both before and after cleaning and repair will be submitted with the Request for Certification of Completed Work to ensure conformance with the Standards.

The entire east facade will be repainted to match existing once repaired and cleaned.

Similar to the North façade, five window openings across the 2nd floor terraces on the East elevation will be converted to doors to accommodate individual exterior terrace access for hotel rooms. Please see “Doors” section for further description.

At the rear addition, the east façade will have a simplified extension with rectangular openings for windows to distinguish from the original arched colonnade; the plans show the addition is recessed from the historic structure. The openings will sit directly above a curb with greenery so that the raised interior of the addition is level with the rest of the first floor level. The parapet of the addition will resemble the raised ogee corners at the rooftop. A postless glass railing system will span the eastern & southern edge of the elevated terrace for fall & wind protection.

The facade will be stuccoed and painted to match the color of the rest of the hotel.

#### Rear (South) and Side (West) Facades

Existing Features and Condition of the Rear and Side (West) Façade:

The rear facade is nearly symmetrical, divided into three (3) roughly equal bays, and six (6) stories tall. The materials are identical to the other facades. Above the first level the east and west bays are essentially identical, with a single window wide recess in the center of each to bring additional natural light into the rooms. A single window at each level is located on either side of this narrow recess, which also contains a window facing out. The center bay at the second floor level has three sets of matching windows evenly spaced across it. The third through sixth floors have a double set of windows on each side, two single windows, and then two much smaller windows, providing natural light to the interior bathrooms. The roof level is not similar to the east and north facades, with only a simple rise in level at the corner and no further ornamentation. The street level is covered by a porch across the recess and is designed for utility access to the kitchen and utility spaces of the building.

The west facade is similar to the east facade above the first floor. The upper floors consist of five evenly spaced double window sets, with single windows in the side bays. The only ornamentation occurs at the parapet. Each parapet has a raised corner with a tiled Mission style pent roof between. Beneath the pent is a long rectangular relief panel, now stuccoed like the rest of the facade. The raised corners each have a shield medallion. The street level facade has a single high placed window at each bay, keeping the street level primarily solid stucco, with few breaks. Toward the south of the facade are several windows around a single door opening.

The facades are covered in a uniform stucco and painted completely. The stucco is in generally good condition.

Proposed Work and Impact on the Rear (South) and West (Side) Façade:

The rear (South) elevation will be retained. The center column of windows at the recessed center of the building will be replaced to match existing and the two flanking sets of windows will be converted to double doors providing access to an elevated outdoor terrace (addition).

At the rear addition, the south elevation will utilize recessed rectangular stucco inserts with score lines to in continuity with the new fixed windows from the East façade. The southern face of the addition will be stuccoed and painted to match the color of the rest of the hotel. The parapet of the additional resemble the raised corners at the rooftop. A postless glass railing system will span the eastern & southern edge of the elevated terrace for fall & wind protection.

Stucco repairs as well as the addition's new stucco will match the color and texture of the rest of the hotel.

The west facade will retain its current configuration except for the connection between the historic building and new construction to the west; a connection that is necessary for providing hotel guests and operations access to amenities in the new construction which could not be accommodated in the historic building. Specific uses are described in the floor layout sections.

The connection will be set back from Lake Avenue roughly five structural bays on the west elevation (to not conflict with public views of main façade) and will connect the 1st and 2nd floors between structures. At ground level, an exterior ADA-accessible ramp will incline to the new exterior exit doors between the historic & new buildings.

Four existing windows (two on first floor, two on second floor) will be removed for CMU infill in order to accommodate however no character defining features will be impacted by the connection. The exterior materials of the new building connection will be composed of either stucco or a more contemporary material to be differentiated from existing materials.

Hurricane Protection for the historic structure. The following hurricane protection is proposed for the historic structure: The Historic structure will be retrofitted with historically compatible windows and doors that meet Florida code. The rear addition will be set at +7NAVD and lower areas in the rear if any will be protected with flood gates. The historic hotel will get a new roof that also meets Florida code. The transformer, generator and other utilities will be set at a height to withstand flooding per the code. The rear extension of the historic building will utilize impact windows and doors.

#### Secretary of the Interior Rehabilitation Standards

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The Project proposes to continue the use of the historic Gulfstream Hotel as a resort hotel, which is the historic purpose of the building. As such, minimal changes to the defining characteristics of the historic Gulfstream Hotel building and the Property are proposed. The proposed modifications allow for the modernization of the size of guest rooms and restaurant/kitchen facilities required to meet the expectations of contemporary travelers.*

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*The Project is designed to retain and preserve the historic character of the Gulfstream Hotel building. The removal of historic materials and alteration of features and spaces that characterize the historic Gulfstream Hotel will be avoided wherever feasible.*

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

*The Project is designed to maintain the historic building as a physical record of its time, place and use. No changes that would create a false sense of historical development are proposed to be undertaken as a part of the Project.*

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

*The Project is designed to maintain any changes that have acquired historic significance in their own right. Specific information regarding these items will be identified in the review of conditions of historic building described above.*

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be retained and preserved.

*Distinctive features, finished, construction techniques and examples of craftsmanship that characterize the historic Gulfstream Hotel will be preserved as a part of the Project.*

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

*Where feasible, deteriorated historic features will be repaired rather than replaced.*

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

*Chemical or physical treatments that cause damage to historic materials will not be used in the restoration of the historic Gulfstream Hotel. If necessary, the surface cleaning of the historic Gulfstream Hotel building will be undertaken using the gentlest means possible.*

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

*No significant archeological resources are proposed to be affected by the Project. Should any resources be identified once the Project has begun, mitigation measures will be undertaken.*

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

*The Project is designed such that new additions, exterior alteration and new construction will not destroy historic materials that characterize the historic building. The new construction and alterations are designed to be differentiated from the old while maintaining compatibility with the massing, size, scale and architectural features necessary to protect the historic integrity of the Property and surrounding environment.*

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*The proposed addition to the historic Gulfstream Hotel are designed and will be constructed such that if removed in the future, the essential form and integrity of the historic Gulfstream Hotel will be unimpaired.*

In accordance with Section 23.5-4(k)2, Additional Guidelines for Alterations, Petitioner shall demonstrate for the proposed restoration and renovation of the historic Gulfstream Hotel that: (A) every reasonable effort is being made to provide a compatible use for the Property that requires minimal alteration of the building, structure or site and its environment; (B) the distinguishing original qualities or character of a building, structure or site and its environment are not destroyed; and (C) the City shall permit the property owner's original design when the City's alternative design would result in an increase in cost of thirty percent (30%) above the owner's original cost.

A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

*Every reasonable effort is being made to provide a compatible use for the Property that requires minimal alteration of the building considering that the Project entails restoring the original hotel use of the historic Gulfstream Hotel building on the original Gulfstream Hotel property.*

- B. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

*No distinguishing original qualities or character of the historic Gulfstream Hotel building, structure, site or environment are proposed to be destroyed as a part of the Project.*

- C. Is the change visually compatible with the neighboring properties as viewed from a primary or secondary public street? *The exterior alterations are consistent, compatible and secondary with the existing historic Gulfstream Hotel building, around which the neighboring properties developed. The new addition is compatible in design and scale to the existing hotel while being secondary in size to the hotel. It is very reminiscent of the addition to the Gulfstream Condos creating a symmetry in profile to the rest of the block.*
- D. When a Certificate of Appropriateness is requested to replace windows or doors, the HRPB or development review officer, as appropriate, shall permit the property owner's original design when the City's alternative design would result in an increase in cost of thirty percent (30%) above the owner's original cost. The owner shall be required to demonstrate to the City that:
1. The work to be performed will conform to the original door and window openings of the structure; and
  2. That the replacement windows or doors with less expensive materials will achieve a savings in excess of thirty (30) percent over historically compatible materials otherwise required by these LDRs.
  3. If the applicant avails himself of this paragraph the materials used must appear to be as historically accurate as possible.

*Acknowledged.*

Additionally, regarding the rear expansion:

4. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

*Every reasonable effort is being made to provide a compatible use for the Property that requires minimal alteration of the building or use for original purpose in that the proposed rear extension is essential to the use of the existing building as a hotel*



5. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

*No distinguishing original qualities or character of the historic Gulfstream Hotel building, structure, site or environment are proposed to be destroyed as a part of the Project.*

6. Is the change visually compatible with the neighboring properties as viewed from a primary or secondary public street?

*The rear extension is designed to be visually compatible with the existing historic hotel in materials, color and massing*

With regard to the rear extension (addition) to the existing historic hotel (Section 23.5-4 (k) (3):

1. The height of proposed building shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

*the rear extension height is proposed to be visually compatible and in harmony with the height of existing buildings located within the historic district. In addition, the proposed building height is compliant with all City regulations. At only 2 stories, the height of the rear extension is appropriately subservient the historic hotel and the existing condo building located to the south, across the alley. Images of the existing multi-family residential uses have been submitted with the application.*

2. The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

*The width to height proportions of the rear expansion will be similar to the existing Historic Gulfstream Hotel. the width of the addition is compatible with widths of other buildings within the district and is subservient to the existing Gulfstream. The height of the building continues the cadence of the veranda section of the existing building. The openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.*

*For the rear addition the width and height of all windows and doors will be similar to the existing building and therefore the rest of the surrounding neighborhood built on its backbone.*

3. The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

*N/A – no material change to existing historic and no front façade of extension.*

4. The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

*Most other buildings in the adjacent blocks have building footprints from street to alley and back to the street. This rear expansion will be in conformance with that pattern The small connector is also set back from the front property line to give the visual appearance of an alley. .*

5. The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

*N/A for rear expansion and connector*

7. The relationship of the materials, texture and color of the facade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.

*The rear addition will be the same cementitious stucco as the existing Gulfstream Historic Hotel and all adjacent buildings (including the proposed New Building in the Project)*

8. The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the historic district.

9. *For the rear addition and connector, there will be a flat roof similar to that of all the nearby structures\_.*

10. Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

11. *For the rear addition\_ and connector, \_\_\_\_\_ N/a \_\_\_\_\_.*

12. The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

*These elements of the Project have been addressed in the items listed above.*

- 11 A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

*For the rear addition and connector N/A.*

- 12 The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.

*For the rear addition and connector, it is in the same style, material and structure as the original building while being subordinate to the building.*

- 13 In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

- (a) Retain and repair, where possible, historic mechanical systems in their original location, where possible. *The historical mechanical systems in the existing historic hotel are not candidates for repair and re-use. The renovated historic hotel, rear expansion and connector are designed with mechanical systems that advance sustainability and are not visible from any right of way. .*
- (b) Mechanical systems shall be placed on secondary façades only and shall not be placed on, nor be visible from, primary façades. *The mechanical systems of the rear expansion and connector are placed on the roof of the addition behind the parapet wall in order to not be visible from any right of way.*
- (c) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features. *The mechanical systems on the rear extension and connector will not damage, destroy or compromise the physical integrity of the rear extension and connector or the historic hotel and will be installed so as to cause the least damage, invasion or visual obstruction to the building materials, and to its significant historic, cultural and architectural features.*

14 The site should take into account the compatibility of parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in keeping visually with related buildings and structures.

*Through location, materials, and other design elements, the connector between historic and contemporary New Building, utility and service areas, walkways/arcade and appurtenances are designed to be in keeping visually with the existing historic hotel and the contemporary new building, which in turn is compatible and in harmony with the neighborhood that has been developed around the historic hotel. The proposed parking garage also includes fenestration and façade detailing compatible with the surrounding uses. The parking garage is also designed to provide a façade that is visually compatible and in harmony with the existing residential uses to the east and west.*

### **CERTIFICATE OF APPROPRIATENESS , NEW CONSTRUCTION**

The Project includes a newly constructed building (the “**New Building**”) adjacent to the historic hotel building, to provide additional hotel features appropriate to a modern luxury hotel, including additional hotel rooms, meeting and function areas, rooftop pool.

3. The height of proposed building shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

*the New Building heights are proposed to be visually compatible and in harmony with the height of existing buildings located within the historic district. In addition, the proposed building heights are compliant with all City regulations. The height of the new construction is the same as the height of the adjacent historic hotel. As detailed above, there are adjacent structures of five (5), six (6) and seven (7) stories within one block of the Project. Specifically, the existing condo building located across the alley to the east of the MF-30 Property is six (6) stories; the existing condo building located across South Lakeside Drive to the west of the MF-30 Property is five (5) stories; the existing condo building located across Lake Avenue to the north of the future new building is equivalent to five (5) stories; and the existing building located across Lake Avenue to the north of the historic Gulfstream Hotel is seven (7) stories. The proposed new building is located on the northern portion of the Property in proximity to the existing five (5), six (6) and seven (7) story buildings, while the building height steps on the southern portion of the Property adjacent to the one (1) and two (2) story medium-density residential uses to the south. Images of the existing multi-family residential uses have been submitted with the application.*

4. The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

*The width to height proportions of the new construction Project will be similar to the existing Historic Gulfstream Hotel The width of Lake front facade of the New Building is comparable to the Historic Hotel. The New Building will have a projected arcade along Lake Avenue on the first level*

6. The openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.

*The fenestration on the New Building is designed to complement that of the Historic Hotel. So as not to be too similar to the Gulfstream Hotel, the proposed hotel building is designed to incorporate balconies with decorative railings. The historic Gulfstream hotel has no individual hotel room balconies. The proportions of the windows and doors will also be similar while still satisfying the impact rated storm protection required of new construction. The proposed parking garage also includes fenestration and façade detailing compatible with the surrounding uses.*

7. The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

*The front façade of the New Building will have a similar rhythm to the existing Gulfstream Historic Hotel, but the treatment of the openings in the arcade will vary.*

8. The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

*Most other buildings in the adjacent blocks have building footprints from street to alley and back to the street. The New Building will have a recessed green roof area at the 3rd level, but recessed back from the front property line to such a degree that the space between the New Building and the Gulfstream Hotel will be consistent with other solid to void relationships along the streetscape. The small connector is also set back from the front property line. The parking garage is also designed to provide a façade that is visually compatible and in harmony with the existing residential uses to the east and west.*

9. The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

*The arcade porch of the proposed hotel building is designed to be elevated slightly more (approximately one foot) than the Gulfstream Historic Hotel due to FEMA and City regulations; however, the landscape elements along the street and integration with the sidewalk will be consistent along Lake Avenue and South Lakeside Drive.*

13. The relationship of the materials, texture and color of the facade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.

*The predominant exterior finish is cementitious stucco for the existing Gulfstream Historic Hotel and all adjacent buildings.*

14. The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the historic district.

*The flat roof of the Historic Hotel includes articulated curvilinear parapets and mansard combinations. Elevator equipment room and stair towers also project above the main roof. The New Building will also*

*have a combination extended elevator and stair towers and rooftop enclosures, compatible with the Historic Hotel roofline .*

15. Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

*The existing Gulfstream Historic Hotel has elevated arcades with precast concrete balustrades on Lake Avenue and South Golfview Road. Some portions of that railing system will need restoration. The 3<sup>rd</sup> floor recessed green area will provide substantial landscaping for the condominium property on the south, as more commonly near the residential buildings in the adjacent project areas.*

16. The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

*These elements of the Project have been addressed in the items listed above. The New Building will conform to the required setbacks and height restrictions as the adjacent buildings do and consequently will share similar massing and size.*

- 11 A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

*The new building is visually compatible and in harmony vertically, horizontally or non-directionally because it is similar in verticality to the historic and the surrounds while also being compatible with the massing of the new and nearby building to the east. It also creates several horizontal features along the façade in order to be similar to the historic and its verandas and additions. It also has subordinate vertical elements like the historic in the front in its divisions into 3 "parts" and in the rear with its vertical plane elements.*

- 12 The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.

*The New Building is contemporary in style, with a nod to the Mediterranean revival style of its elder, reflecting today's architecture. It has segmentations that reflect the style of its "big sister" while still retaining its "newer" feel (the façade is designed in 3 sections with the center recessed, for example). It has a veranda like the original but styled to be more contemporary as well as the glass in the new veranda has transoms like the original but styled in a more contemporary way. It has been designed to be different than, but compatible with, the historic hotel. (see details above in this section)*

13 In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

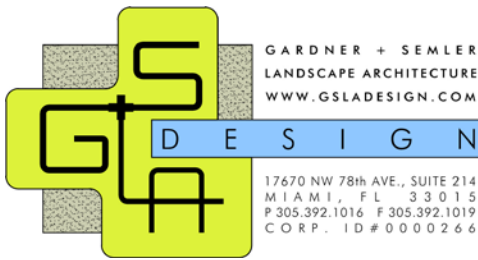
- (d) Retain and repair, where possible, historic mechanical systems in their original location, where possible. *The New Building has no historic mechanical system.*
- (e) Mechanical systems shall be placed on secondary façades only and shall not be placed on, nor be visible from, primary façades. *The mechanical systems of the New Building will not be visible from any primary façade.*
- (f) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features. *The mechanical systems on the New Building will not damage, destroy or compromise the physical integrity of the New Building and will be installed so as to cause the least damage, invasion or visual obstruction to the New Building's building materials, and to its significant cultural and architectural features.*

14 The site should take into account the compatibility of parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.

*Through location, materials, and other design elements, the connector between historic and contemporary New Building, utility and service areas, walkways/arcade and appurtenances are designed to be in keeping visually with the existing historic hotel and the contemporary New Building, which in turn is compatible and in harmony with the neighborhood that has been developed around the historic hotel. The proposed parking garage also includes fenestration and façade detailing compatible with the surrounding uses. The parking garage is also designed to provide a façade that is visually compatible and in harmony with the existing residential uses to the east and west.*

The construction of the New Building will utilize impact windows and doors pursuant to Florida code.





March 28, 2022

David McGrew  
Department for Community Sustainability  
City of Lake Worth Beach  
1900 2<sup>ND</sup> Avenue North  
Lake Worth Beach, FL 33461  
561-586-1687

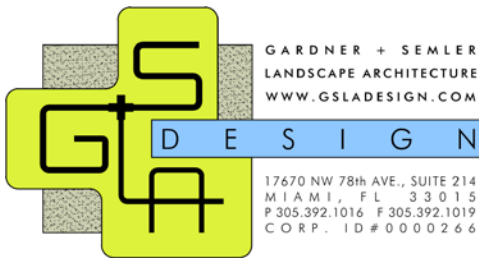
**RE: SPRT Comments – Gulfstream Hotel**

Dear Mr. McGrew,  
We received your comments and our responses are as follows:

Community Service Landscaping:

Comment #1 – Ground Floor

- Explain/justify tree mitigation fee of \$800. I did not see this explanation on the Civil Drawing set. Provide a separate Tree Mitigation/Justification statement.  
Response: \$800 was a typographic error. There is a mitigation shortfall of 136" DBH. There isn't sufficient room on site to plant these trees therefore a donation to the City of Lake Worth's Tree Canopy Restoration Fund must be made in the amount of \$54,400. This was calculated by using the chart for tree mitigation per inch for non-residential properties. Since the mitigation is partially being accomplished through replacement, an average DBH of the trees being removed was calculated (12.25" DBH). This average DBH was used to determine the mitigation fee per inch of \$400. 136" DBH multiplied by \$400 equals \$54,400.
- Explain/Justify the reduction of trees from 51 trees on the original plans to 39 trees on 1st resubmittal. Add additional native trees wherever feasible  
Response: As the site plan developed there were items introduced that caused a reduction in the quantity of available landscape space. These included the "outboarding" of stairwells and a change to the layout of the loading area.
- Palms quantities were not reduced as requested. Native palms were reduced to 11 from the proposed original of 18. Change *Livistonia chinensis* (Chinese Fan Palm) to *Thrinax radiata* (Florida Thatch Palm) and change *Rhapis excelsa* (Lady Palm) to *Acoelorrhaphe wrightii* (Everglades palm).  
Response: Palms quantities have been reduced. The proposed *Livistonia chinensis* (Chinese Fan Palm) were removed and have been replaced by leaning Sabal Palms (Sabal palmetto). The intention of these palms was to poke through the open roof in that area and *Thrinax* Palms would be too short or too expensive to purchase at the heights required. *Rhapis excelsa* (Lady Palm) should not be changed for *Acoelorrhaphe wrightii* (Everglades palm) for several reasons. This is a very shady area and the Everglades Palms need full sun and the thorns along the trunks would not be a good idea next to a walk.



- Plant list and plans do not match. Verify that all plants that are on the plans are included on the plant lists and vice versa.  
Response: Plant quantities in the planting plan and plant list have been revised. Planting plan and plant list quantities are the same.

#### Comment #2 – Third Floor and Roof Top

- Increase the amount of Native Plants (Trees, Shrubs, Palms and Groundcovers) wherever feasible.  
Response: Amount of native plants have been increased.

I hope these responses prove helpful.

Regards,

Ken Gardner























GULFSTREAM HOTEL DEVELOPMENT  
LAKE WORTH, FL.

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS P.A.

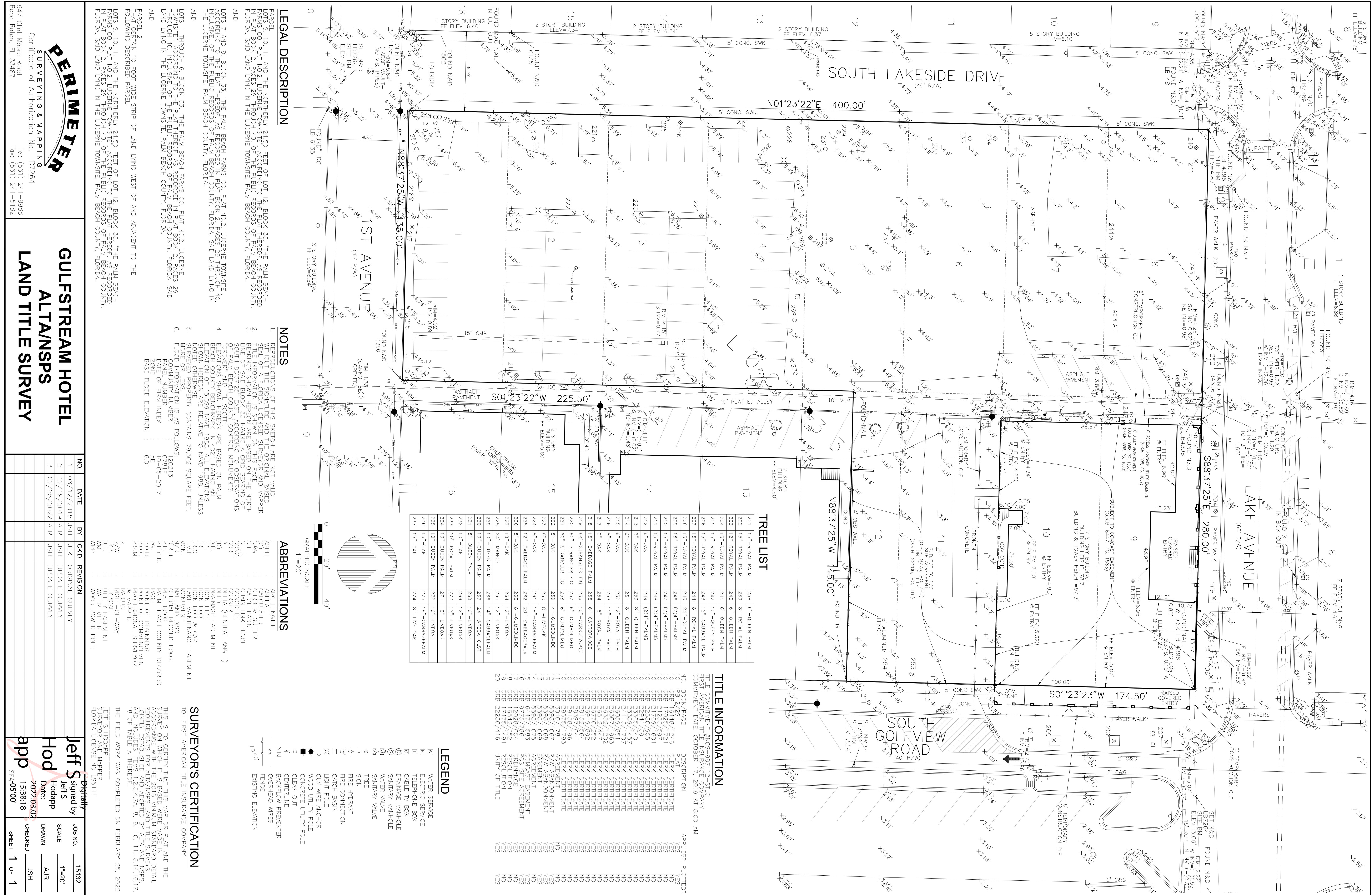
ARCHITECTURE

1101 BISCAYNE BLVD. S. 3309-3100 MIAMI, FL 33134-4664  
T 305.559.1250 F 305.551.1746

JOSE L. GOMEZ

	DWG. TITLE	C
	SCALE	
	PROJECT NO.	
	DATE	2
	SHEET NUMBER	11
△	DATE	REVISION

G0



**LEGAL DESCRIPTION**

PARCEL 1, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA, AND

PARCEL 2 THAT CERTAIN 10 FOOT WIDE STRIP OF LAND LYING WEST OF AND ADJACENT TO THE FOLLOWING DESCRIBED PARCEL:

LOTS 1 THROUGH 6, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE" THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA, AND

LOTS 7 AND 8, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA, AND

LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA, AND

**NOTES**

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS THEY ARE MADE FROM THE ORIGINAL, WRITTEN SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. TITLE INFORMATION IS SHOWN ON THIS PAGE BEARING HEREON ARE BASED ON THE NORTH SICH 8837 BLDG. CASES ACCORDING TO THE RECORDS OF PALM BEACH COUNTY CONTROL MONUMENTS "GROVER" AND "L. SCOTT".
2. ELEVATIONS SHOWN HEREON ARE BASED ON PALM BEACH COUNTY DATUM OF 1989 NAVD 1988. ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVD 1988, UNLESS NOTED OTHERWISE.
3. SURVEYED PROPERTY CONTAINS 79,302 SQUARE FEET, FLOOD INFORMATION IS AS FOLLOWS:
  - 120213
  - 10-05-2017
  - 0781F
  - DATE OF FIRM INDEX
  - BASE FLOOD ELEVATION
4. 6.0'

**ABBREVIATIONS**

- L/SPH = ASPHALT
- (C) = CALCULATED
- C&G = CURB & GUTTER
- CB = CATCH BASIN
- CB F = CONCRETE
- CONC = CONCRETE
- COR = CORNER
- (D) = DELTA (CENTRAL ANGLE)
- DEDA = DEED
- DEDAE = DEED ABANDONMENT
- IR = IRON ROD
- IRP = IRON PIPE
- IRRC = IRON ROD & CAP
- L/MS = LAKE MAINTENANCE EASEMENT
- L/MS = LAKE
- N/D = NAIL AND DISC
- O/R/B = PLAY BOOK
- P.B.C.R. = PALM BEACH COUNTY RECORDS
- 0781F = POINT OF BEGINNING
- P.O.B. = POINT OF BEGINNING
- P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
- R/W = RIGHT-OF-WAY
- U/E = UTILITY EASEMENT
- TYP = TYPICAL
- W/P = WOOD POWER POLE

**SURVEYORS CERTIFICATION**

TO: FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE ACCOMPANYING SURVEY DATA WERE PREPARED IN ACCORDANCE WITH THE 2015 FLORIDA STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, AND INCLUDES ITEMS 7, 8, 9, 10, 11, 13, 14, 16, 17, 18 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 25, 2022

JEFF S. HODAPP, MAPPER  
FLORIDA LICENSE NO. 155111

**PERIMETER**  
SURVEYING & MAPPING  
Certificate of Authorization No. LB7264  
947 Clint Moore Road  
Boca Raton, FL 33487  
Tel: (561) 241-9988  
Fax: (561) 241-5182

**GULFSTREAM HOTEL**  
ALTA/NSPS  
LAND TITLE SURVEY

NO.	DATE	BY	CKD	REVISION
1	06/12/2015	JSH	JEK	ORIGINAL SURVEY
2	12/19/2019	AJR	JSH	UPDATE SURVEY
3	02/25/2022	AJR	JSH	UPDATE SURVEY

JEFF S. HODAPP signed by  
Hod  
Date: 2022.03.02  
1538.18  
app  
SCALE 1"=20'  
JOB NO. 15132  
DRAWN AIR  
CHECKED JSH  
SHEET 1 OF 1

**TREE LIST**

201	15'-ROYAL PALM	238	6'-QUEEN PALM
202	15'-ROYAL PALM	239	8'-ROYAL PALM
203	12'-ROYAL PALM	240	6'-QUEEN PALM
204	15'-ROYAL PALM	241	6'-QUEEN PALM
205	15'-ROYAL PALM	242	10'-QUEEN PALM
206	15'-ROYAL PALM	243	12'-CABBAGE PALM
207	15'-ROYAL PALM	244	8'-ROYAL PALM
208	15'-ROYAL PALM	245	24'-ROYAL PALM
209	18'-ROYAL PALM	246	(2)X'-PALMS
210	15'-ROYAL PALM	247	(2)X'-PALMS
211	15'-ROYAL PALM	248	(2)X'-PALMS
212	6'-OAK	249	(2)X'-PALMS
213	6'-OAK	250	8'-QUEEN PALM
214	6'-OAK	251	8'-QUEEN PALM
215	6'-OAK	252	12'-ROYAL PALM
216	8'-OAK	253	15'-ROYAL PALM
217	9'-OAK	254	15'-ROYAL PALM
218	15'-CABBAGE PALM	255	6'-CARROTTWOOD
219	84'-STRANGLER FIG	256	10'-CARROTTWOOD
220	60'-STRANGLER FIG	257	6'-GUMBOLIMBO
221	60'-STRANGLER FIG	258	6'-GUMBOLIMBO
222	8'-OAK	259	4'-GUMBOLIMBO
223	8'-OAK	260	8'-LIVE OAK
224	8'-OAK	261	18'-CABBAGE PALM
225	12'-CABBAGE PALM	262	20'-CABBAGE PALM
226	8'-OAK	263	8'-GUMBOLIMBO
227	18'-OAK	264	12'-LIVE OAK
228	24'-MANGO	265	12'-LIVE OAK
229	10'-QUEEN PALM	266	14'-CABBAGE PALM
230	10'-QUEEN PALM	267	24'-ARCA-CLIST
231	8'-QUEEN PALM	268	10'-LIVE OAK
232	10'-OAK	269	12'-LIVE OAK
233	20'-ROYAL PALM	270	12'-LIVE OAK
234	10'-QUEEN PALM	271	10'-LIVE OAK
235	10'-QUEEN PALM	272	10'-LIVE OAK
236	15'-OAK	273	18'-CABBAGE PALM
237	15'-OAK	274	8'-LIVE OAK

**TITLE INFORMATION**

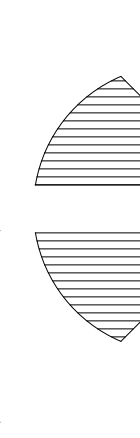
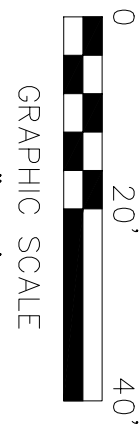
TITLE COMMITMENT #NCS-987112-S110  
FIRST AMERICAN TITLE INSURANCE COMPANY  
COMMITMENT DATE: OCTOBER 17, 2019 AT 8:00 AM

NO. BOOK/PAGE

10	ORR 16448/1246	CLERK CERTIFICATE	YES
10	ORR 17029/1721	CLERK CERTIFICATE	YES
10	ORR 21763/1601	CLERK CERTIFICATE	YES
10	ORR 22580/905	CLERK CERTIFICATE	YES
10	ORR 22941/349	CLERK CERTIFICATE	YES
10	ORR 23366/340	CLERK CERTIFICATE	YES
10	ORR 24113/1707	CLERK CERTIFICATE	YES
10	ORR 26059/851	CLERK CERTIFICATE	YES
10	ORR 26302/1202	CLERK CERTIFICATE	YES
10	ORR 26332/1202	CLERK CERTIFICATE	YES
10	ORR 26919/892	CLERK CERTIFICATE	YES
10	ORR 26976/252	CLERK CERTIFICATE	YES
10	ORR 28152/564	CLERK CERTIFICATE	YES
10	ORR 28152/564	CLERK CERTIFICATE	YES
10	ORR 28392/466	CLERK CERTIFICATE	YES
10	ORR 29672/1793	CLERK CERTIFICATE	YES
11	ORR 3010/178	CLERK CERTIFICATE	YES
12	ORR 5958/1067	CLERK CERTIFICATE	YES
12	ORR 5958/1068	CLERK CERTIFICATE	YES
14	ORR 5958/1075	CLERK CERTIFICATE	YES
15	ORR 6447/1583	COMCAST EASEMENT	YES
15	ORR 9715/786	POS. SITE AGREEMENT	YES
15	ORR 14623/352	RESOLUTION	YES
12	ORR 17475/491	RESOLUTION	YES
19	ORR 22266/416	UNIFY OF TITLE	YES

**LEGEND**

- WATER SERVICE
- ELECTRIC SERVICE
- TELEPHONE BOX
- CABLE TV BOX
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- SANITARY VALVE
- TREE
- SIGN
- FIRE HYDRANT
- FIRE CONNECTION
- CATCH BASIN
- LIGHT POLE
- GUY WIRE ANCHOR
- WOOD UTILITY POLE
- CONCRETE UTILITY POLE
- CLEAN OUT
- CENTRIFUGAL BACKFLOW PREVENTER
- OVERHEAD WIRES
- EXISTING ELEVATION
- FEENCE







GULFSTREAM HOTEL DEVELOPMENT LAKE WORTH, FL. 03/24/2022

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL. 334610


△ DATE REVISION

DWG. TITLE

COVER

SCALE

N.T.S.

PROJECT NO.

2020-01

DATE

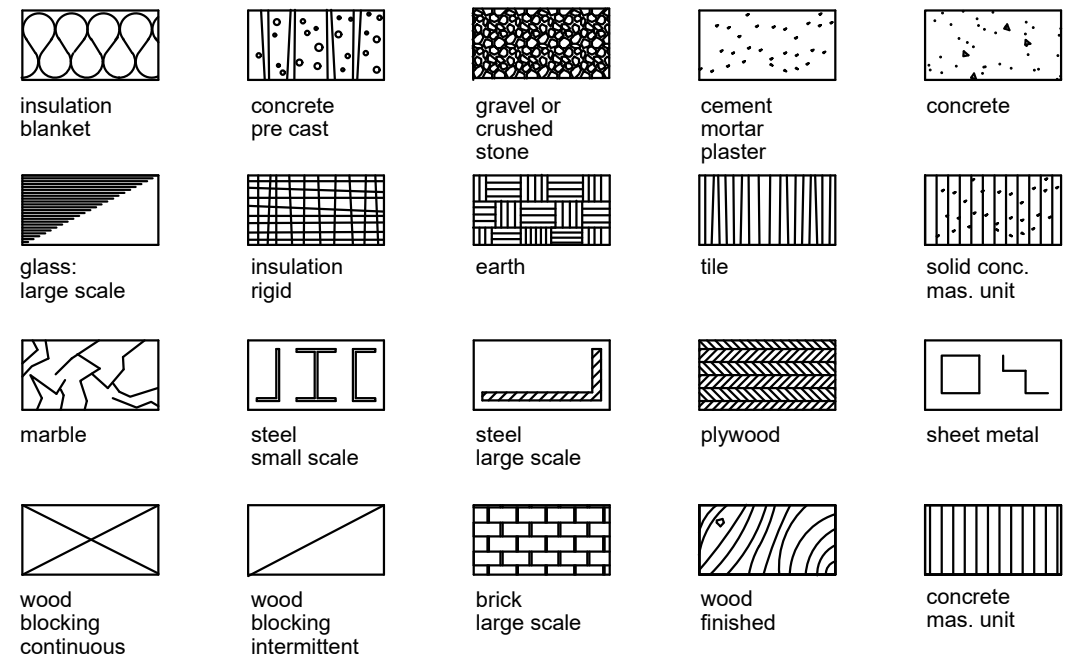
12-23-21

SHEET NUMBER

A-000

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MATERIAL LEGEND



PROJECT TEAM

**OWNER:** RESTORATION ST. LOUIS INC. 4240 MANCHESTER AVENUE ST. LOUIS, MO 63110 TEL. (314) 446-4534

**CIVIL ENGINEER:** GRAEF 8400 SOUTH DADELAND BOULEVARD MIAMI, FL 33156 TEL. (305) 378-5555

**DESIGN / PROJECT ARCHITECT:** BEILINSON GOMEZ ARCHITECTS P.A. JOSE L. GOMEZ AR 0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664 TEL. (305) 559-1250 FAX. (305) 551-1740

**LANDSCAPE ARCHITECT:** GARDNER + SEMLER LANDSCAPE ARCHITECTURE KEN GARDNER, ASLA, LEED AP 17670 NW 78TH AVE., SUITE 2014 Miami FL 33015 TEL. (305)-3921016

DRAWING INDEX

ARCHITECTURAL

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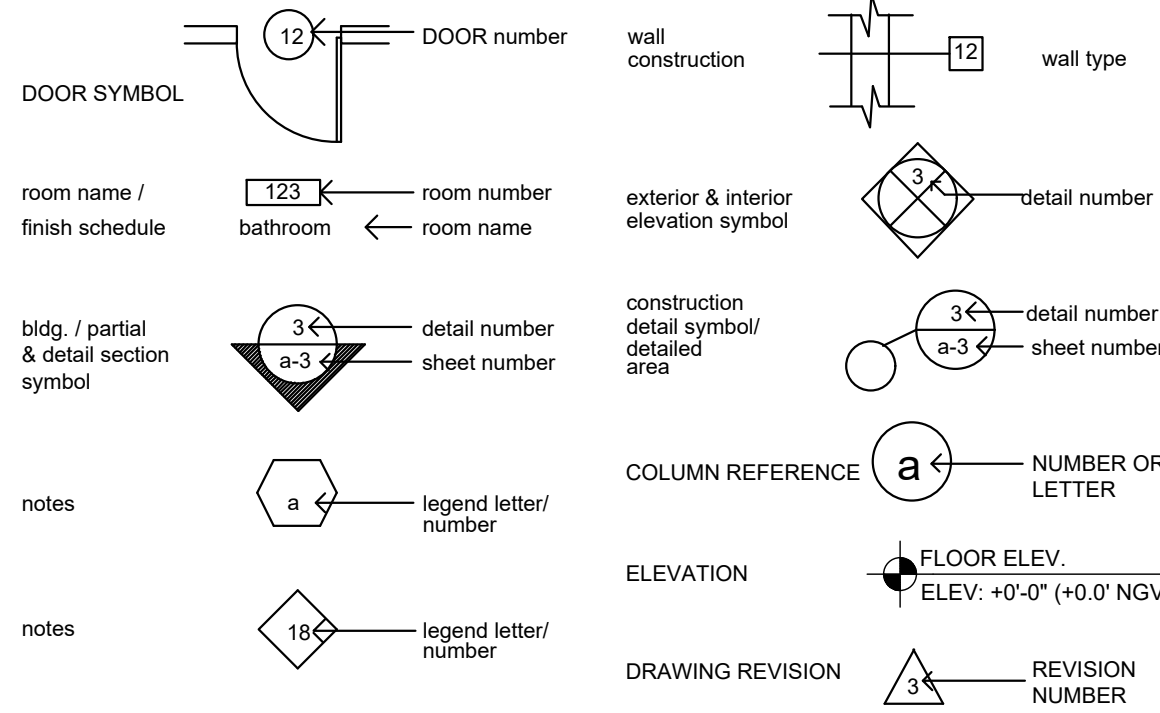
LANDSCAPE

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CIVIL

SYMBOL LEGEND



APPLICABLE CODES

**GOVERNING ZONING CODE:** CITY OF LAKE WORTH CODE OF ORDINANCES, CHAPTER 23  
**BUILDING CODE:** FLORIDA BUILDING CODE 2020  
**EXISTING BUILDING:** FLORIDA BUILDING CODE - EXISTING BUILDING CODE 2020  
**STRUCTURAL:** FLORIDA BUILDING CODE 2020  
**PLUMBING:** FLORIDA BUILDING CODE 2020 - PLUMBING  
**MECHANICAL:** FLORIDA BUILDING CODE 2020 - MECHANICAL  
**ELECTRICAL:** FLORIDA BUILDING CODE - 2020 EDITION  
**ACCESSIBILITY:** FLORIDA BUILDING CODE 2020 - ACCESSIBILITY  
**FIRE PROTECTION:** FLORIDA FIRE PREVENTION CODE - 2017 6TH EDITION  
**LANDSCAPE:** CITY OF LAKE WORTH CODE OF ORDINANCES, CHAPTER 23. 23.21.08

**SCOPE OF WORK:** NEW MIXED USE HOTEL / RESIDENTIAL THE DEVELOPMENT INCLUDES: RESTAURANTS, BAR, GYM, SALON, EVENT SPACES, PARKING GARAGE AND SUPPORT SPACES.

PROJECT INFORMATION

**PROJECT ADDRESS:** 1 LAKE AVENUE, LAKE WORTH, FL 33460  
 11 LAKE AVENUE, LAKE WORTH, FL 33460  
 12 S LAKESIDE DR, LAKE WORTH, FL 33460  
 14 S LAKESIDE DR A, LAKE WORTH, FL 33460  
 20 S LAKESIDE DR, LAKE WORTH, FL 33460  
 22 S LAKESIDE DR, LAKE WORTH, FL 33460  
 24 S LAKESIDE DR, LAKE WORTH, FL 33460

**LEGAL DESCRIPTION:** PARCEL 1 LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

LOTS 7 AND 8, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

LOTS 1 THROUGH 6, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

PARCEL 2 THAT CERTAIN 10 FOOT WIDE STRIP OF LAND LYING WEST OF AND ADJACENT TO THE FOLLOWING DESCRIBED PARCEL:

LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO. 2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

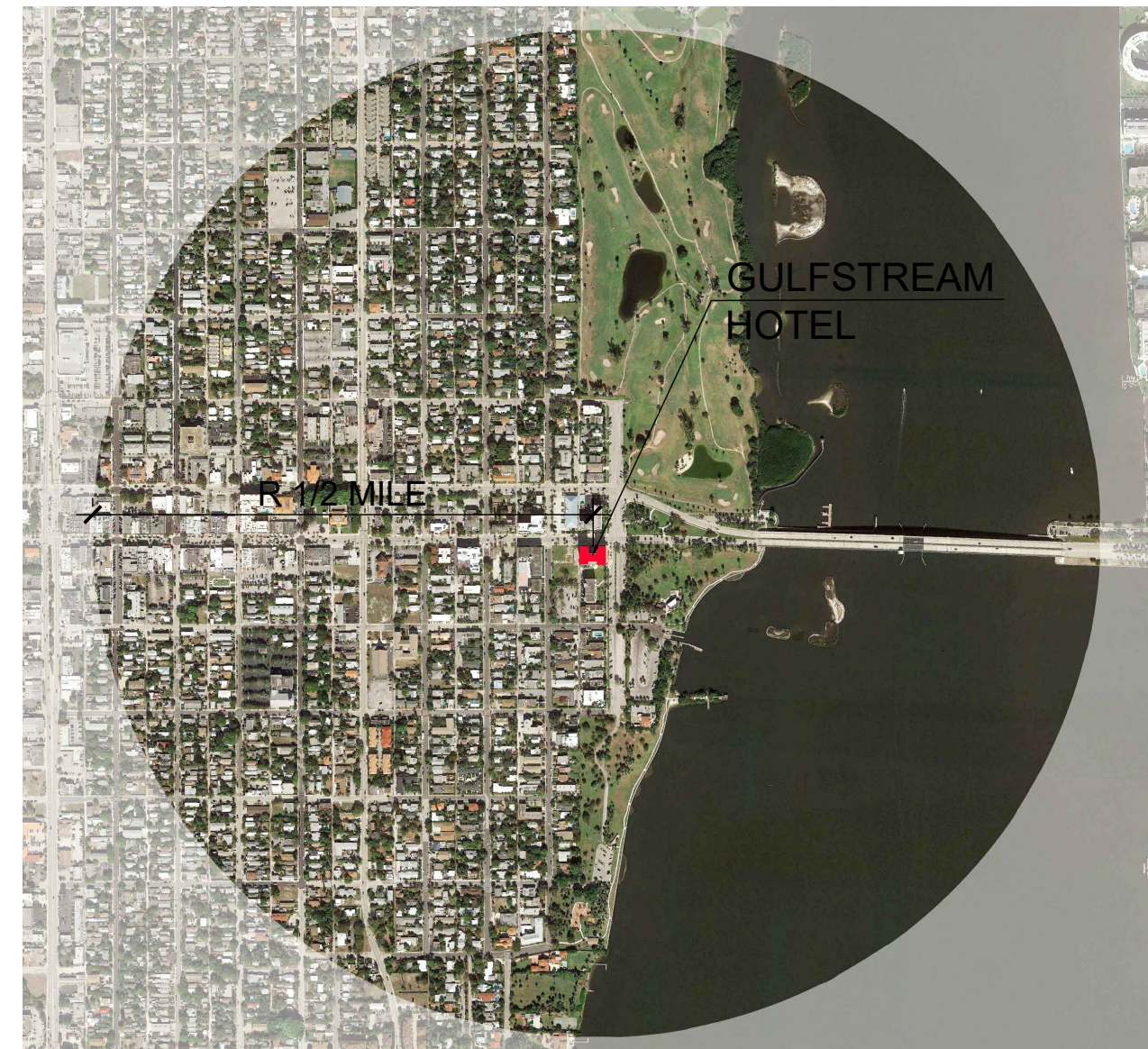
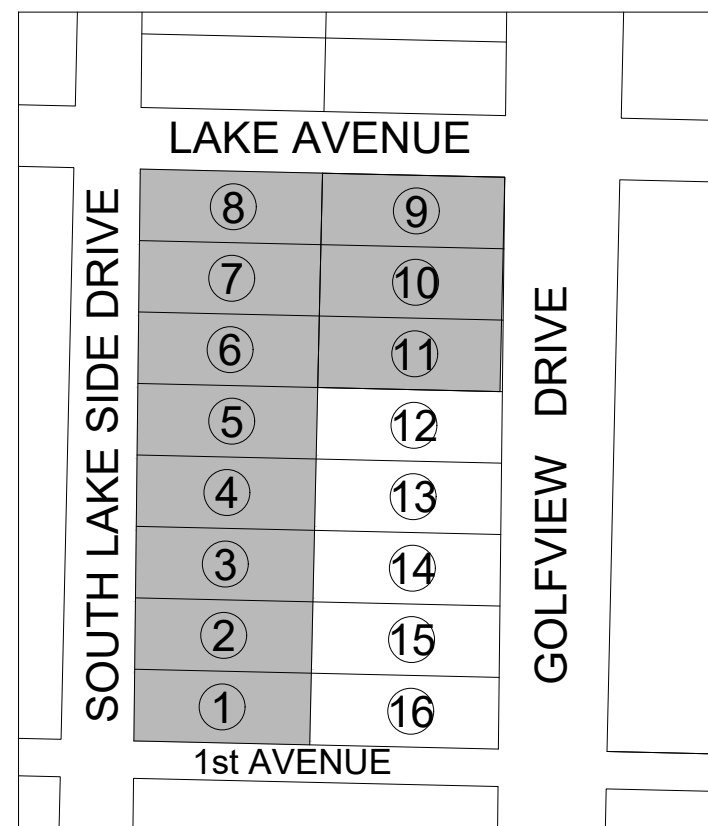
**ZONING DISTRICT:** DT - DOWNTOWN  
**FUTURE LAND USE:** DMU  
**PRESENT OCCUPANCY:** N/A  
**PROPOSED OCCUPANCY:** MIXED USE (HOTEL / RESIDENTIAL)  
**GROSS AREA OF SITE:** 79,375 S.F.

**EXISTING BLDG. AREA:** 59,100 S.F.  
**AREA OF ADDITION TO EXISTING HOTEL:** 4,700 S.F.  
**PROPOSED BUILDING:** 165,520 S.F.  
**TOTAL FLOOR AREA (EXISTING & PROPOSED):** 229,320 S.F.

**OCCUPANCY CLASSIFICATION:** R-1 HOTEL (TRANSIENT)  
**OCCUPANCY CLASSIFICATION:** R-2 RESIDENTIAL  
**BUILDING HEIGHT:** 87'-0"

**PROPOSED BUILDING**

- NEW HOTEL ROOMS PROVIDED: 50 UNITS (AVERAGE 580 SF)
- NEW APARTMENTS PROVIDED: 83 UNITS
  - 1 BEDROOM UNITS: 34 (AVERAGE 730 SF)
  - 2 BEDROOM UNITS: 30 (AVERAGE 1,070 SF)
  - 3 BEDROOM UNITS: 9 (AVERAGE 1,495 SF)
  - STUDIO UNITS: 10 (AVERAGE 499 SF)
- TOTAL PARKING PROVIDED: 283 PARKING SPACES



LOCATION MAP

Gulfstream and Lakeside Urban Development

ITEM #	Zoning Information	Address:	1 Lake Avenue / 11 Lake Avenue / 12, 14, 20, 22 and 24 S Lakeside Dr., Lake Worth, FL 33460		
1	Address:	1 Lake Avenue / 11 Lake Avenue / 12, 14, 20, 22 and 24 S Lakeside Dr., Lake Worth, FL 33460			
2	Board and file numbers:	38-43-44-21-15-033-0090 / 38-43-44-21-15-033-0070 / 38-43-44-21-15-033-0060 / 38-43-44-21-15-033-0050 / 38-43-44-21-15-033-0040 / 38-43-44-21-15-033-0030 / 38-43-44-21-15-033-0010			
3	Parcel Control Number(s):	1921 Existing Bldg.	Zoning District: DT-Downtown		
4	Year constructed:	6.0'+1=7.0'	Grade value in NAVD: 4.5		
5	Base Flood Elevation:	Adjusted grade (Flood+Grade/2):	Lot Area (SF): 79,375.00		
6	Adjusted grade (Flood+Grade/2):	Lot width (FT): 280'	Lot Depth (FT): 400' / 174' (existing building)		
7	Lot width (FT):	Max. Lot Coverage: 55,562 SF (70%)	Lot Coverage provided: 54,750 SF (68.9%) See A-005		
8	Max. Lot Coverage:	Max. Impermeable Surface: 71,437 SF (90%)	Impermeable Surface provided: 70,715 SF (89.1%) See A-004		
9	Max. Impermeable Surface:	Minimum Unit Size Required(SF): 250 SF	Min. Unit Size Provided: 496 SF		
10	Minimum Unit Size Required(SF):	Existing use:	Proposed use: Hotel / Residential		
11	Existing use:				
		Maximum	Existing	Proposed	Exception Requested
12	Height:	87'-0"	87'-0"	87'-0"	0
13	Number of Stories:		7	7 (+ 1 lower parking level)	0
14	FAR:	3.0625	0.74	2.89	
15	Gross square footage:	243,085.94	59,100 S.F. EXIST. 4,700 S.F. ADDITION TOTAL 63,800 S.F.	(165,520 SF new building + 63,800 SF) TOTAL 229,320 S.F. See A-006	0
16	Square Footage by use:	N/A			0
17	Number of units Residential:	60 x AC = 109 UNITS	N/A	83	0
18	Number of units Hotel:	N/A	90.00	50	0
		Required	Existing	Proposed	Exception Requested
19	Front Setback:	5'-0"	0	0	N/A
20	Side Setback:	0	0	0	N/A
21	Side Setback:	0	0	0	N/A
22	Side Setback facing street:	10'-0"	0	0	N/A
23	Rear Setback:	10'-0"	73'-0"	38'-0"	0
		Required	Existing	Proposed	Exception Requested
24	Front Setback:	5'-0"	0	5'-0"	0
24.1	Additional height and stories setback (Lake Ave. above 30 feet)	5'+ 8" = 13'-0" Min.	0	19'-6"	0
25	West Side Setback:	10'-0"	0	10'-0" to Façade 0'-0" to Arcade	0'-0" to Arcade and to accommodate an ADA ramp
26	East Side Setback:	10'-0"	0	10'-0"	0
27	South Setback facing street:	10'-0"	0	10'-0"	0
27.1	Additional height and stories setback (1st Ave. above 30 feet)	10'+ 8" = 18'-0" Min.	0	34'-4"	0
28	Rear Setback:	N/A	0	N/A	0
		Required	Existing	Proposed	Exception Requested
29	Parking District: Core Parking Area				
30	Total # of parking spaces:	279	0	283	0
	# of parking residential	1.75 spaces per unit (2 br) 2 spaces per unit (3br) no additional guest spaces required for 2br units or more	0	135	0
31	# of parking hotel rooms (new building)	0.75 spaces per unit		38	0
	# of parking accessory uses (new building)	106		110	0
	# of parking hotel rooms (existing building)	0		0	0
	Available parking			0	0
32	# of parking spaces per level			First Level: 93 spaces / Second Level: 89 spaces / Third Level: 88 spaces	0
33	Parking Space Dimensions:			9'-0" x 18'-0"	0
34	Parking Space configuration (450, 600, 900, Parallel)			90	0
35	ADA Spaces			7	0
36	Tandem Spaces				
37	Drive aisle width			20'	0
38	Valet drop off and pick up			Y	0
39	Loading zones and Trash collection areas			Y	0
40	Racks				

\*TOTAL HEIGHT OF THE BUILDING AND ANY ROOF TOP EQUIPMENT SHALL NOT EXCEED 87'-0"

LAKE WORTH BEACH, FL CODE OF ORDINANCES SEC. 23.4-10 OFF-STREET PARKING					
UNIT	TYP. LEVEL	TOWER	RATIO	REQUIRED PARKING	ROUND UP
STUDIO	2	10	1.25	12.5	13
1BR	7	34	1.5	51	51
2BR	6	30	1.75	52.5	53
3BR / PH	2	9	2	18	18
HOTEL UNIT	10	50	0.75	37.5	38
<b>TOTAL</b>				<b>83</b>	<b>173</b>

ROOMS	AREA S.F.	REQUIRED PARKING	ROUND UP
BALLROOM	4,300	1 SPACE PER 75 S.F.	57.33
SPA MASSAGE	1,000	1 SPACE PER 250 S.F.	4.00
SPA SALON	3,845	1 SPACE PER 250 S.F.	15.38
MEETING ROOM	1,155	1 SPACE PER 400 S.F.	2.89
BUSINESS CENTER	268	1 SPACE PER 400 S.F.	0.67
RESTAURANT-KITCHEN	3,230	1 SPACE PER 150 S.F.	21.53
CLUB ROOM	610	1 SPACE PER 400 S.F.	1.53
<b>TOTAL</b>			<b>106</b>

HISTORIC BLDG	REQUIRES	0
<b>TOTAL REQUIRED PARKING</b>		<b>279</b>

PARKING PROVIDED	
LOWER LEVEL	93
2ND LEVEL	89
3RD LEVEL	88
ON STREET	13
<b>TOTAL PROVIDED</b>	<b>283</b>

HEIGHT	LEVELS			FLOOR AREA	
	BY CODE	PARKING			
ADDITIONAL	RES / HOTEL	P1	BELOW GRADE PARKING	2,210	14,840
		P2	1ST GROUND LEVEL	12,630	
		P3	2ND LEVEL	11,295	
			3RD LEVEL	26,560	
			4TH LEVEL	26,570	
ADDITIONAL	RES / HOTEL	ROOF GARDEN	5TH LEVEL	26,570	117,565
		TYP	6TH LEVEL	26,570	
		TYP	7TH LEVEL	25,400	
		PENTHOUSE	8TH LEVEL	7,715	
		AMENITY LEVEL	TOTAL	165,520	

FLOOR AREA IS MEASURED TO EXTERIOR FACE OF EXTERIOR WALLS			
NEW BUILDING	165,520	S.F.	
HISTORIC BLDG	59,100		63,800
HISTORIC BLDG ADDITION	4,700		
<b>TOTAL FLOOR AREA</b>	<b>229,320</b>	FAR	<b>2.89</b>

REFER TO A-006 FOR FLOOR AREAS DIAGRAM

BEILINSON GOMEZ ARCHITECTS P.A.  
 ARCHITECTURE AAC001852  
 JOSE L. GOMEZ AR0015416  
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 MIAMI, FL 33138-4664  
 TEL. (305) 559-1250  
 FAX. (305) 551-1740  
 beilinsonarchitectspa.com

GULFSTREAM HOTEL  
 11 LAKE AVENUE  
 LAKE WORTH, FL 334610

DATE REVISION

DWG. TITLE GENERAL NOTES INDEX AND ZONING INFORMATION

SCALE N.T.S.

PROJECT NO. 2020-01

DATE 12-23-21

SHEET NUMBER A-001





EXISTING BUILDING LOOKING SOUTHWEST

①



EXISTING BUILDING LOOKING EAST

②



EXISTING BUILDING LOOKING NORTH

③

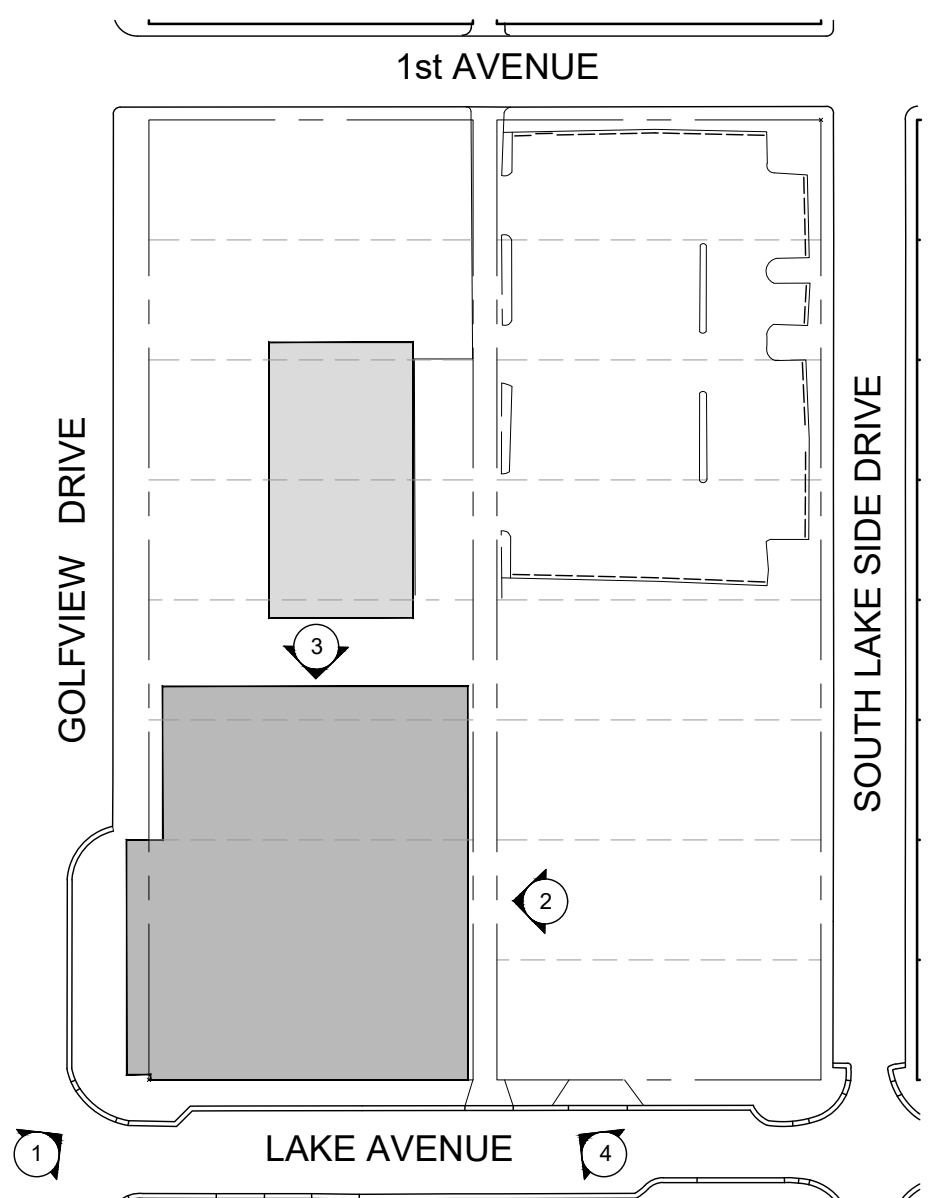


EXISTING BUILDING LOOKING SOUTHEAST

④

- GULFSTREAM HOTEL**  
DEFINING CHARACTERISTICS:
- SIX STORIES -100 FEET IN HEIGHT TO THE TOP OF STRUCTURE  
87 FEET IN HEIGHT TO THE TOP OF PARAPET
  - MASONRY CONSTRUCTION
  - PRINCIPAL ARTICULATED ELEVATIONS ON THE NORTH (LAKE AVENUE) & EAST (GOLF VIEW DRIVE)
  - OVERALL PLAN SHAPE: RECTANGULAR; "H" PLAN SHAPE ON THE NORTH ELEVATION
  - ARCADES:  
ONE STORY ON THE NORTH AND EAST ELEVATIONS, EXTENDING OUT TO THE SIDEWALK  
DESIGN: A SERIES OF ROUND ARCHES WITH DECORATIVE KNEE WALL, ORNAMENTED WITH CONCRETE BALUSTERS AND RAILINGS
  - BAYS SYMMETRICAL ARRANGEMENT, PIERCED BY SIX-OVER-ONE WINDOWS THAT ARE PAIRED ON THE EAST ELEVATION AND ON THE INTERIOR WALLS OVERLOOKING THE MEZZANINE TERRACE ON THE NORTH ELEVATION; END BAYS FEATURE A SHAPED PARAPET THAT EXTENDS ABOVE THE MAIN PARAPET (ALL ELEVATIONS)
  - WINDOWS: TRIPLE WINDOW ARRANGEMENT (CENTER BAY RECTANGULAR WINDOW & FLANKED ON EITHER SIDE BY A MORE NARROW WINDOW & CREATING A TRIPARTITE ARRANGEMENT. IN THE CENTER BAY OF THE MEZZANINE FLOOR, NORTH ELEVATION, EAST END, NORTH ELEVATION FENESTRATED WITH DIVIDED SQUARE WINDOW SURMOUNTED BY A SEMI-CIRCULAR DIVIDED TRANSOM
  - DECORATION: TILE COPING AT THE TERMINATION OF THE PARAPET WALL, ROOF NORTH, EAST AND WEST ELEVATION
  - MEZZANINE TERRACE ON NORTH ELEVATION BETWEEN THE BAYS OF WINGS
  - MAIN ENTRANCE: NORTH PORCH FOCUSED BY THREE MATCHING SETS OF FRENCH DOORS WITH DIVIDED SIDELIGHTS AND TRANSOMS.
  - ELEVATOR TOWER TERMINATING IN A TILED HIP ROOF
  - SOUTH (REAR) ELEVATION: PROJECTING WINGS ON THE EAST AND WEST END WITH CONCRETE TIE BEAMS BETWEEN THE BAYS

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KEY PLAN  
SCALE: N.T.S.

DATE	REVISION

DWG. TITLE	EXTERIOR PICTURES AND PRESERVATION DETAILS- HISTORICAL BUILDING
SCALE	N.T.S.
PROJECT NO.	2020-01
DATE	12-23-21
SHEET NUMBER	A-002



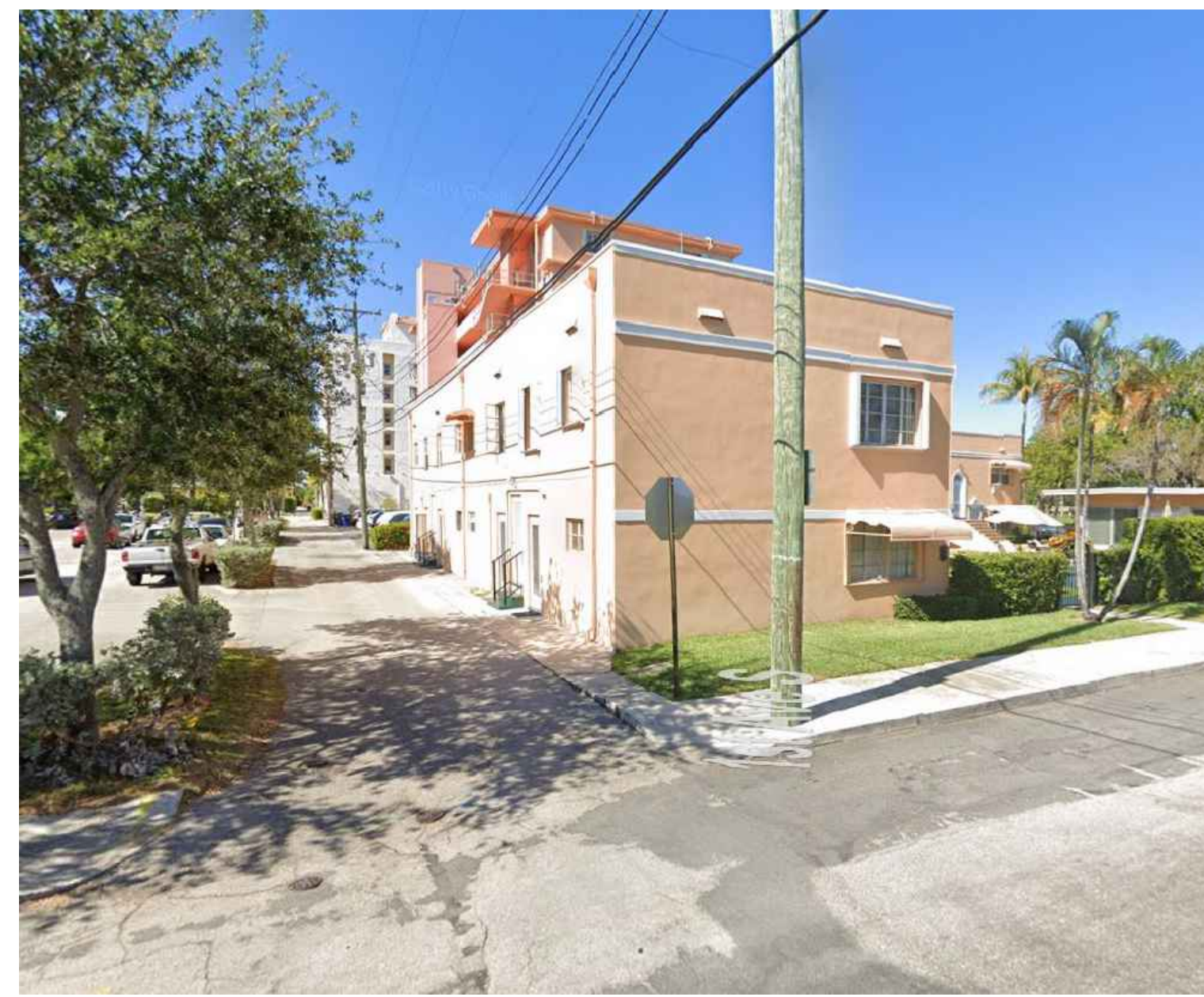
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2



3



4



5



6



7



8



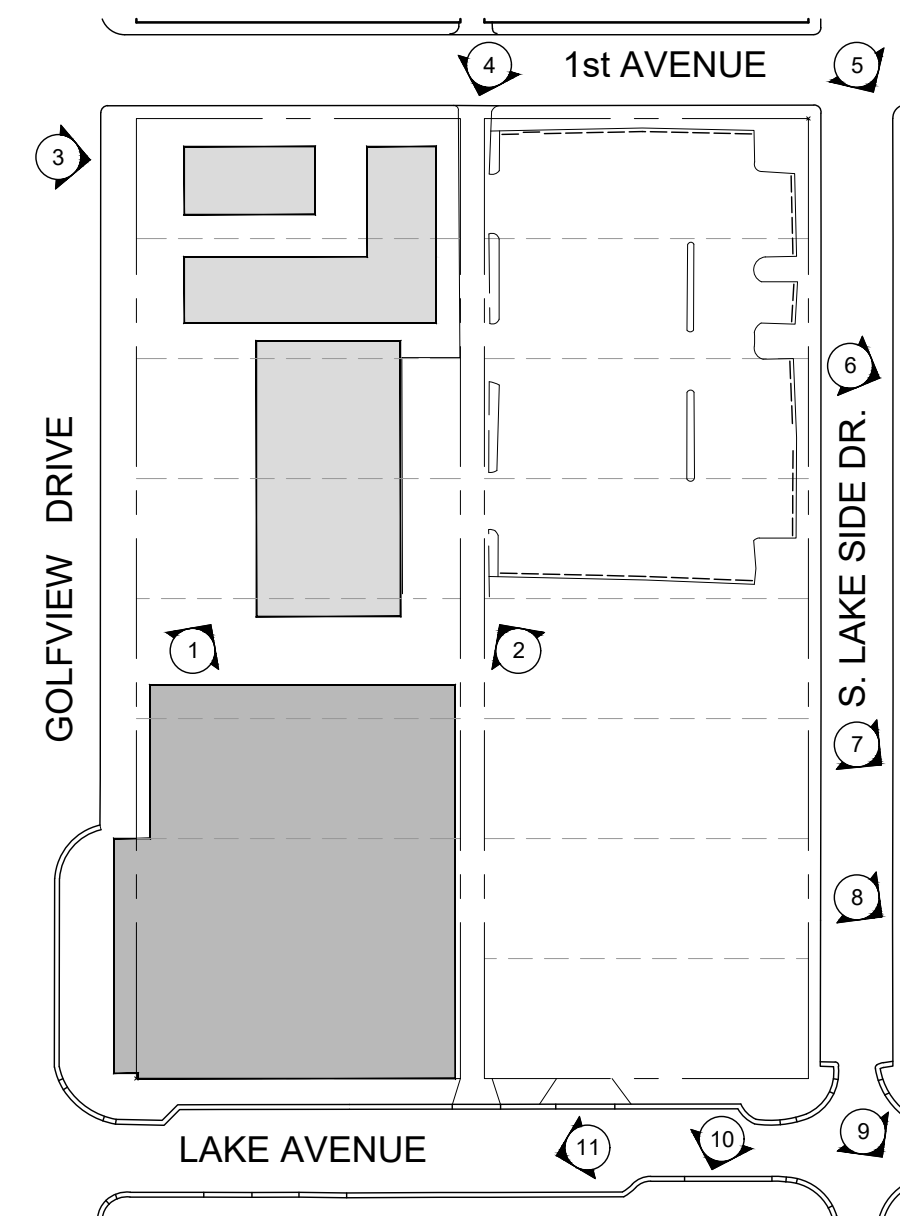
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10



11



KEY PLAN  
SCALE: N.T.S.

DATE	REVISION

DWG. TITLE

CONTEXT PICTURES

SCALE

N.T.S.

PROJECT NO.

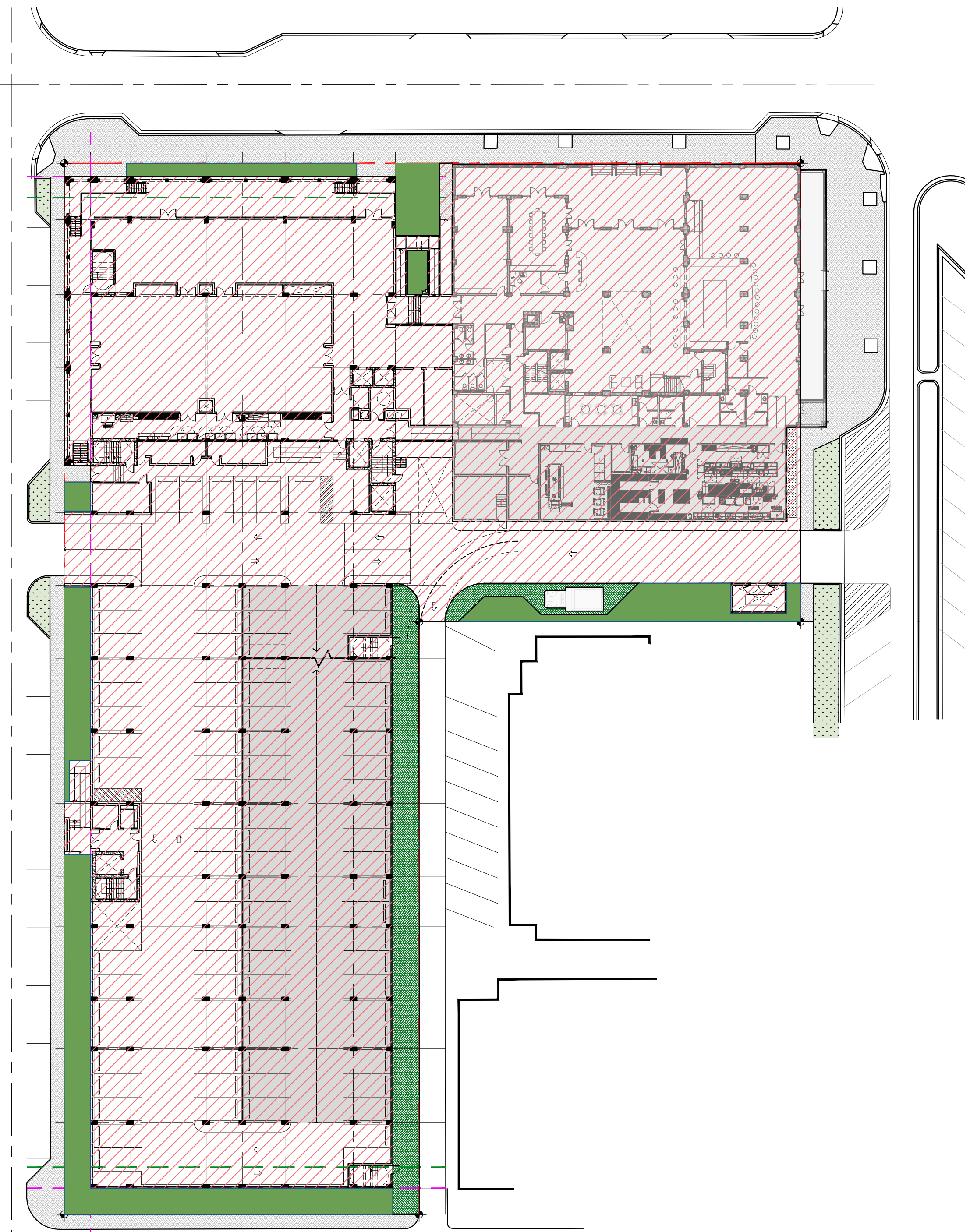
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DATE

12-23-21

SHEET NUMBER

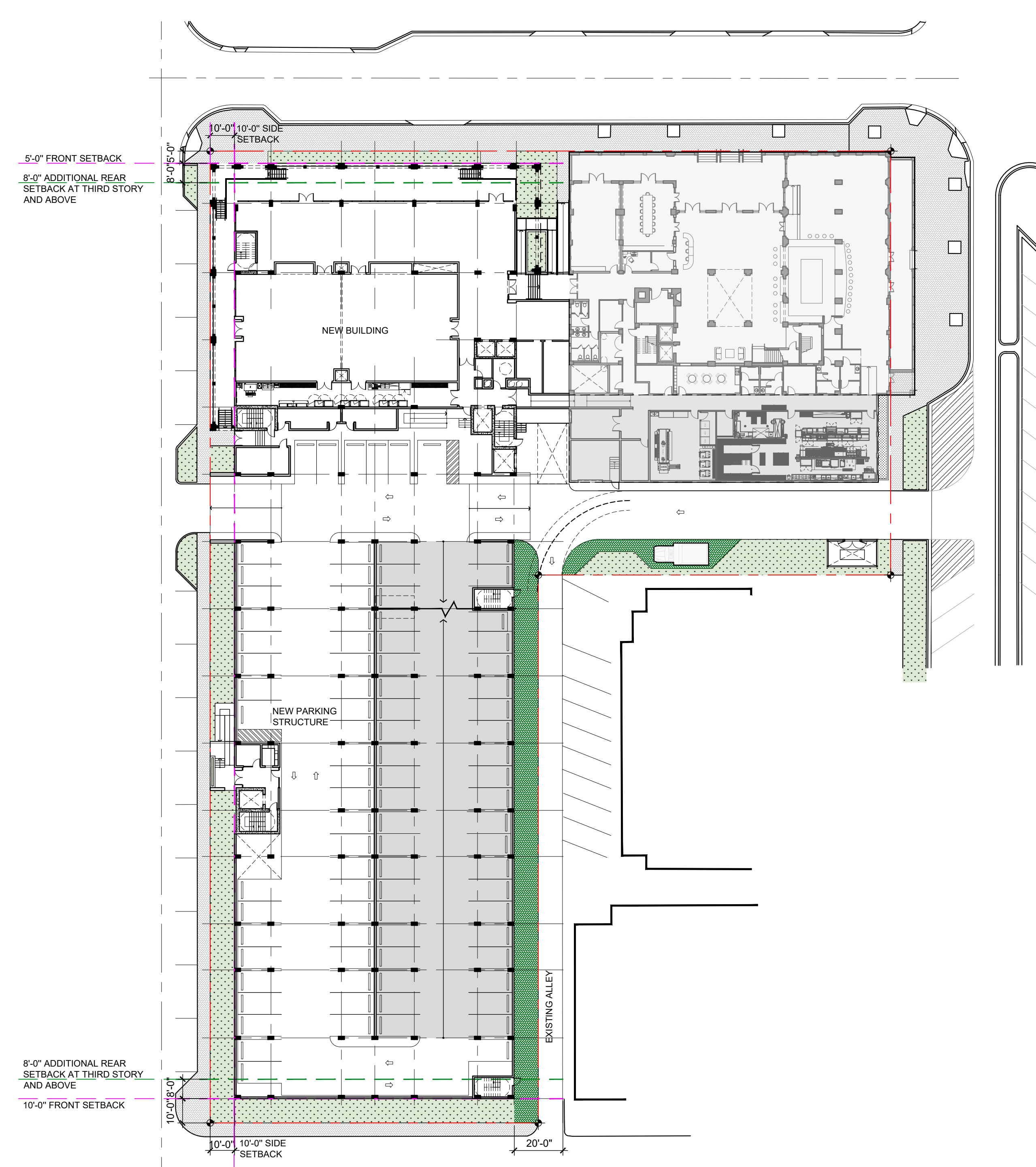
A-003



GROUND LEVEL  
LEGEND

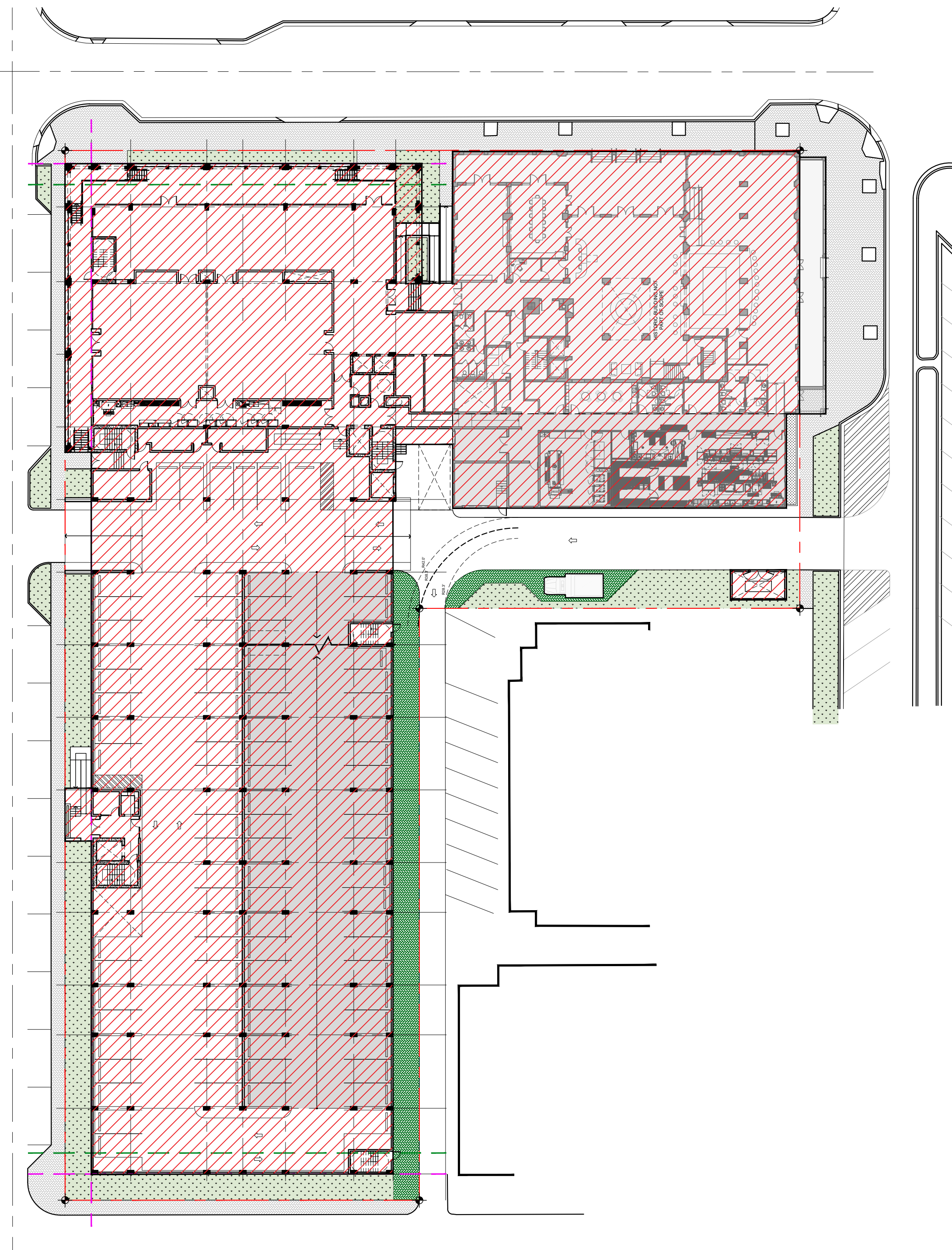
- IMPERMEABLE SURFACE
- PERVIOUS / PERMEABLE SURFACE 5,400 SF
- PERMEABLE PAVERS 3,000 SF x 50% = 1,500 S.F. — TOTAL 9,340 S.F. 11.8%
- 2,440 S.F. POOL WATER SURFACE (ROOF LEVEL)

LOT SIZE: 79,375 SF  
MAX. IMPERMEABLE SURFACE: 90% LOT SIZE = 71,437 SF  
IMPERMEABLE SURFACE PROVIDED: 70,715 SF (89.1%)

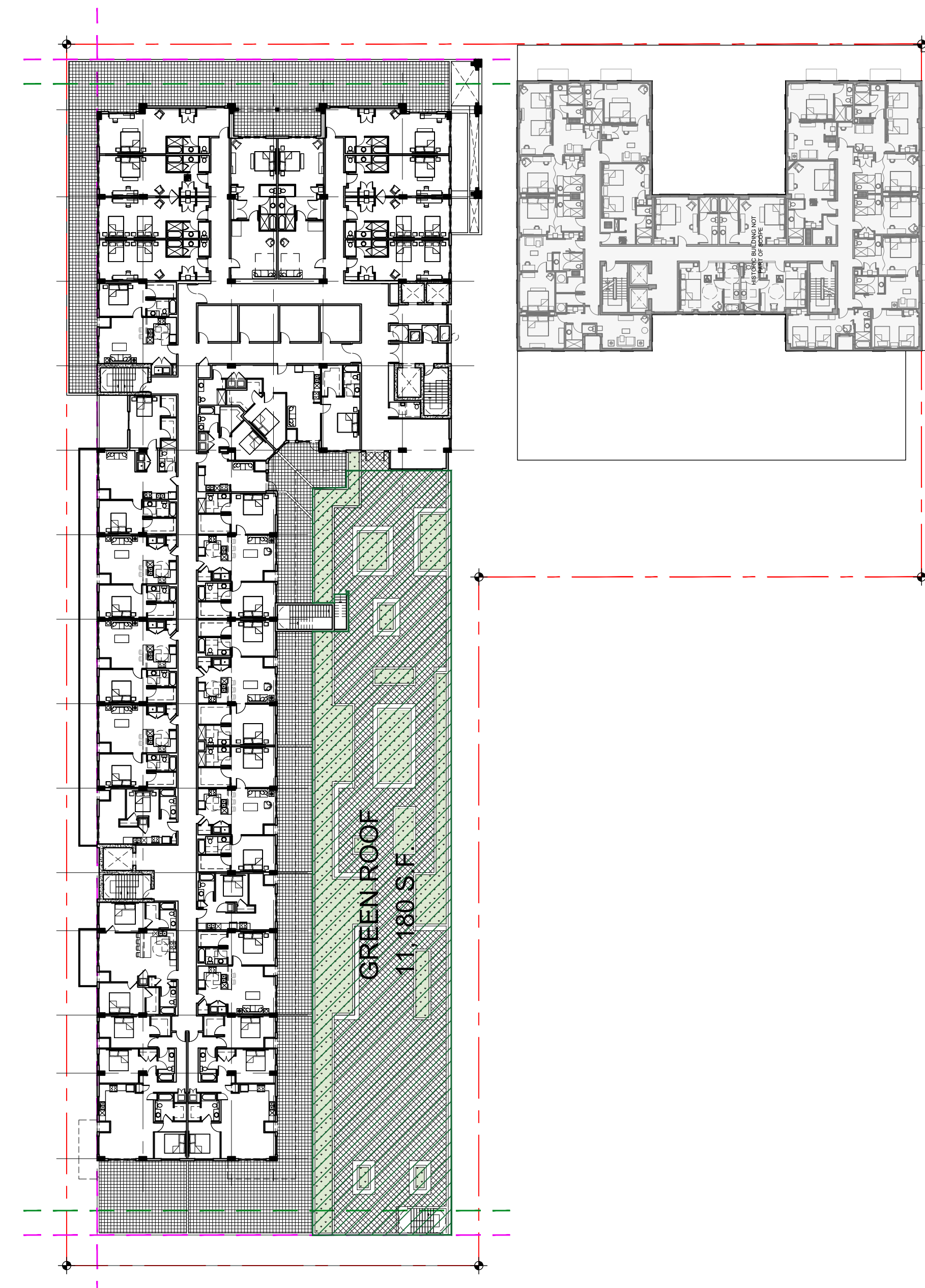


THIRD LEVEL

- LEGEND
- PROPERTY LINE
  - SETBACK LINE
  - SETBACK LINE FOR THIRD STORY AND ABOVE



GROUND LEVEL



THIRD LEVEL- (GREEN ROOF)

LEGEND

-  LOT COVERAGE
-  GREEN ROOF ABOVE PARKING (NOT COUNTED INTO LOT COVERAGE AREA)

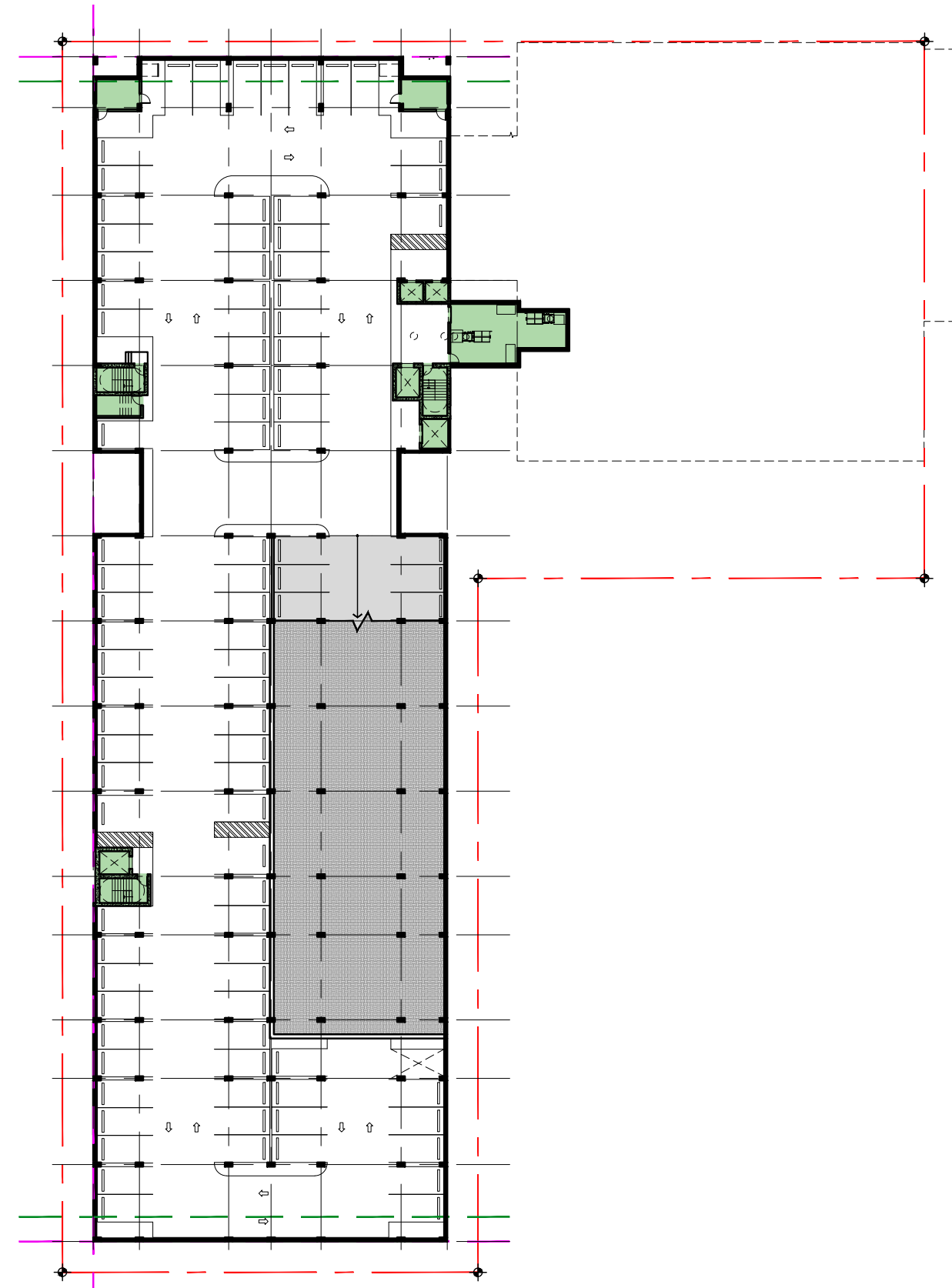
LOT SIZE: 79,375 SF  
 MAX. LOT COVERAGE: 70% LOT SIZE = 55,562 SF  
 LOT COVERAGE PROVIDED: 65,930 SF  
 GREEN ROOF: 11,180 SF  
 TOTAL LOT COVERAGE PROVIDED: 65,930 SF - 11,180 SF = 54,750 SF (68.9%)

GULFSTREAM HOTEL  
 11 LAKE AVENUE  
 LAKE WORTH, FL 334610

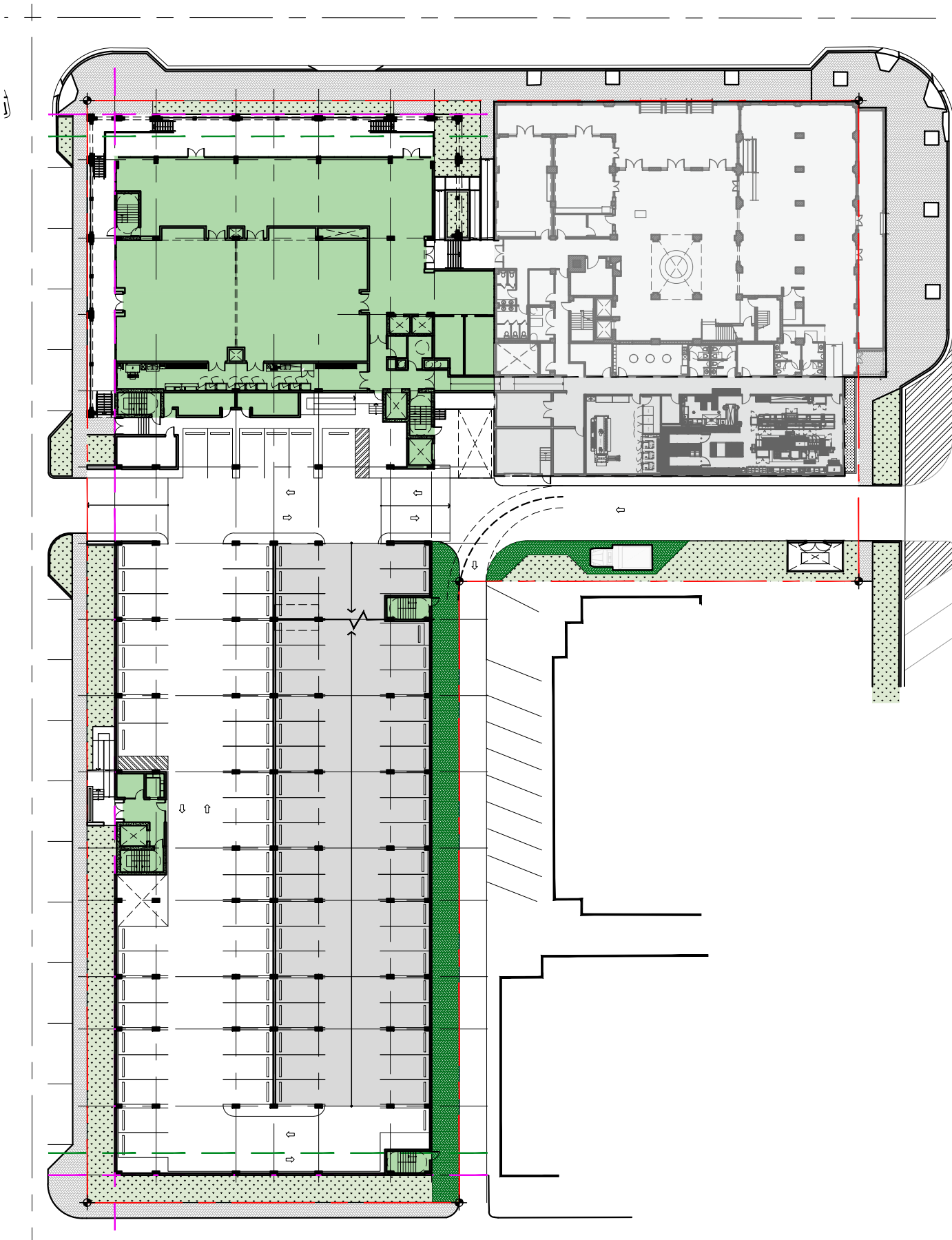
DATE	REVISION

DWG. TITLE	BUILDING LOT COVERAGE
SCALE	1/32"=1'-0"
PROJECT NO.	2020-01
DATE	12-23-21
SHEET NUMBER	A-005

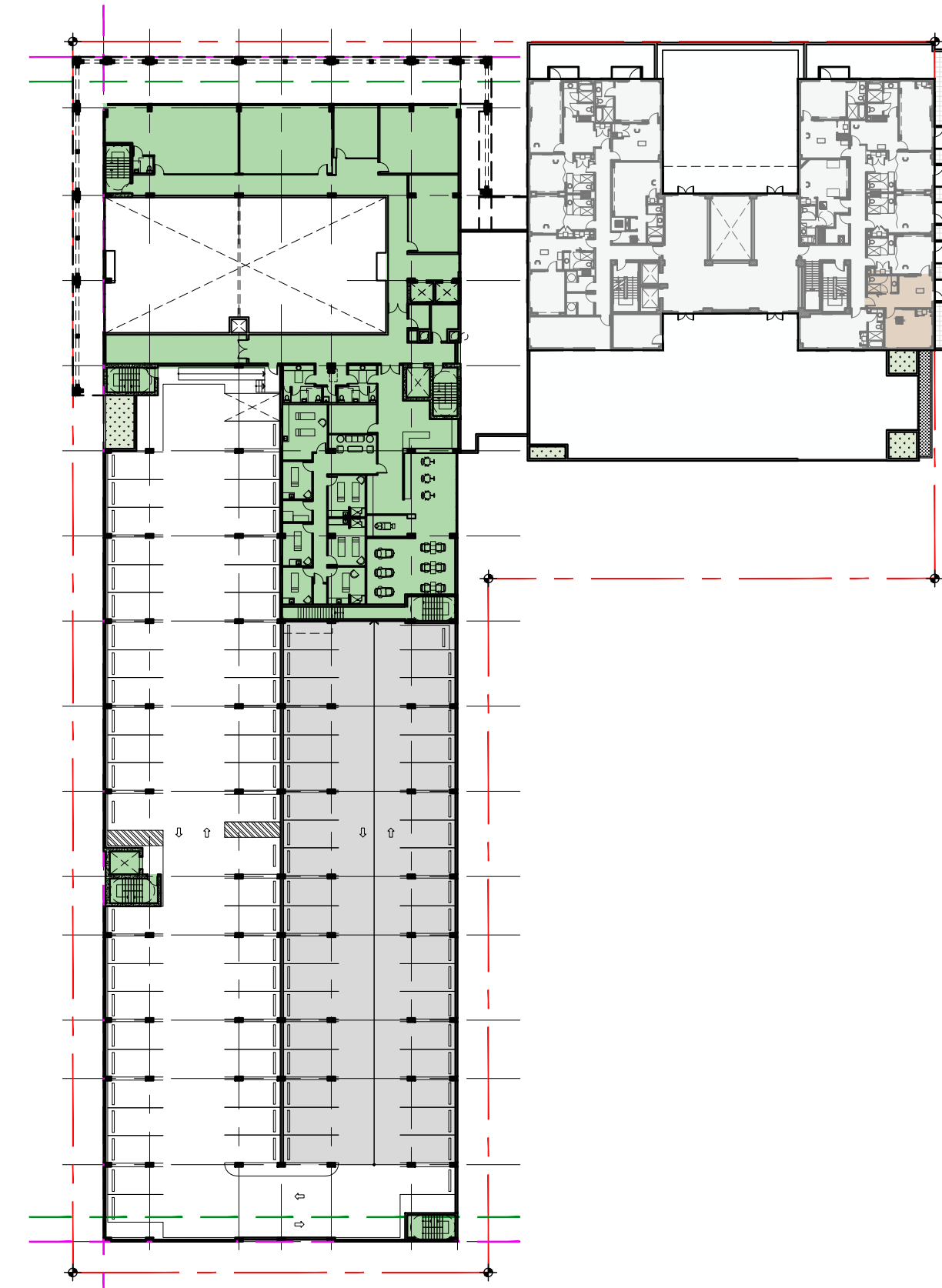
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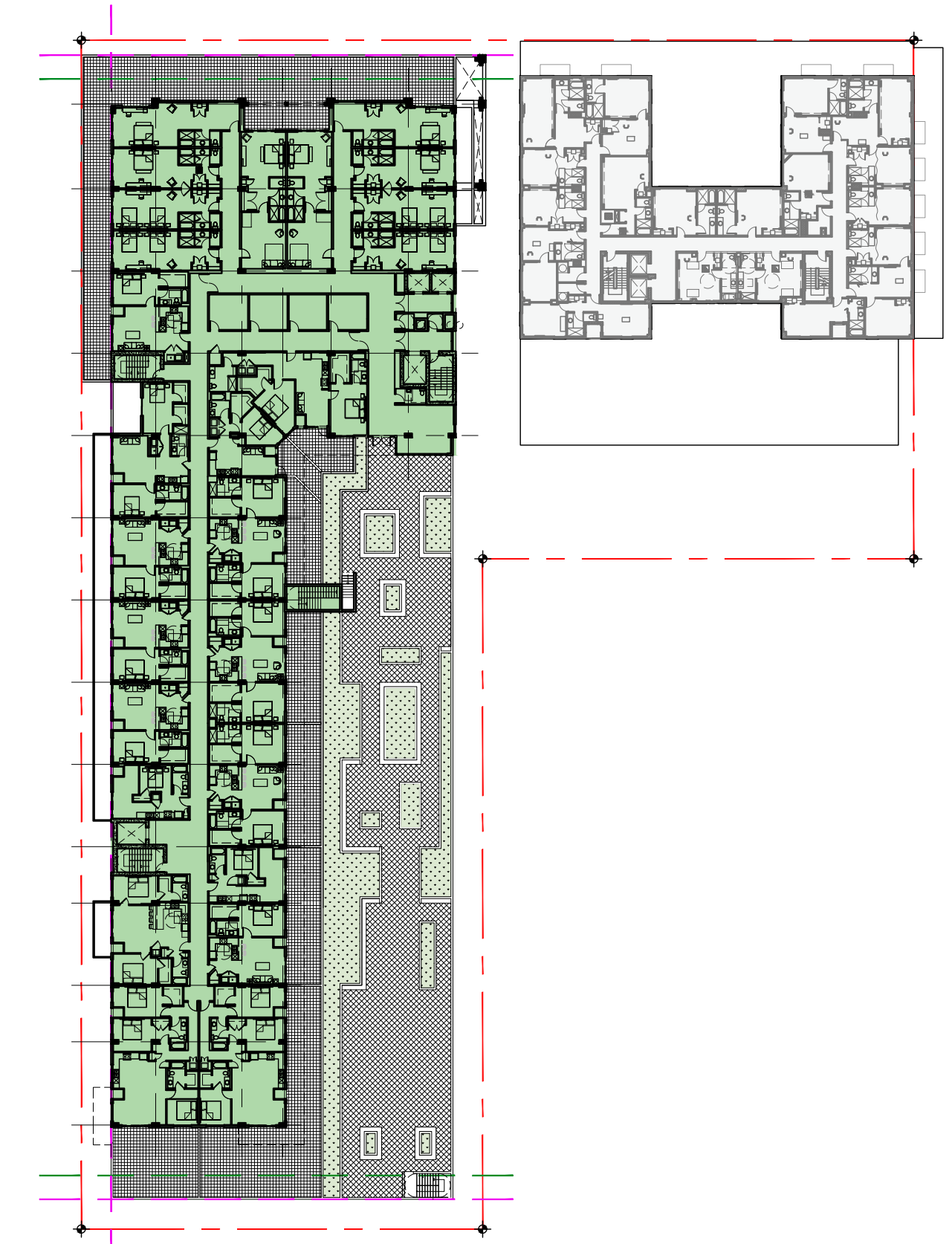
LOWER LEVEL PARKING AREA: 2,210 SF



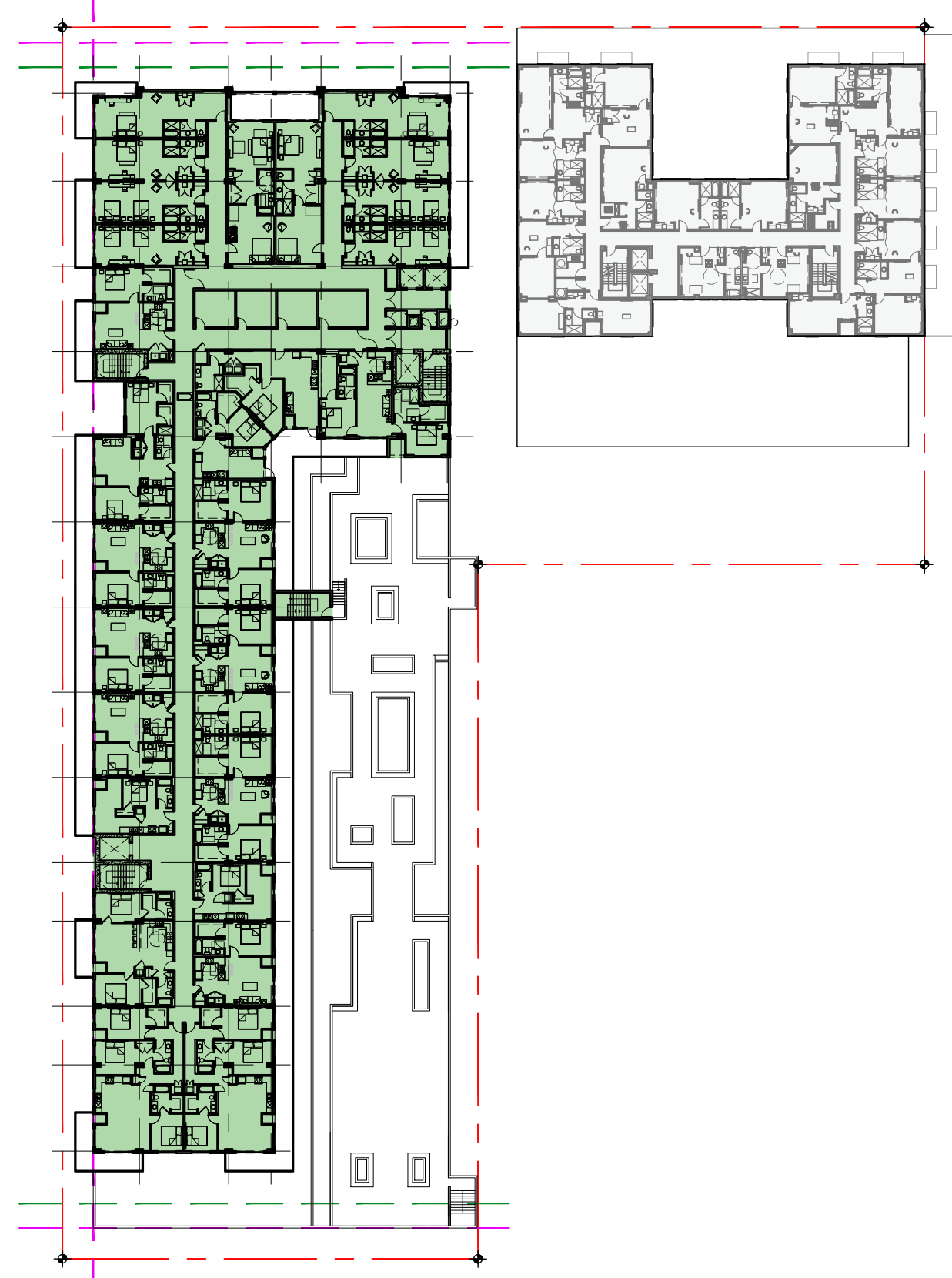
GROUND FLOOR AREA: 12,630 SF



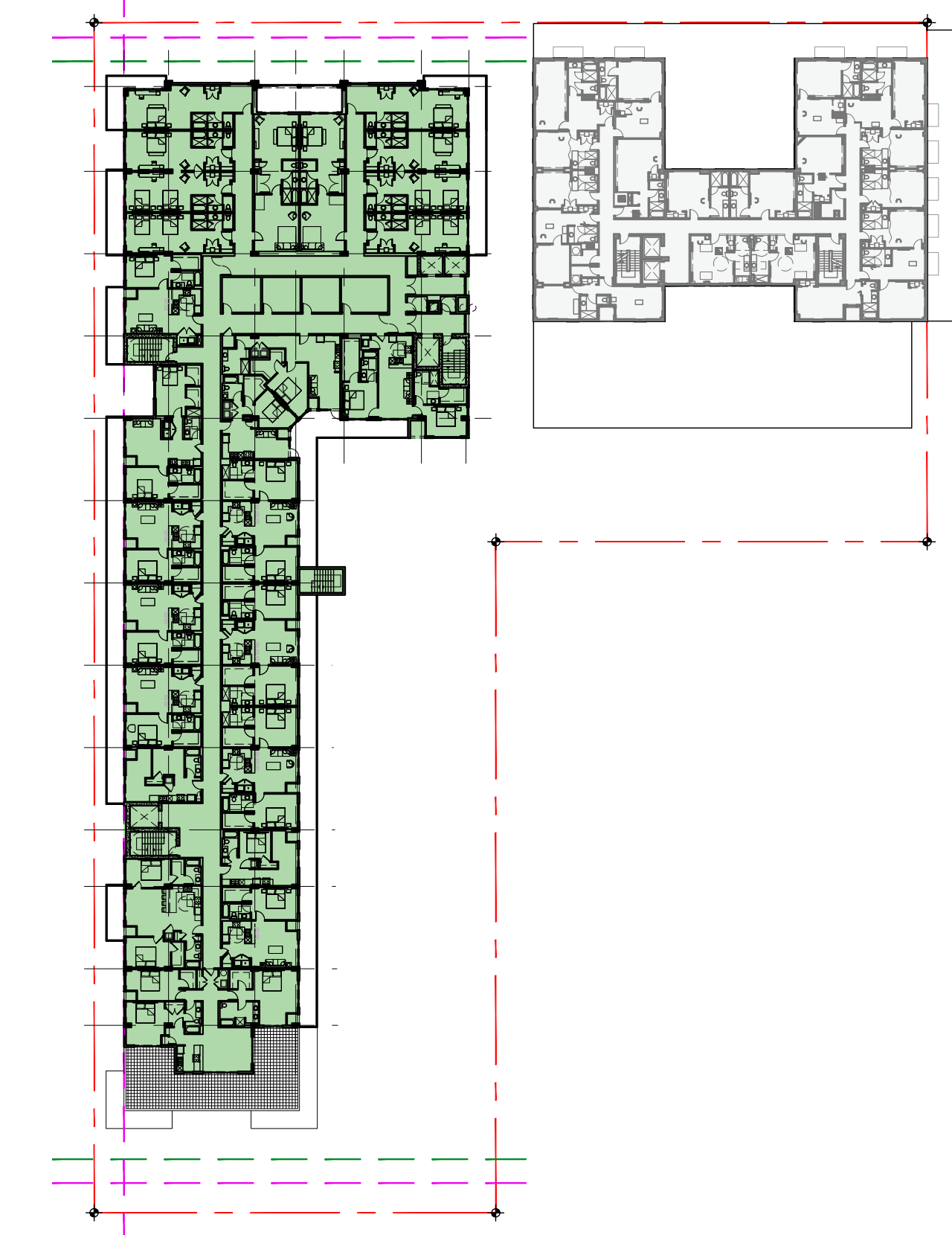
2ND LEVEL AREA: 11,295 SF



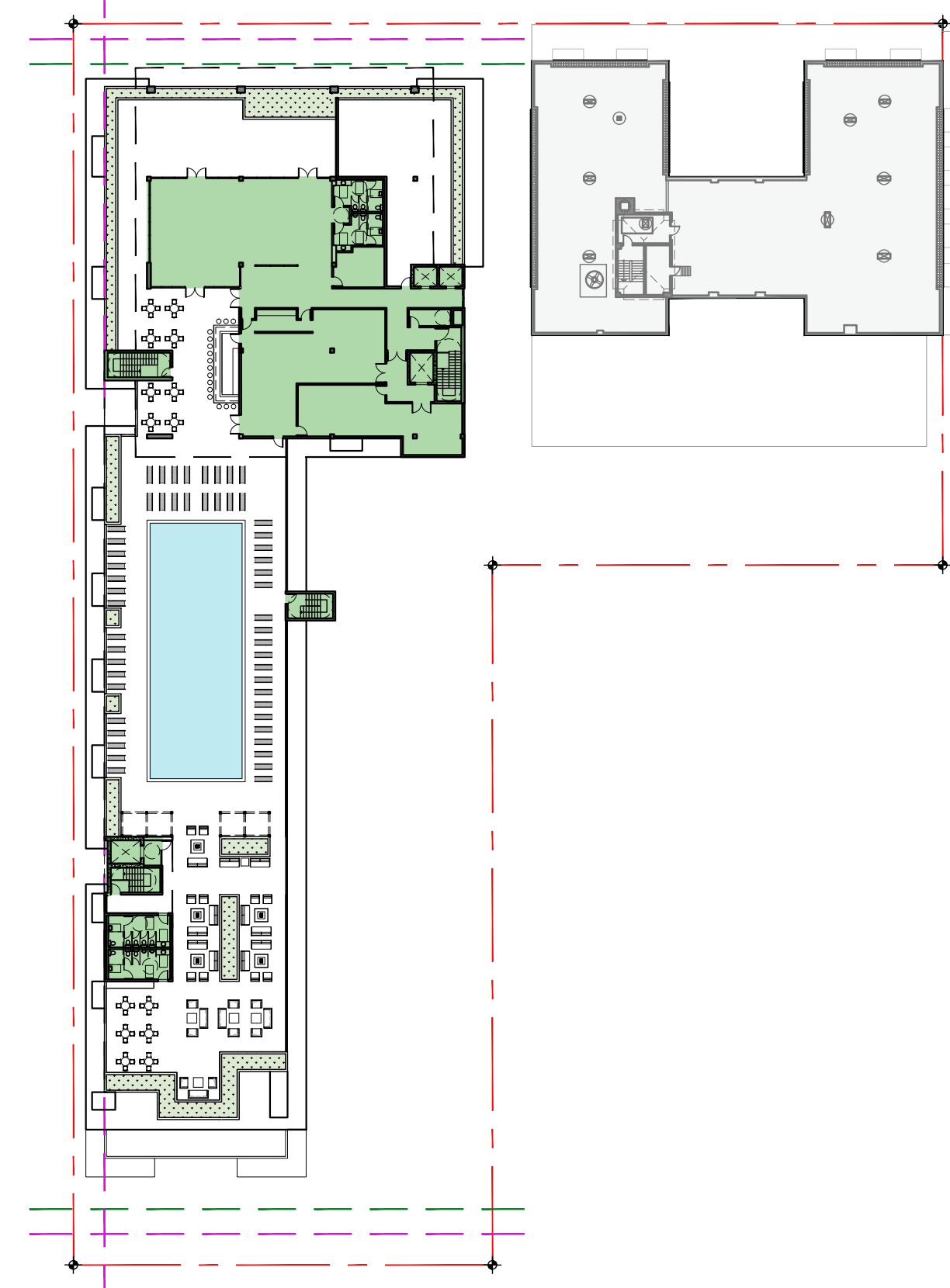
3RD LEVEL AREA : 26,560 SF



FOURTH, FIFTH AND SIXTH LEVEL  
(TYPICAL) 26,570 S.F.  
TOTAL FLOOR AREA 4TH, 5TH AND 6TH  
LEVEL: 79,770 SF



7TH LEVEL - PENTHOUSE AREA: 25,400 SF



8TH LEVEL- ROOF DECK AREA: 7,715 SF

AREA CHART (NEW BUILDING)	
FLOOR	AREAS (S.F.)
LOWER LEVEL	2,210
1ST LEVEL	12,630
2ND LEVEL	11,295
3RD LEVEL	26,560
4TH, 5TH, 6TH LEVEL	79,710
7TH LEVEL- PENTHOUSE	25,400
8TH LEVEL, ROOF DECK	7,715
TOTAL	165,520

FLOOR AREA  
 LOT SIZE: 79,375 SF  
 EXISTING HISTORICAL HOTEL FLOOR AREA: 59,100 SF  
 PROPOSED ADDITION TO EXISTING HISTORICAL BUILDING: 4,700 SF  
 TOTAL PROPOSED AREA EXISTING BUILDING: 63,800 SF

NEW BUILDING FLOOR AREA PROVIDED: 165,520 SF +  
 63,800 SF = 229,320 SF  
 TOTAL FLOOR AREA RATIO PROVIDED 2.89

ALLOWED FAR 2.45 + 25% = 3.0625  
 ALLOWED FLOOR AREA = 243,085.94 S.F.

2.45 FAR URBAN PLANNED DEVELOPMENT  
 ADDITIONAL 25% SUSTAINABLE BONUS PROGRAM


DATE	REVISION
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DWG. TITLE

BELOW GRADE  
PARKING LEVEL (P1)

SCALE

1/16"=1'-0"

PROJECT NO.

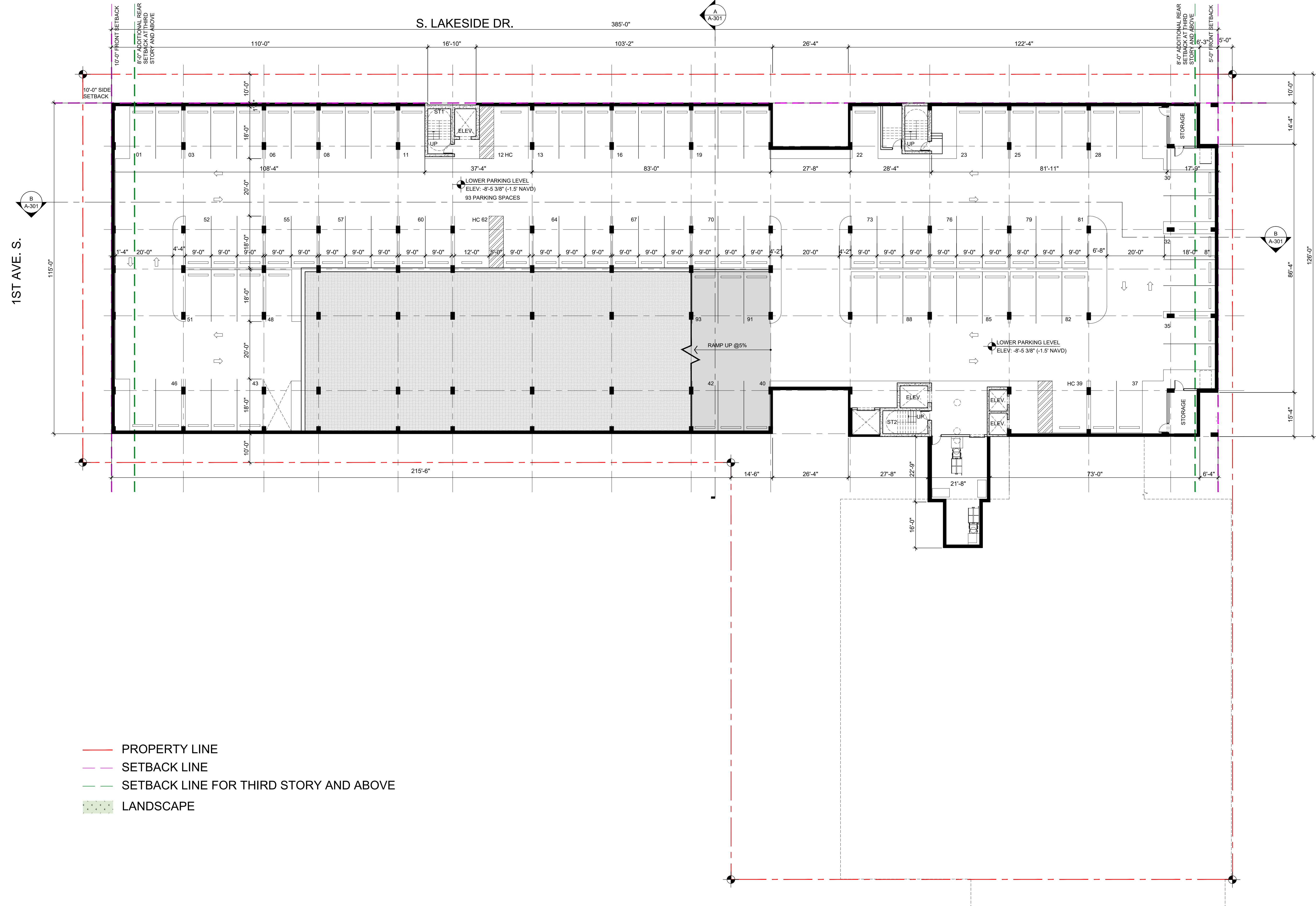
2020-01

DATE

12-23-21

SHEET NUMBER

A-100



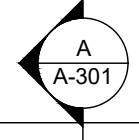
- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE
- LANDSCAPE

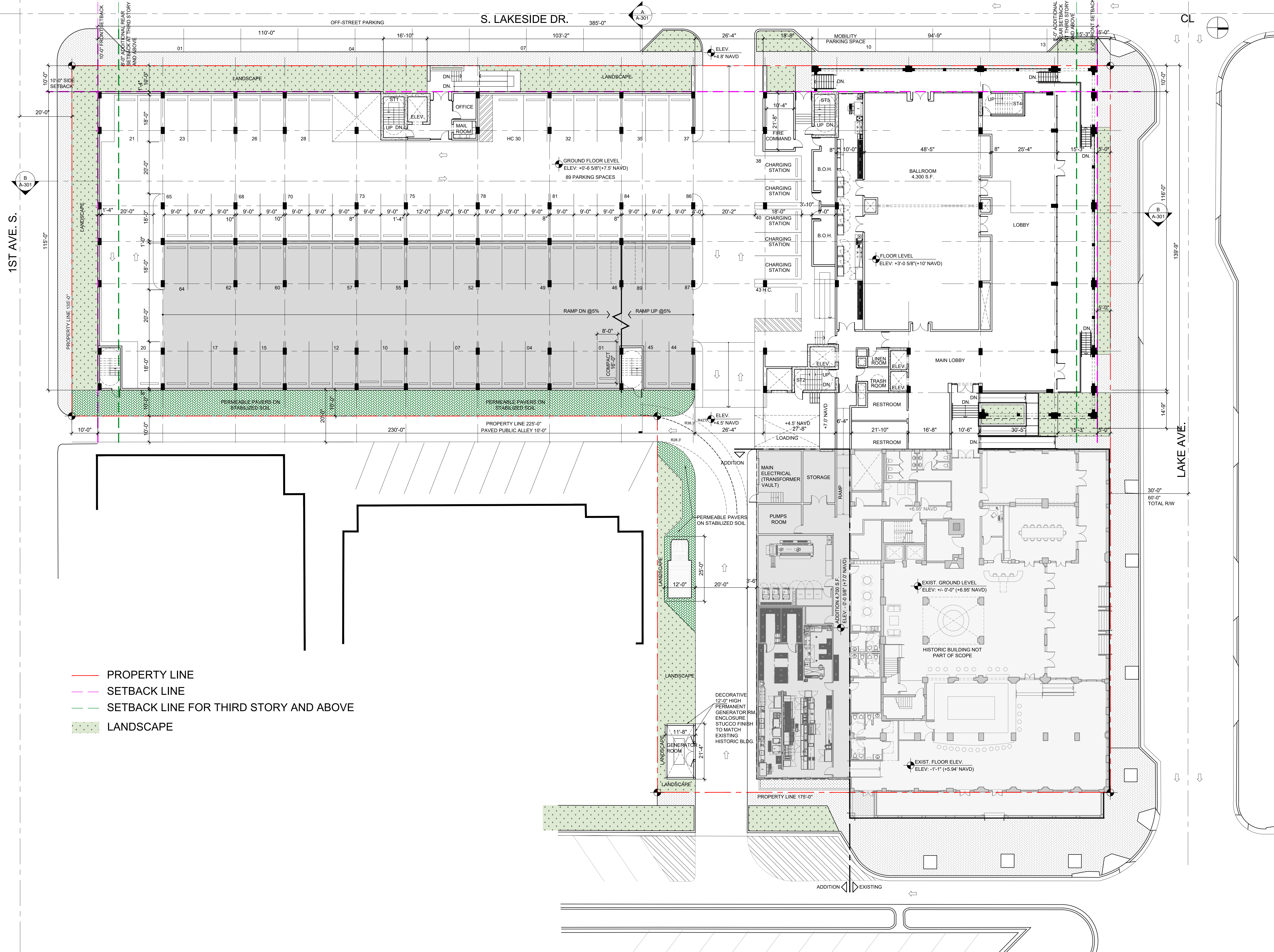
S. GOLFVIEW RD.

LAKE AVE.

S. LAKESIDE DR.

1ST AVE. S.





- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE
- LANDSCAPE

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION
DWG. TITLE	
SITE PLAN GROUND (P2)	
SCALE	
1/16"=1'-0"	
PROJECT NO.	
2020-01	
DATE	
12-23-21	
SHEET NUMBER	
A-101	

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GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DATE REVISION

DWG. TITLE

SECOND LEVEL (P3)

SCALE

1/16"=1'-0"

PROJECT NO.

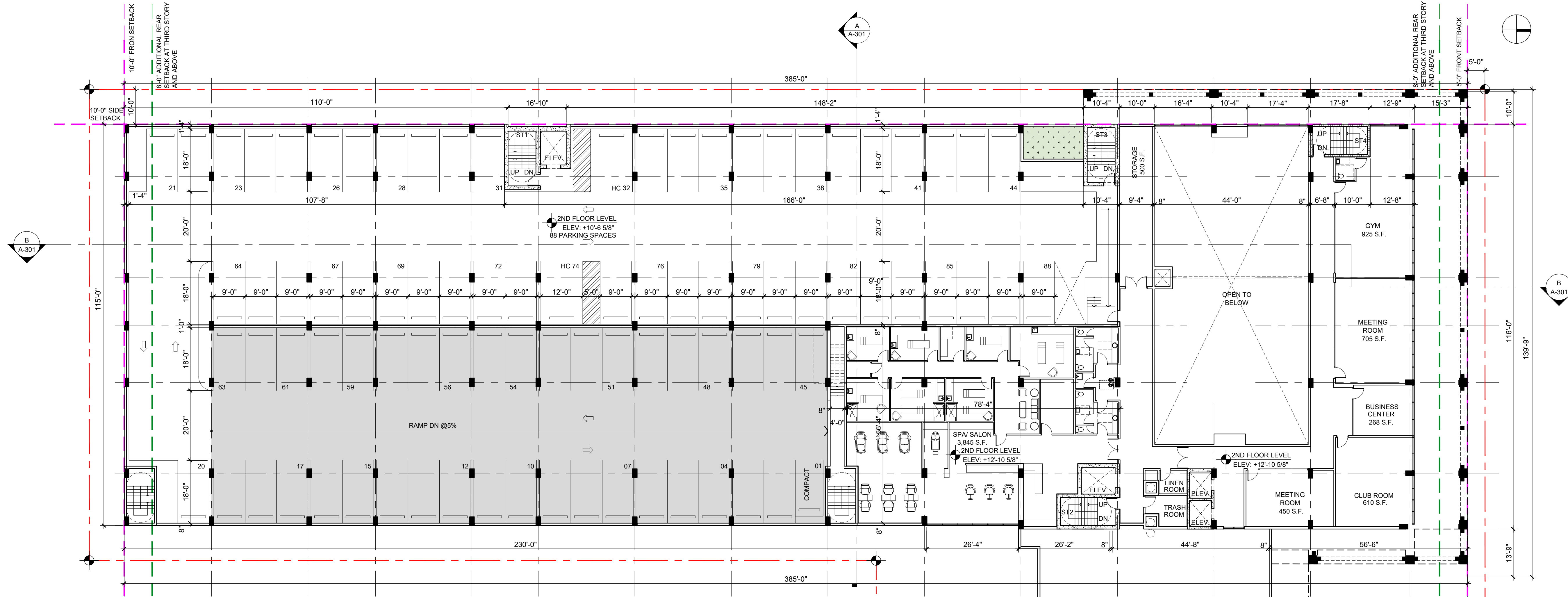
2020-01

DATE

12-23-21

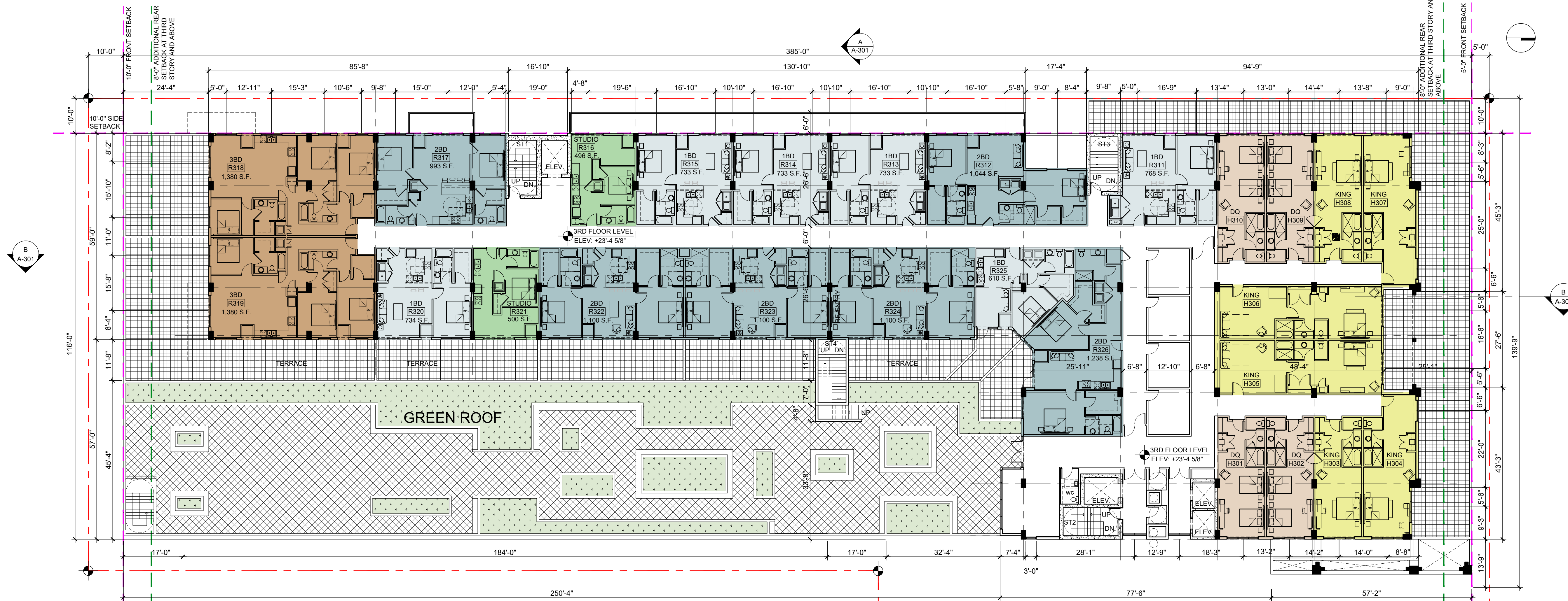
SHEET NUMBER

A-102



- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE





- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE
- LANDSCAPE

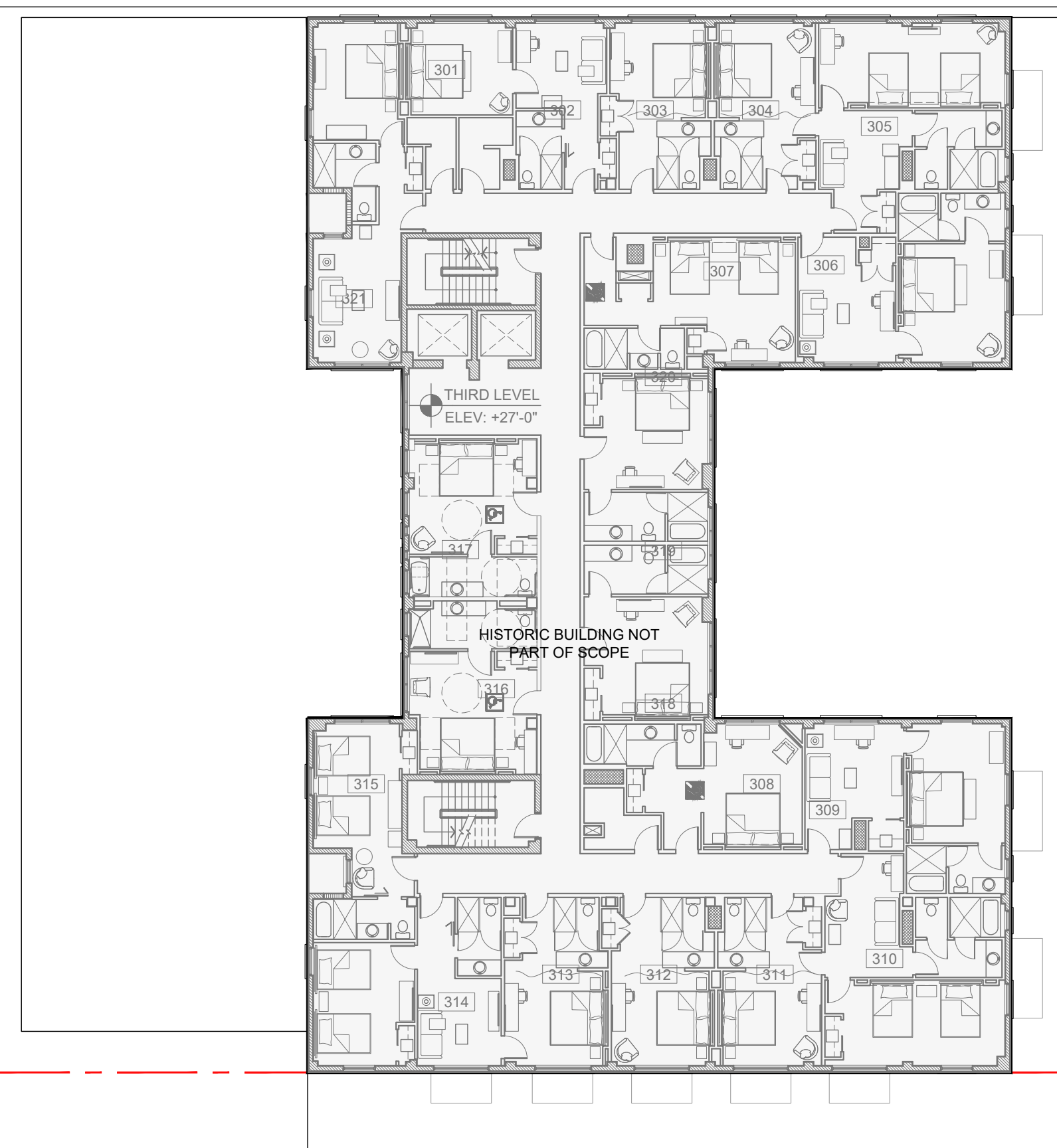
LEGEND

RESIDENTIAL

- ONE BEDROOM UNIT: 610 SF - 768 SF
- TWO BEDROOM UNIT: 968 SF - 1,238 SF
- THREE BEDROOM UNIT: 1,380 SF
- STUDIO: 496 SF - 503 SF

HOTEL

- KING ROOM
- DOUBLE QUEEN ROOM



GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE

THIRD LEVEL

SCALE

1/16"=1'-0"

PROJECT NO.

2020-01

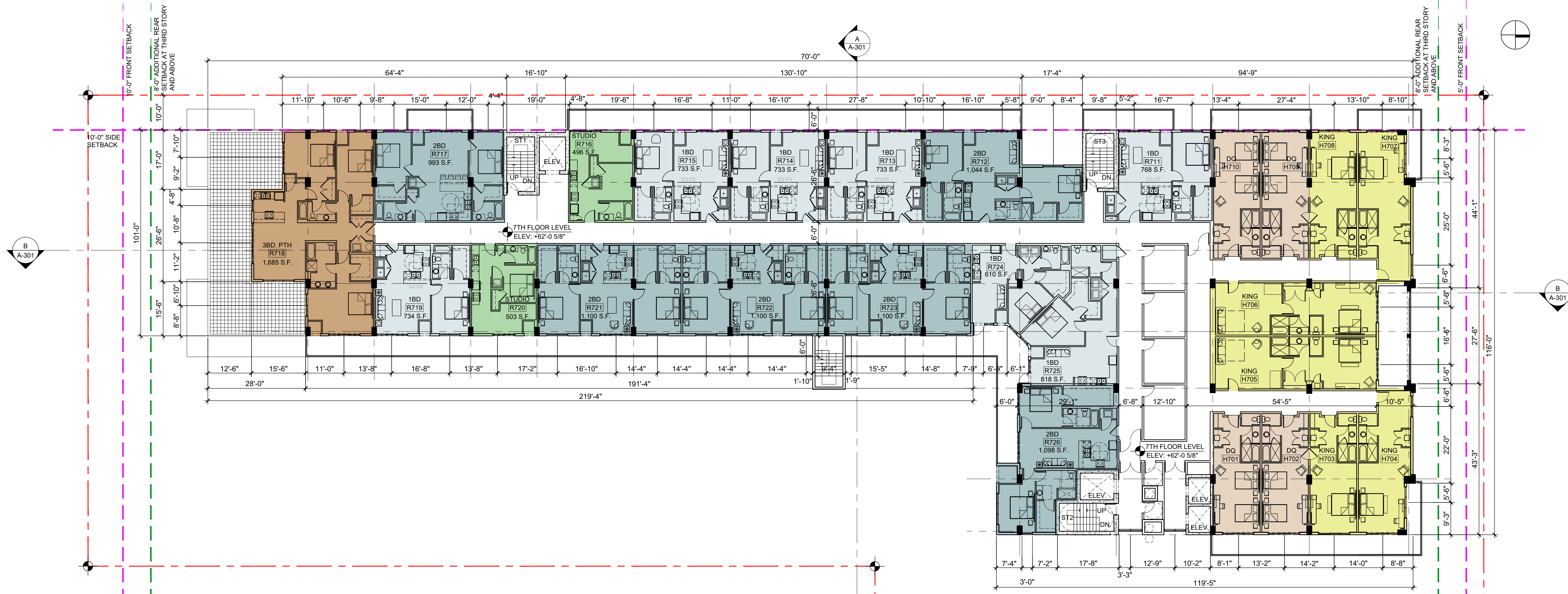
DATE

12-23-21

SHEET NUMBER

A-103





- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE

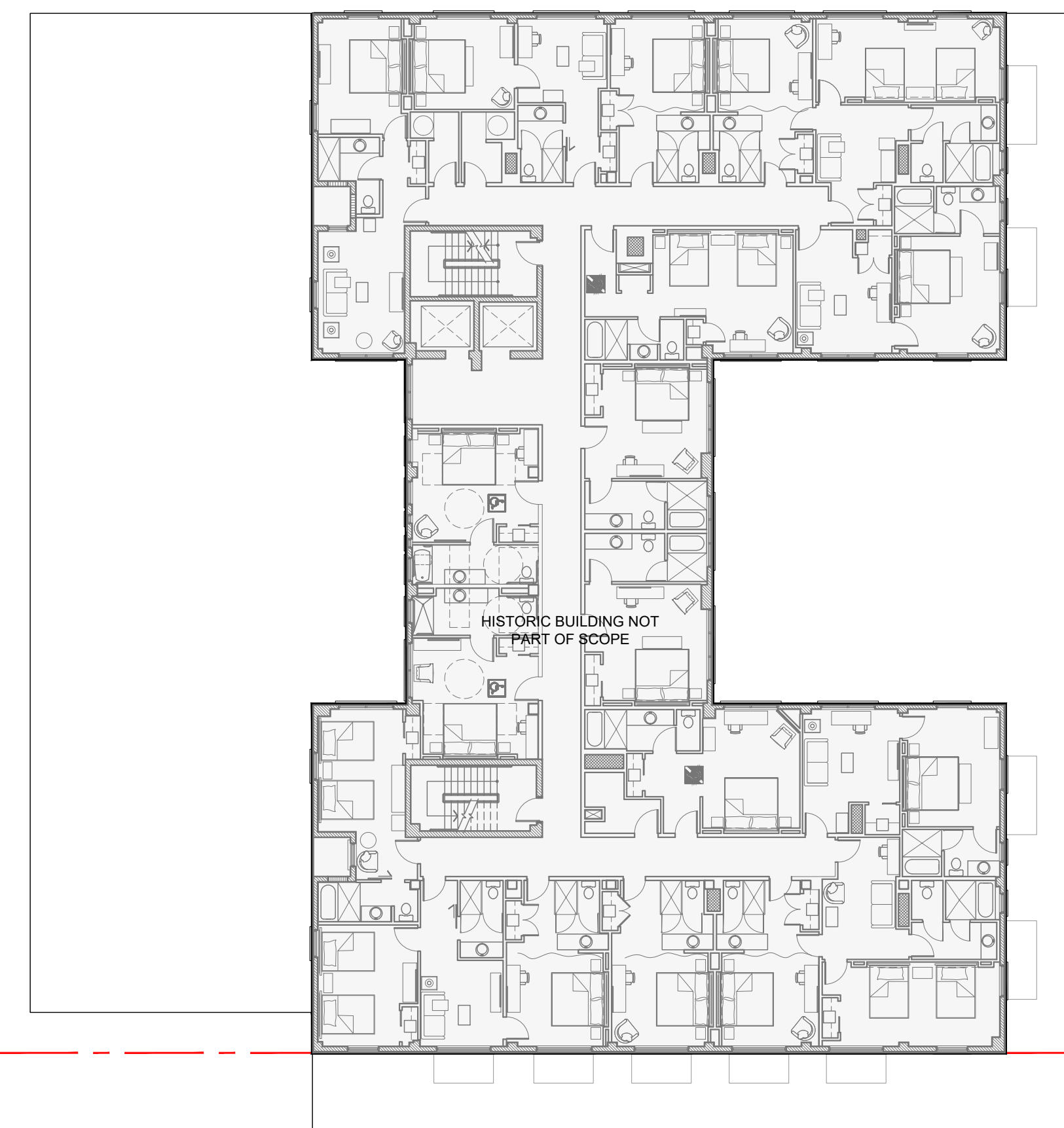
LEGEND

RESIDENTIAL

- ONE BEDROOM UNIT: 610 SF - 768 SF
- TWO BEDROOM UNIT: 968 SF - 1,100 SF
- THREE BEDROOM UNIT: 1,380 SF
- STUDIO: 496 SF - 503 SF

HOTEL

- KING ROOM
- DOUBLE QUEEN ROOM



GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE

SEVENTH LEVEL  
(PENTHOUSE)

SCALE

1/16"=1'-0"

PROJECT NO.

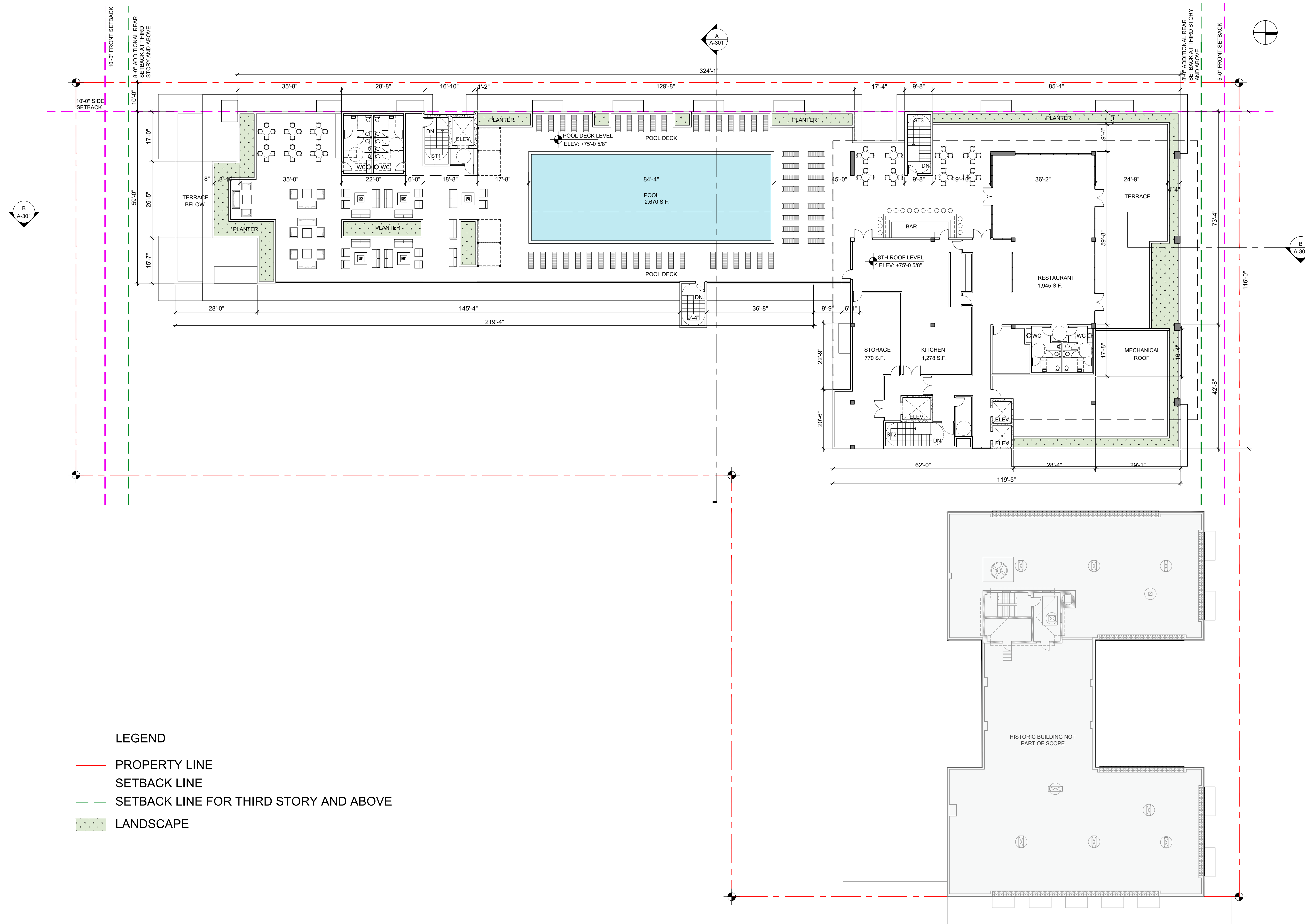
2020-01

DATE

12-23-21

SHEET NUMBER

A-105

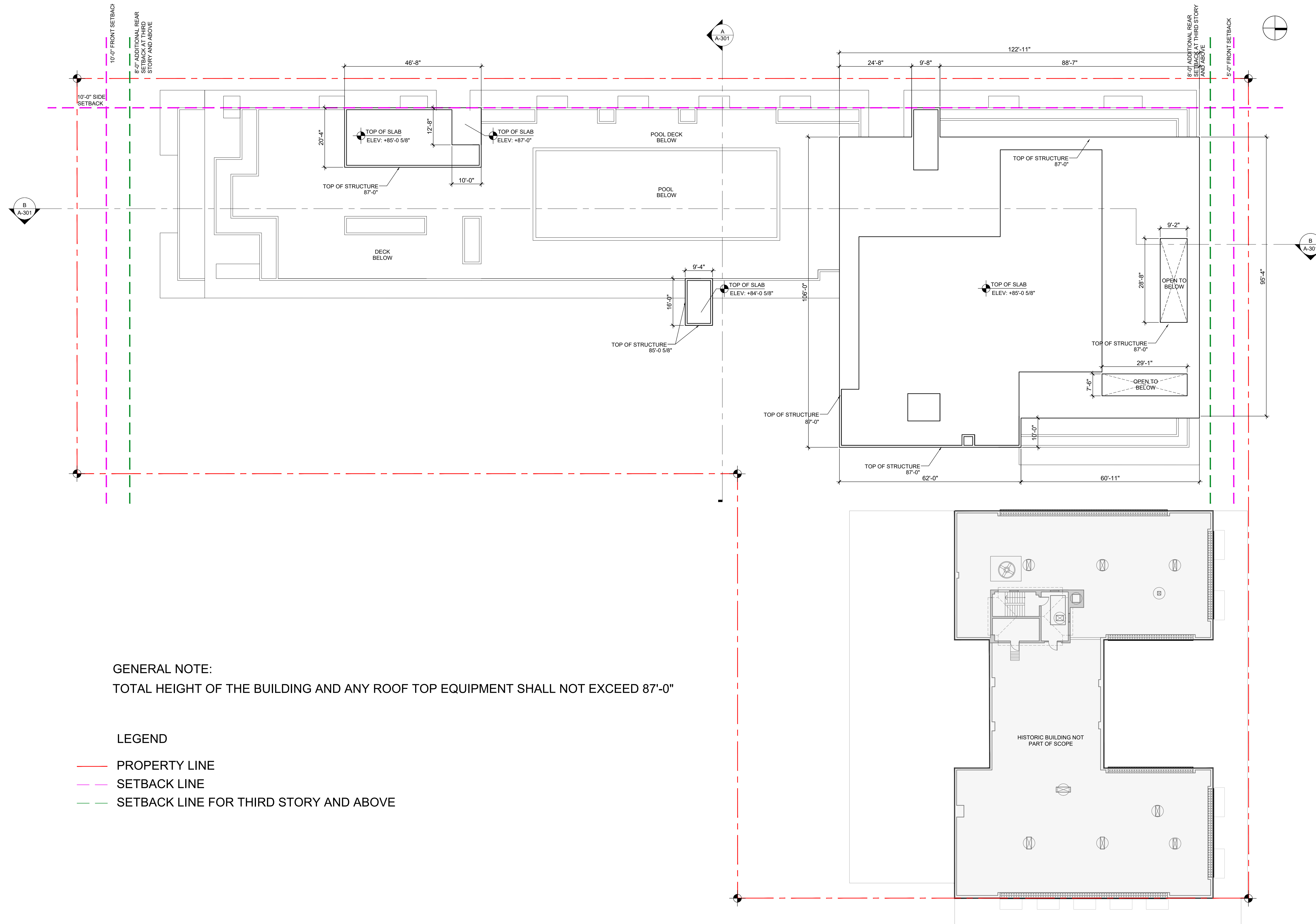


- LEGEND**
- PROPERTY LINE
  - SETBACK LINE
  - SETBACK LINE FOR THIRD STORY AND ABOVE
  - LANDSCAPE

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE	EIGHT LEVEL - AMENITIES AND POOL DECK
SCALE	1/16"=1'-0"
PROJECT NO.	2020-01
DATE	12-23-21
SHEET NUMBER	A-106



GENERAL NOTE:  
TOTAL HEIGHT OF THE BUILDING AND ANY ROOF TOP EQUIPMENT SHALL NOT EXCEED 87'-0"

LEGEND

- PROPERTY LINE
- SETBACK LINE
- SETBACK LINE FOR THIRD STORY AND ABOVE

GULFSTREAM HOTEL  
###  
###


△	DATE	REVISION
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DWG. TITLE  
UPPER ROOF LEVEL

SCALE  
VARIES

PROJECT NO.  
2020-01

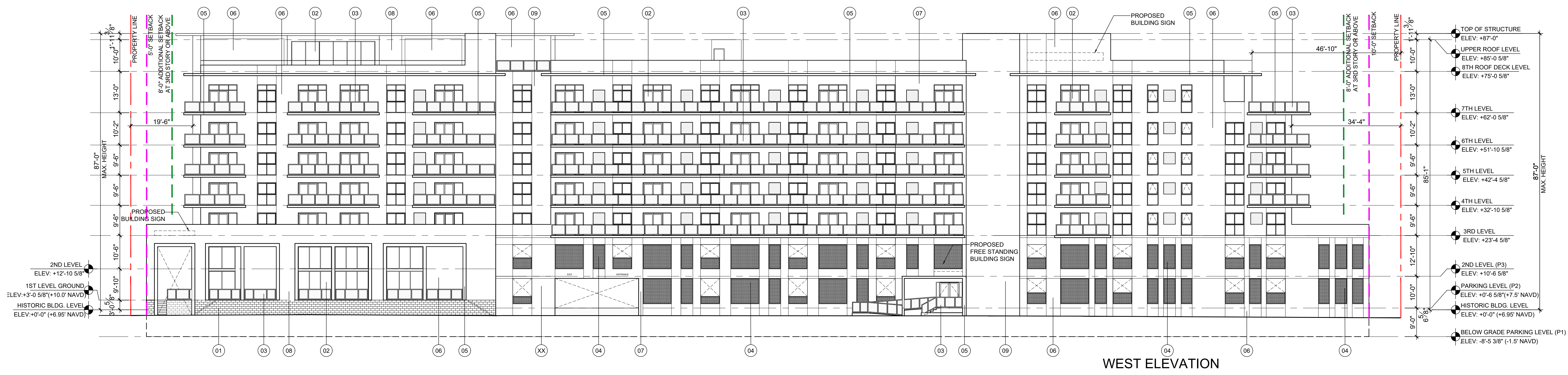
DATE  
09-23-15

SHEET NUMBER  
A-107



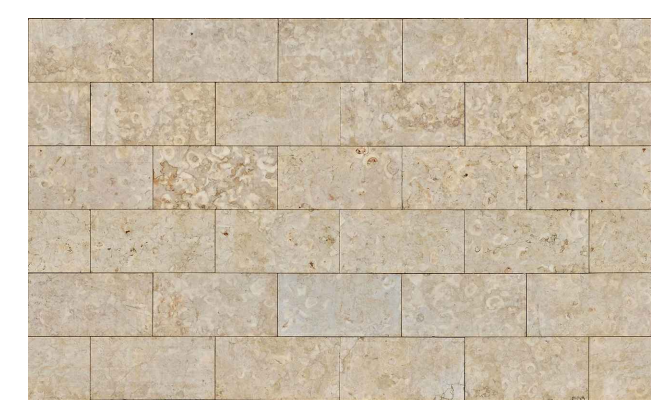
HISTORIC BUILDING SHOWN FOR  
HEIGHT REFERENCE ONLY

NORTH ELEVATION



WEST ELEVATION

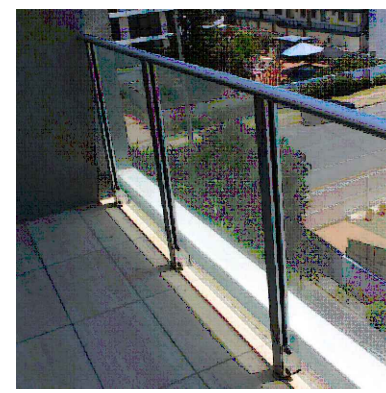
GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610



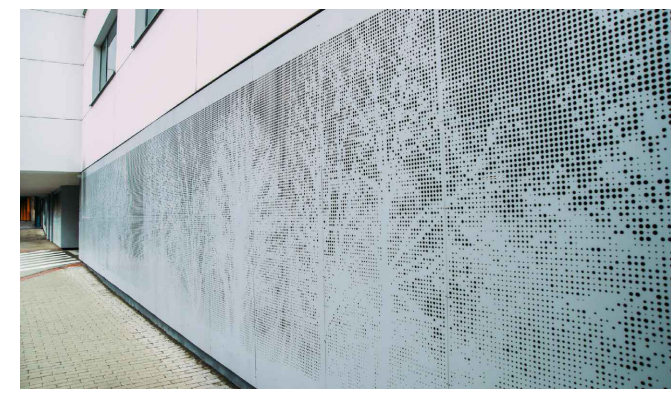
01 LIMESTONE



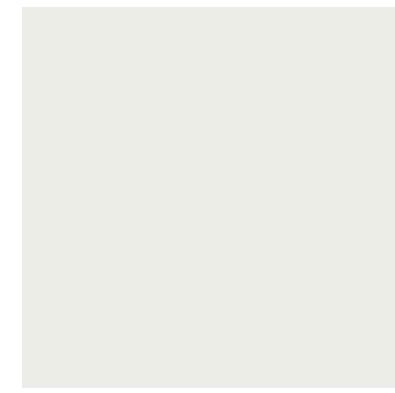
02 ANODIZED ALUMINUM STOREFRONT WITH CLEAR GLASS



03 GLASS RAILING



04 PERFORATED METAL PANEL WITH FLORIDA FLORA THEME



05 PAINTED SMOOTH STUCCO COLOR SW 7005 PURE WHITE SHERWIN-WILLIAMS



06 PAINTED SMOOTH STUCCO COLOR SW 6393 CONVIVIAL YELLOW SHERWIN-WILLIAMS



07 PAINTED SMOOTH STUCCO COLOR SW 9021 NAPLES YELLOW SHERWIN-WILLIAMS



08 PAINTED SMOOTH STUCCO COLOR SW 6682 JUNE DAY SHERWIN-WILLIAMS



09 PAINTED SMOOTH STUCCO COLOR SW 6676 BUTTERFIELD SHERWIN-WILLIAMS

DATE	REVISION
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DWG. TITLE  
NORTH AND WEST ELEVATIONS

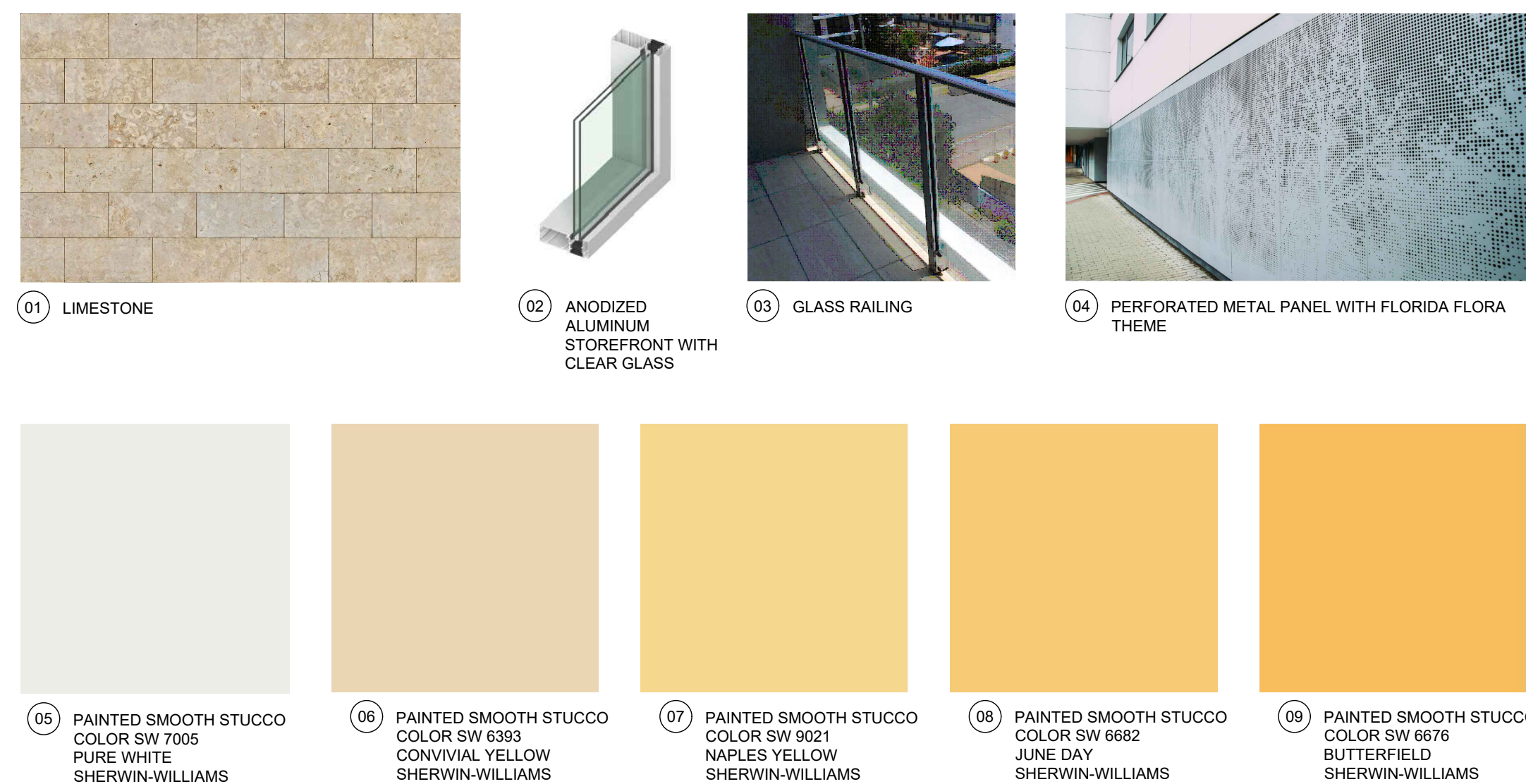
SCALE  
1/16"=1'-0"

PROJECT NO.

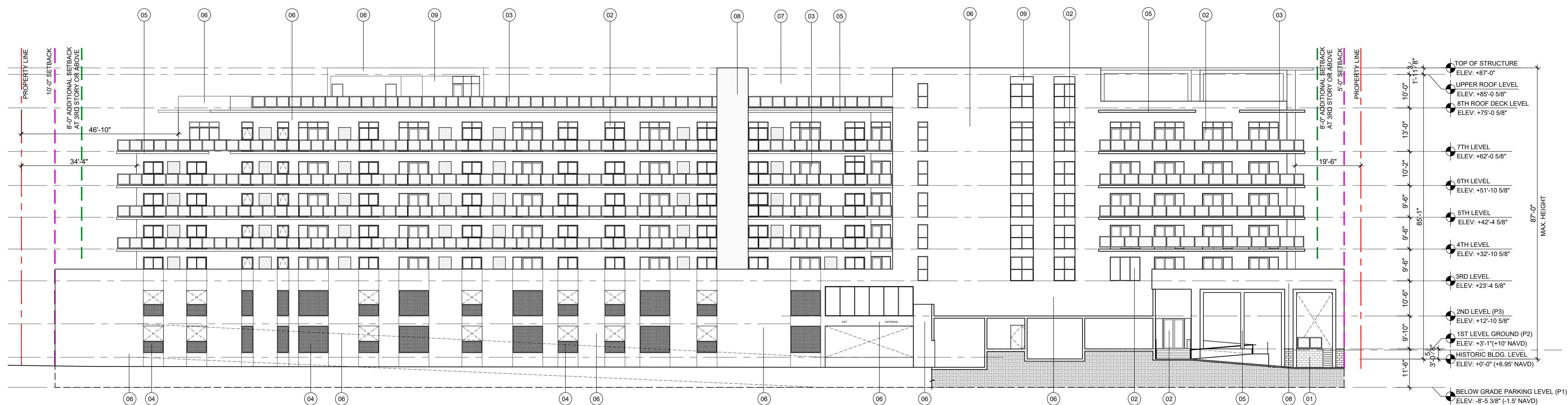
DATE  
2020-01

SHEET NUMBER  
12-21-21

A-201



SOUTH ELEVATION



EAST ELEVATION

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE  
SOUTH AND EAST ELEVATIONS

SCALE  
1/16"=1'-0"

PROJECT NO.  
2020-01

DATE  
07-24-20

SHEET NUMBER  
A-202



BRYANT PARK SOUTH GOLFVIEW RD. GULFSTREAM HOTEL NEW BUILDING SOUTH LAKESIDE DR. LAKE AVENUE LOFTS LAKE AVENUE



GULFSTREAM CONDOS NEW BUILDING (BEYOND) GULFSTREAM HOTEL LAKE AVENUE FLEUR DE LIS | 1 N GOLFVIEW RD. S. GOLFVIEW RD CROSSING LAKE AVENUE



1ST AVENUE SOUTH HAMPSHIRE BUILDING 31 S GOLFVIEW RD. GULFSTREAM CONDOS NEW BUILDING (BEYOND) GULFSTREAM HOTEL S. GOLFVIEW RD CROSSING 1ST AVENUE SOUTH

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE	STREETSCAPE ELEVATIONS
SCALE	VARIES
PROJECT NO.	2020-01
DATE	12-23-21
SHEET NUMBER	A-203

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1ST AVENUE SOUTH



S. LAKESIDE DR. CROSSING LAKE AVENUE

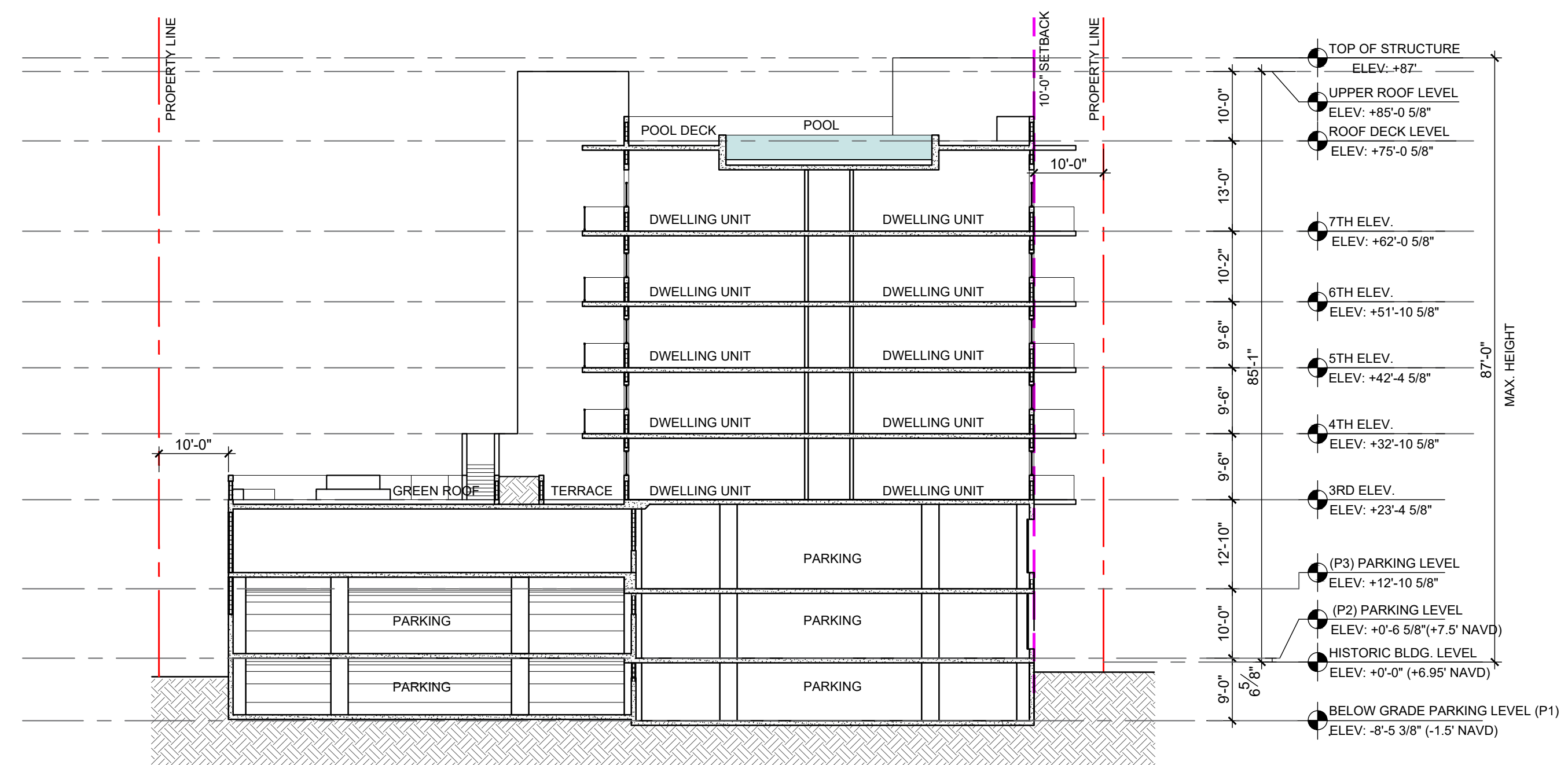


S. LAKESIDE DR. CROSSING 1ST AVENUE SOUTH

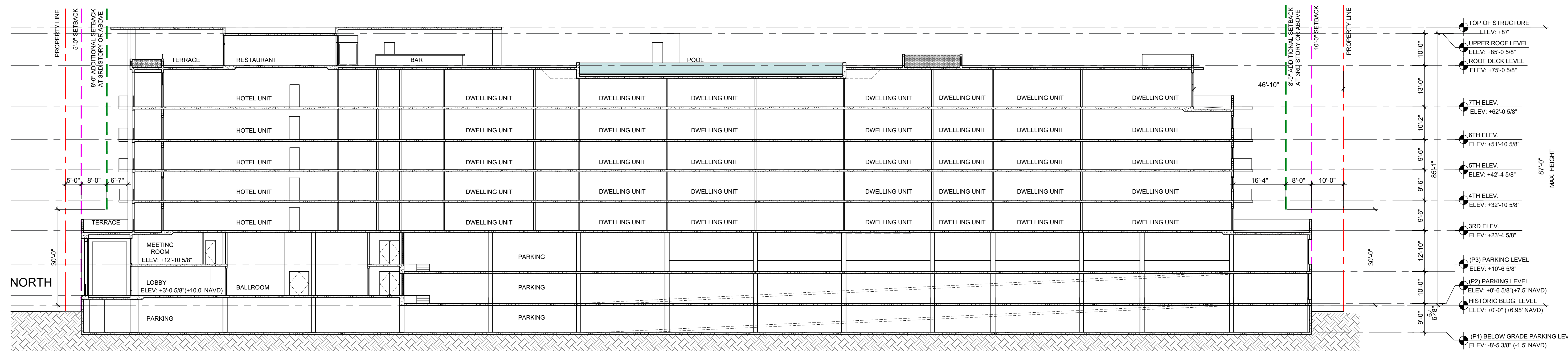
GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

DWG. TITLE	SCALE
STREETSCAPE ELEVATIONS	VARIES
PROJECT NO.	2020-01
DATE	12-22-21
SHEET NUMBER	A-204



SECTION A

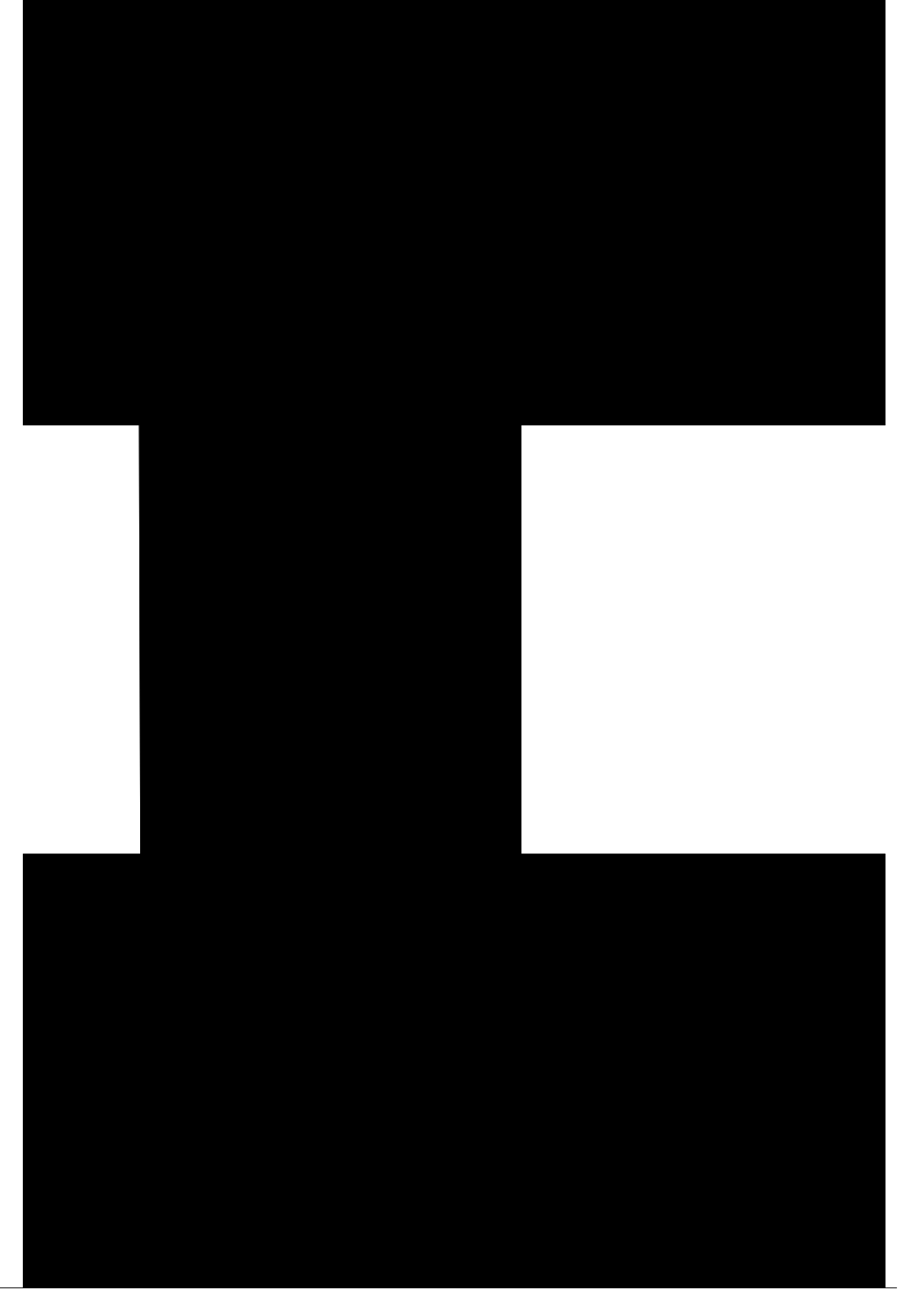
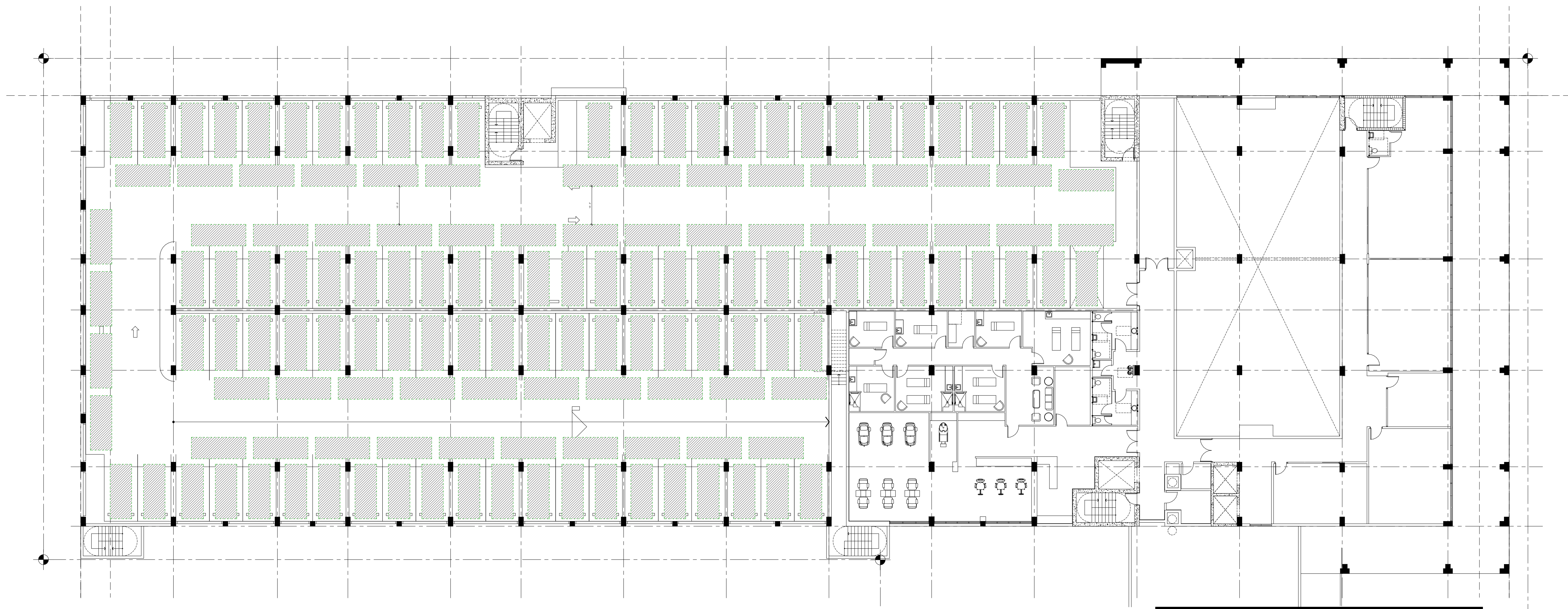


SECTION B

GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION
DWG. TITLE	
BUILDING SECTIONS	
SCALE	
	1/16"=1'-0"
PROJECT NO.	
	2020-01
DATE	
	12-21-21
SHEET NUMBER	
A-301	





GULFSTREAM HOTEL DEVELOPMENT  
LAKE WORTH, FL.

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS  
P.A.

8101 BISCAYNE BLVD. S. 309-310  
M I A M I, F L 3 3 1 3 8 - 4 6 6 4  
T 305.559.1250 F 305.551.1746

ROSE + GOMEZ  
ARCHITECTS

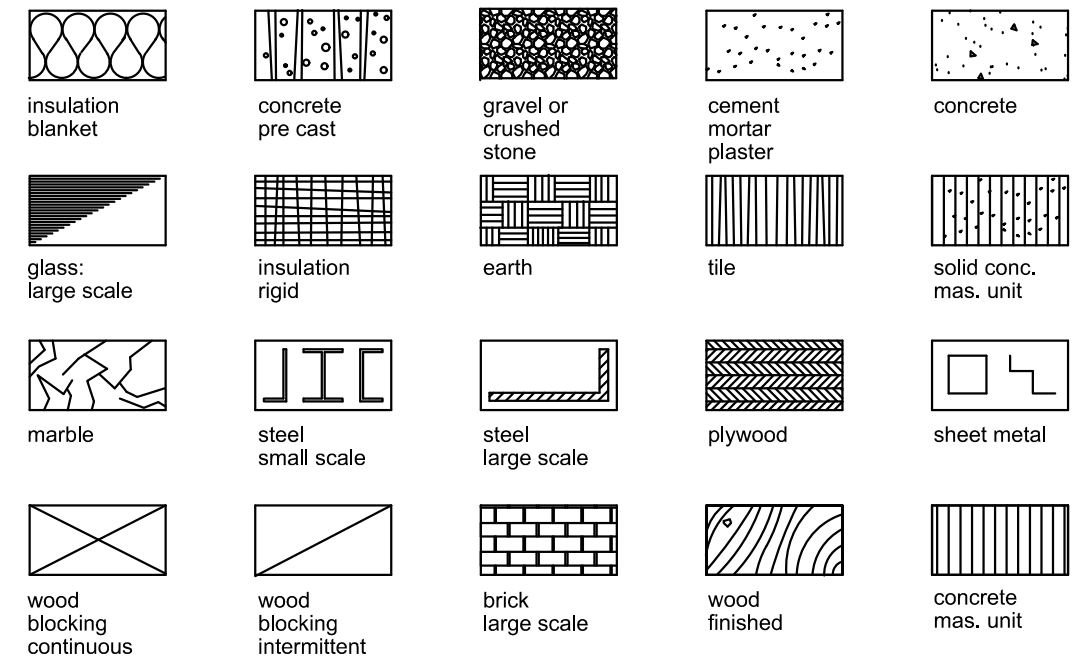
DWG. TITLE	COVER
SCALE	N.T.S.
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	G000
DATE	REVISION

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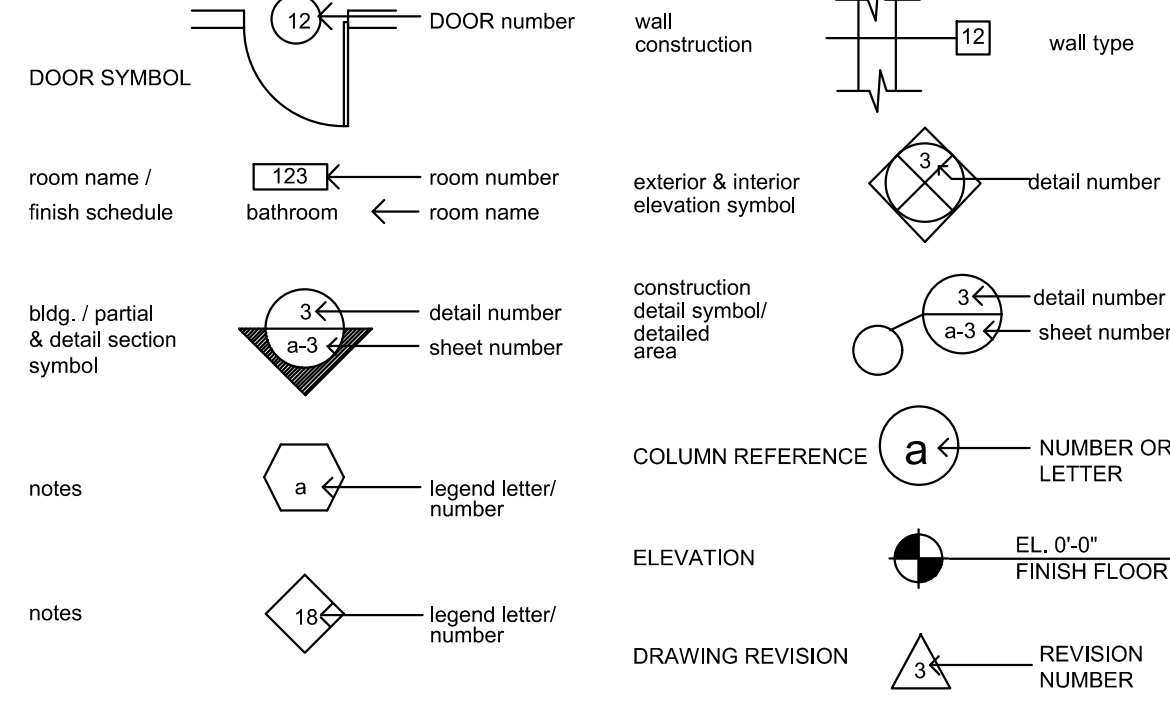
ABBREVIATIONS

Table of abbreviations for various construction materials and components, including ACOUS., A.C., ADJ., AGGR., APPROX., ARCH., ASB., ASPH., B.D., BITUM., BLDG., BLK., BLKG., BLKHD., BM., BOT., CAB., CARP., C.B., CEM., CER., C.I., C.G., CLG., CLKG., CLO., CLR., C.M.U., C.O., COL., CONC., CONN., CONSTR., CONT., CORR., CTSK., CNTR., C.T., CTR., DBL., DEPT., D.F., DET., DIA., DIM., DISP., DN., D.O., DR., DWR., DS., D.S.P., DWG., E., EA., E.J., EL., ELEC., ELEV., EMER., ENCL., E.P., EQ., EQPT., E.S., E.W.C., EXST., EXP., EXP., EXT., F.A., F.B., F.D., FDN., F.E., F.E.C., F.H.C., FIN., FL., FLASH., FLUOR., F.O.C., F.O.F., F.O.S., FPRF., F.S., FT., FTG., FURR., FUT., F.V., F.V.C., GA., GALV., G.B., G.C., GL., GND., GR., GYP., G.W.B., H.B., H.C., HDWD., HDWE., H.M., HORIZ., HR., HGT., I.D., IN., INSUL., INT., INV., JAN., JST., JT., KIT., LAB., LAM., LAV., L.F., LKR., LT., LTWT., MAX., M.C., MACH., MECH., MEMB., MET., MFR., MH., MIN., MIR., MISC., M.L., M.O., MTD., MUL., N., N.I.C., NO. OR #, NOM., N.T.S., N.T.S., O.A., OBS., O.C., O.D., OFF., OPNG., OP. HD., OPP., PRGST., P.L., P.T., PL., P.LAM., PLAS., PLYWD., POL., PR., PT., P.T.D., PTN., PTR., Q.T., R., RAD., R.D., REF., REFL., REFR., RF., RGTR., REINF., REQ., RESIL., RM., R.O., RWD., R.W.L., S., SABF., S.C., S.C.D., SCHED., S.D., SECT., SH., SHR., SHT., SIM., S.N.D., S.P.E.C., SQ., S.S.T., S.S.K., STA., STD., STL., STOR., STRL., SUSP., SYM., T., TRD., T.B., T.C., TEL., TEMP., T. & G., THK., TOIL., T.P., T.P.D., T.V., T.W., TYP., T.O.B., T.O.C., T.O.S., UNF., U.O.N., UR., V.I.F., VERT., V.T., VEST., V.B., W., WT., W/., W.C., WD., W/O., WP., WSCT., X., Y., Z.

MATERIAL LEGEND



SYMBOL LEGEND



PROJECT INFORMATION

SCOPE OF WORK

HISTORICAL RESTORATION OF THE GULFSTREAM HOTEL INTEGRATED WITH A MIXED-USE URBAN PLANNED DEVELOPMENT INCLUSIVE OF HOTEL, CONDOMINIUMS, RESTAURANTS, BAR, GYM, SALON, EVENT SPACES, PARKING GARAGE AND SUPPORT SPACES.

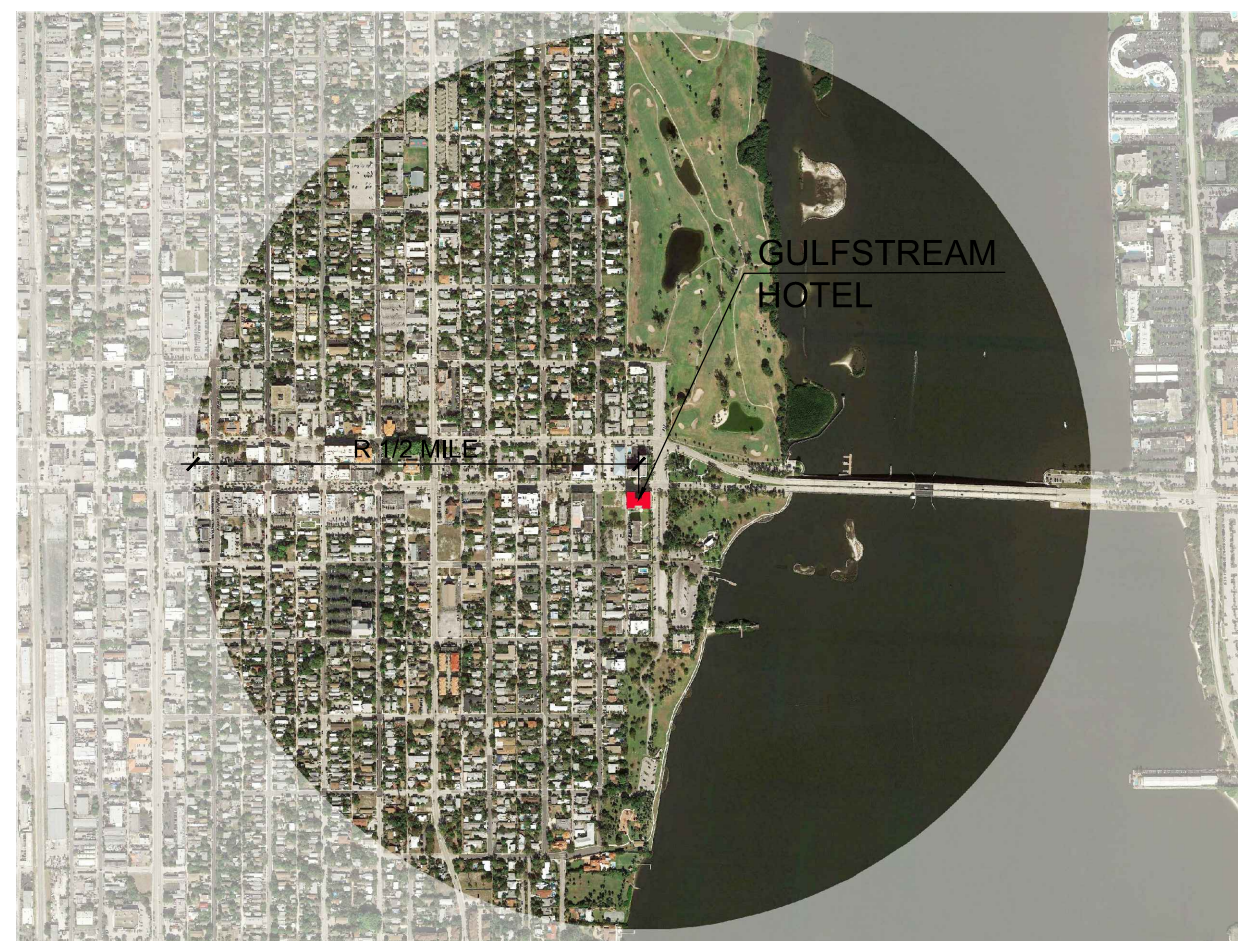
- HISTORICAL BUILDING, THE SCOPE OF WORK INCLUDES:
• NEW HOTEL ROOMS PROVIDED: 90 UNITS (AVERAGE 250 SF)
• DEMOLITION OF NON-BEARING PARTITIONS TO ACCOMMODATE NEW UNITS LAYOUT.
• FUTURE BUILDING UNDER SEPARATE PERMIT.

LEGAL DESCRIPTION

PARCEL 1
LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

ZONING SUMMARY

PROJECT ADDRESS: 11 LAKE AVENUE, LAKE WORTH, FL 33460
ZONING DISTRICT: DT - DOWNTOWN
PRESENT OCCUPANCY: HOTEL (R-1) (TRANSIENT)
PROPOSED OCCUPANCY: HOTEL (R-1) (TRANSIENT)
GROSS AREA OF SITE: 79,375.00 SQ. FT.
EXISTING BUILDING AREA: 58,772 SQ. FT.
AREA OF ADDITION: 4,000.00 SQ. FT.



LOCATION MAP

GULFSTREAM HOTEL

11 LAKE AVENUE
LAKE WORTH, FL 33460

PROJECT TEAM

OWNER: RESTORATION ST. LOUIS INC.
4240 MANCHESTER AVENUE
ST. LOUIS, MO 63110
TEL. (314) 446-4534
MEP ENGINEER:
LANDSCAPE ARCHITECT:
DESIGN/PROJECT ARCHITECT:
BEILINSON GOMEZ ARCHITECTS P.A.
JOSE L. GOMEZ AR00015416
8101 BISCAVAYE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 558-1250
FAX. (305) 551-1740
STRUCTURAL ENGINEER:
YOUSSEF HACHEM CONSULTING
ENGINEERING, INC.
YOUSSEF HACHEM PH.D., PE, SI #43302
99 NE 27th AVENUE
MIAMI, FL 33125
TEL. (305) 969-9423
FAX. (305) 969-9453
CIVIL ENGINEER:

APPLICABLE CODES

GOVERNING ZONING CODE: CITY OF LAKE WORTH ZONING CODE
BUILDING CODE: FLORIDA BUILDING CODE 2020
EXISTING BUILDING: FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020
STRUCTURAL: FLORIDA BUILDING CODE 2020
PLUMBING: FLORIDA BUILDING CODE 2020 - PLUMBING
MECHANICAL: FLORIDA BUILDING CODE 2020 - MECHANICAL
ELECTRICAL: FLORIDA BUILDING CODE - 2020 EDITION
ACCESSIBILITY: FLORIDA BUILDING CODE 2020 - CHAPTER 11 FACBC
FIRE PROTECTION: FLORIDA FIRE PREVENTION CODE - 2020 7th EDITION
NFPA 101 2018 7th EDITION

GENERAL NOTES

- 1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF LAKE WORTH BUILDING DEPARTMENT.
3. ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES, MANUFACTURERS SHALL PROVIDE DADE COUNTY APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.
4. CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL AT HIS OWN COST REPAIR OR REPLACE ALL DAMAGED DURING REPAIR FOR THE PERIOD OF THE GUARANTEE.
5. COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWGS. FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL PROJECT REQUIREMENTS.
6. SUBMIT MIN. 5 SETS SHOP DWGS. FOR ARCHITECTS REVIEW OF ALL ITEM REQUIRING FABRICATION. DO NOT FABRICATE UNTIL REVIEWED.
7. ALL MATERIALS AND FIXTURES MUST BE BRAND NEW.
8. INFORMATION SHOWN ON THE DWGS. AS TO THE LOCATION OF THE EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE A/E. HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS OR MODIFICATIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF ANY DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT OR DISCREPANCIES WHICH MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS REQUIRED.
9. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION.
10. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
11. EXISTING PAVEMENT, SIDEWALKS, SOD, CURB OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED DURING CONSTRUCTION PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
12. ALL PAVING, SIDEWALK AND CURB & GUTTER WORK IN THE PUBLIC RIGHT OF WAY SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF LAKE WORTH, FLORIDA AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
13. ALL UTILITY CONSTRUCTION AND CONNECTIONS WITHIN THE PUBLIC RIGHT OF WAY ARE TO BE PERFORMED BY THE MIAMI DADE COUNTY WATER AND SEWER DEPARTMENT.
14. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
15. THIRD PARTY BENEFICIARIES: NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE A CONTRACTUAL RELATIONSHIP WITH OR A CAUSE OF ACTION IN FAVOR OF A THIRD PARTY AGAINST EITHER THE CLIENT OR THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL'S SERVICES UNDER WHICH THESE DRAWINGS WERE PREPARED, ARE BEING PERFORMED SOLELY FOR THE CLIENT'S BENEFIT, AND NO OTHER ENTITY SHALL HAVE ANY CLAIM AGAINST THE DESIGN PROFESSIONAL BECAUSE OF THESE DRAWINGS OR THE PERFORMANCE OR NONPERFORMANCE OF SERVICES HEREUNDER.
16. DO NOT SCALE DRAWINGS. WEAK DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE.
17. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF ALL CONSTRUCTION DOCUMENTS AND THE RELEVANCE TO THE WORK FAILURE TO BE ACQUAINTED WITH THIS KNOWLEDGE DOES NOT RELIEVE RESPONSIBILITY FOR PERFORMING ALL WORK PROPERLY. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED DUE TO THE FAILURE TO BECOME FAMILIAR WITH THE ENTIRE CONSTRUCTION DOCUMENT PACKAGE.
18. FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM (IF REQUIRED) ARE DESIGN BUILT BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE SPRINKLER & FIRE ALARM DRAWINGS TO THE JURISDICTION AND OBTAIN APPROVAL PRIOR TO BEGINNING ANY WORK ON THE FIRE SPRINKLER OR ALARM SYSTEM. THE FIRE SPRINKLER AND ALARM WORK SHALL BE PERFORMED UNDER A SEPARATE PERMIT WHERE APPLICABLE.
19. CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED FIREPROOFING. CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE RATINGS OF ALL ELEMENTS AND SHALL PATCH AND REPAIR ANY DAMAGED OR REMOVED ELEMENTS AS REQUIRED TO MAINTAIN ALL FIRE RATINGS.
20. OWNER HAS FILED FOR AND OBTAINED APPROVAL OF THE BUILDING PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ANY OUTSTANDING BUILDING PERMIT ITEMS AND PICKING UP THE PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL TRADE PERMITS AND OTHER PERMITS AS MAY BE REQUIRED BY THE JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING ANY REVISIONS TO THE APPROVED PERMIT DOCUMENTS AND PROCESSING THE APPROVAL OF THE REVISED DOCUMENTS WITH THE JURISDICTIONS HAVING AUTHORITY.
22. CONTRACTOR SHALL VERIFY THAT ALL EXISTING DEMISING WALL EXTEND TO THE BOTTOM OF THE FLOOR OF THE LANDLORD'S RESPONSIBILITY.
23. CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES AND ALL EXISTING SURFACES AND FINISHES AS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION.
24. CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO REVIEW DESIGN AND SEAL ALL CHANGES NECESSARY TO THE BUILDING STRUCTURE FOR THE INSTALLATION OF OR REVISION OF ALL CONTRACTOR INSTALLED MECHANICAL UNITS OR OTHER CONTRACTOR INSTALLED ELEMENTS SUPPORTED BY OR ANCHORED TO THE EXISTING STRUCTURE. THE ENGINEER SHALL SUBstantiate THE DESIGN MODIFICATIONS NECESSARY TO MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING STRUCTURE.
25. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE, CONSTRUCTION MANAGER, AND THE ARCHITECT OF RECORD, IN WRITING OF THE CONCERNS AND/OR SUSPICIONS.
26. ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER FBC 1816.17. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".
27. A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL BE PROVIDED PRODUCT USE, IDENTIFY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
28. MINIMUM INSULATION SHALL BE: R-30.5 FOR ROOF, R-4.1 FOR EXTERIOR WALLS, R-3 BOTH SIDES FOR CBS COMMON WALLS, AS PER FBC CHAPTER 13, SUB-CHAPTER 6.

DRAWING INDEX

ARCHITECTURAL

Table listing drawing titles and sheet numbers, including G000 COVER SHEET, G001 GENERAL NOTES, INDEX AND ZONING INFORMATION, G003 EXTERIOR PICTURES AND PRESERVATION DETAILS, G004 INTERIOR PICTURES AND PRESERVATION DETAILS, G005 PRESERVATION DETAILS, G006 CONTEXT PICTURES, D201 DEMOLITION NORTH ELEVATION, D202 DEMOLITION EAST ELEVATION, D203 DEMOLITION SOUTH ELEVATION, D204 BUILDING AREAS DIAGRAM, A100 PROPOSED SITE PLAN, A101 PROPOSED GROUND FLOOR PLAN, A102 PROPOSED MEZZANINE PLAN, A103 PROPOSED SECOND FLOOR PLAN, A104 PROPOSED THIRD TO SIXTH FLOOR PLAN, A105 PROPOSED ROOF PLAN, A201 PROPOSED UPPER ROOF PLAN NORTH ELEVATION, A202 EAST ELEVATION, A203 SOUTH ELEVATION, A204 WEST ELEVATION, A301 PROPOSED SECTIONS, A302 ENLARGED UNITS, A403 ENLARGED UNITS, A404 ENLARGED UNITS, A405 ENLARGED UNITS, A406 ENLARGED UNITS, A602 DOOR SCHEDULE & DETAILS, A603 DOOR SCHEDULE & DETAILS, A604 DOOR JAMB & DETAILS, A605 GLAZING SCHEDULE & DETAILS.

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DWG. TITLE
GENERAL NOTES, ZONING
INFORMATION & INDEX
SCALE
N.T.S.
PROJECT NO.
2020-01
DATE
11-12-21
SHEET NUMBER
G001

DATE REVISION



EXISTING BUILDING LOOKING SOUTHWEST  
 ARCADE, DECORATIVE PARAPET, TRIMS, RAILINGS, TILE ROOF, SHIELDS AND SIGNAGE TO REMAIN.  
 EXISTING WINDOWS AND DOORS TO BE REPLACED WITH NEW WINDOWS AND DOORS (MULLION CONFIGURATION TO MATCH EXISTING)

1



EXISTING BUILDING LOOKING EAST  
 ARCADE, DECORATIVE PARAPET, TRIMS, RAILINGS, TILE ROOF, SHIELDS AND SIGNAGE TO REMAIN.  
 EXISTING WINDOWS AND DOORS TO BE REPLACED WITH NEW WINDOWS AND DOORS (MULLION CONFIGURATION TO MATCH EXISTING)

2



EXISTING BUILDING LOOKING NORTH  
 EXISTING WINDOWS TO BE REPLACED WITH NEW WINDOWS (MULLION CONFIGURATION TO MATCH EXISTING)  
 EXISTING BACK OF HOUSE TO BE RECONFIGURED

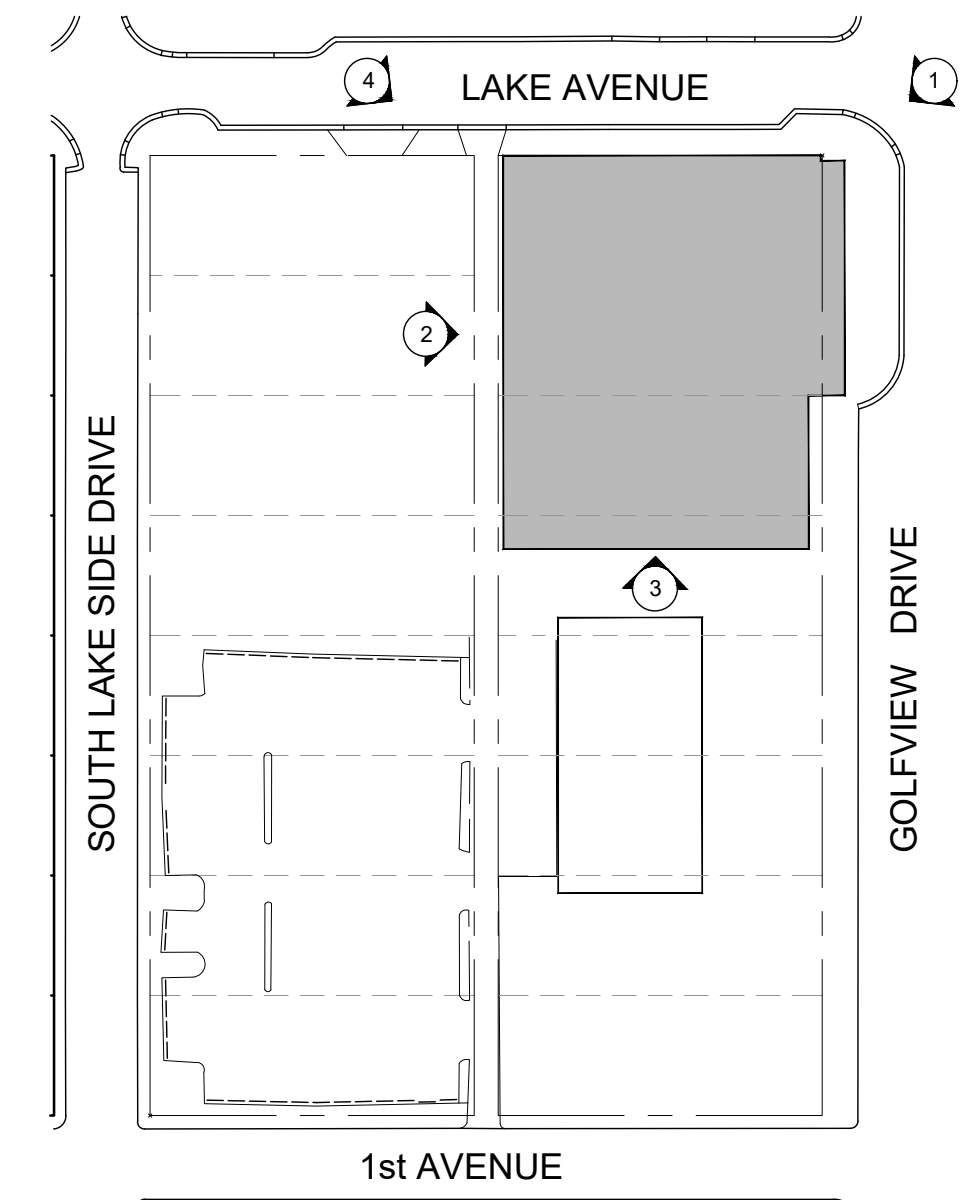
3



EXISTING BUILDING LOOKING SOUTHEAST  
 ARCADE, DECORATIVE PARAPET, TRIMS, RAILINGS, TILE ROOF, SHIELDS AND SIGNAGE TO REMAIN.  
 EXISTING WINDOWS AND DOORS TO BE REPLACED WITH NEW WINDOWS AND DOORS (MULLION CONFIGURATION TO MATCH EXISTING)

4

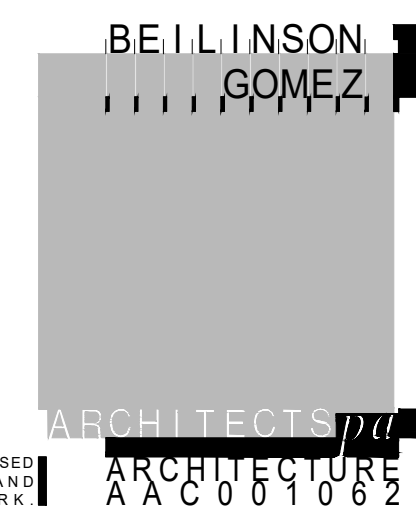
- GULFSTREAM HOTEL  
 DEFINING CHARACTERISTICS:
- SIX STORIES -100 FEET IN HEIGHT TO THE TOP OF STRUCTURE  
 87 FEET IN HEIGHT TO THE TOP OF PARAPET
  - MASONRY CONSTRUCTION
  - PRINCIPAL ARTICULATED ELEVATIONS ON THE NORTH (LAKE AVENUE) & EAST (GOLF VIEW DRIVE)
  - OVERALL PLAN SHAPE: RECTANGULAR, "H" PLAN SHAPE ON THE NORTH ELEVATION
  - ARCADES:  
 ONE STORY ON THE NORTH AND EAST ELEVATIONS, EXTENDING OUT TO THE SIDEWALK  
 DESIGN: A SERIES OF ROUND ARCHES WITH DECORATIVE KNEE WALL, ORNAMENTED WITH CONCRETE BALUSTERS AND RAILINGS
  - BAYS SYMMETRICAL ARRANGEMENT, PIERCED BY SIX-OVER-ONE WINDOWS THAT ARE PAIRED ON THE EAST ELEVATION AND ON THE INTERIOR WALLS OVERLOOKING THE MEZZANINE TERRACE ON THE NORTH ELEVATION; END BAYS FEATURE A SHAPED PARAPET THAT EXTENDS ABOVE THE MAIN PARAPET (ALL ELEVATIONS)
  - WINDOWS: TRIPLE WINDOW ARRANGEMENT (CENTER BAY RECTANGULAR WINDOW & FLANKED ON EITHER SIDE BY A MORE NARROW WINDOW & CREATING A TRIPARTITE ARRANGEMENT, IN THE CENTER BAY OF THE MEZZANINE FLOOR, NORTH ELEVATION, EAST END, NORTH ELEVATION FENESTRATED WITH DIVIDED SQUARE WINDOW SURMOUNTED BY A SEMI-CIRCULAR DIVIDED TRANSOM
  - DECORATION: TILE COPING AT THE TERMINATION OF THE PARAPET WALL, ROOF NORTH, EAST AND WEST ELEVATION
  - MEZZANINE TERRACE ON NORTH ELEVATION BETWEEN THE BAYS OF WINGS
  - MAIN ENTRANCE: NORTH PORCH FOCUSED BY THREE MATCHING SETS OF FRENCH DOORS WITH DIVIDED SIDELIGHTS AND TRANSOMS.
  - ELEVATOR TOWER TERMINATING IN A TILED HIP ROOF
  - SOUTH (REAR) ELEVATION: PROJECTING WINGS ON THE EAST AND WEST END WITH CONCRETE TIE BEAMS BETWEEN THE BAYS



KEY PLAN  
 SCALE: N.T.S.

# GULFSTREAM HOTEL

11 LAKE AVENUE  
 LAKE WORTH, FL 33460



DWG. TITLE	EXTERIOR PICTURES AND PRESERVATION DETAILS
SCALE	N.T.S.
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	G003



1 EXISTING VESTIBULE



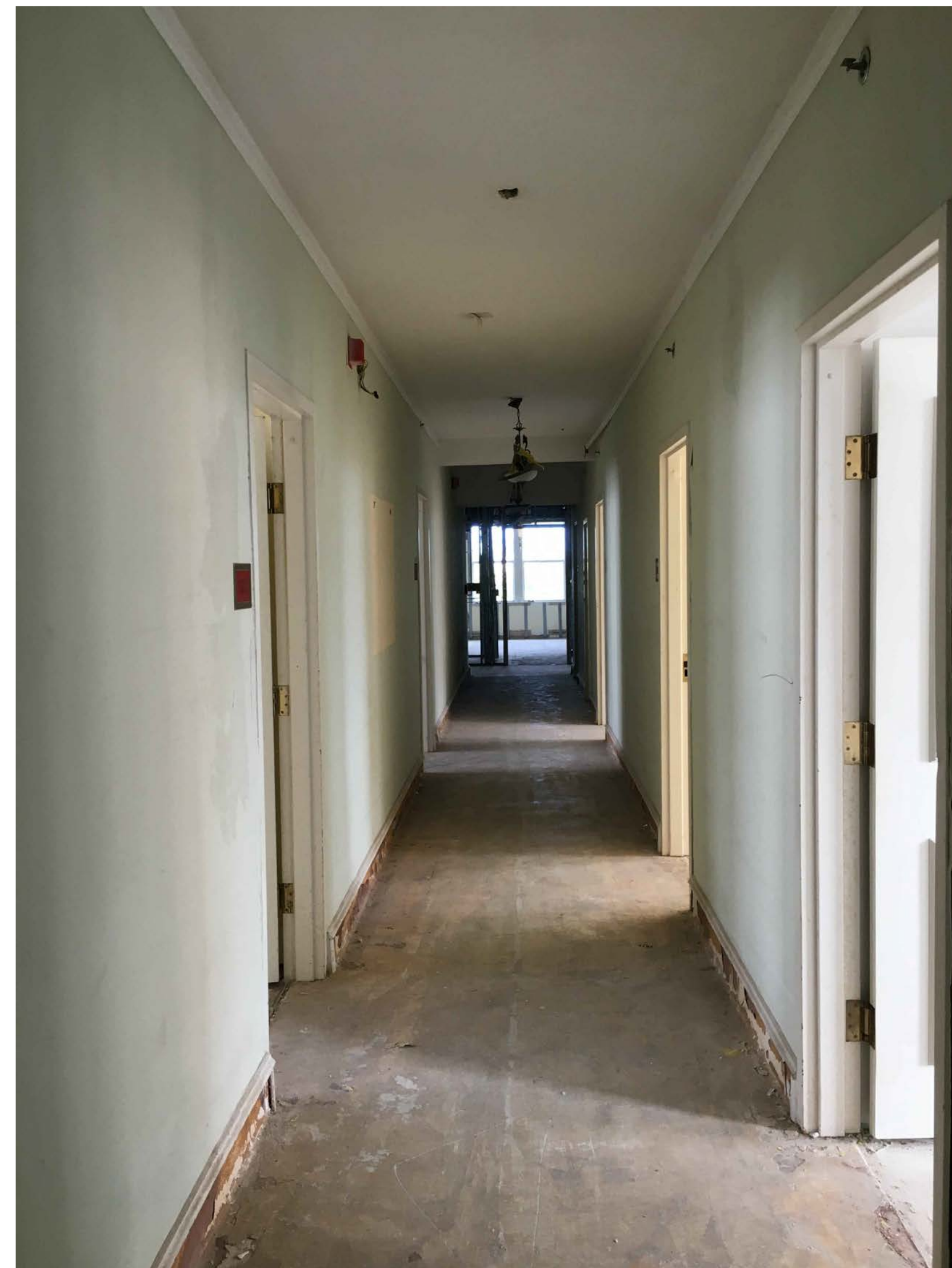
2 FORMER RESTAURANT SPACE



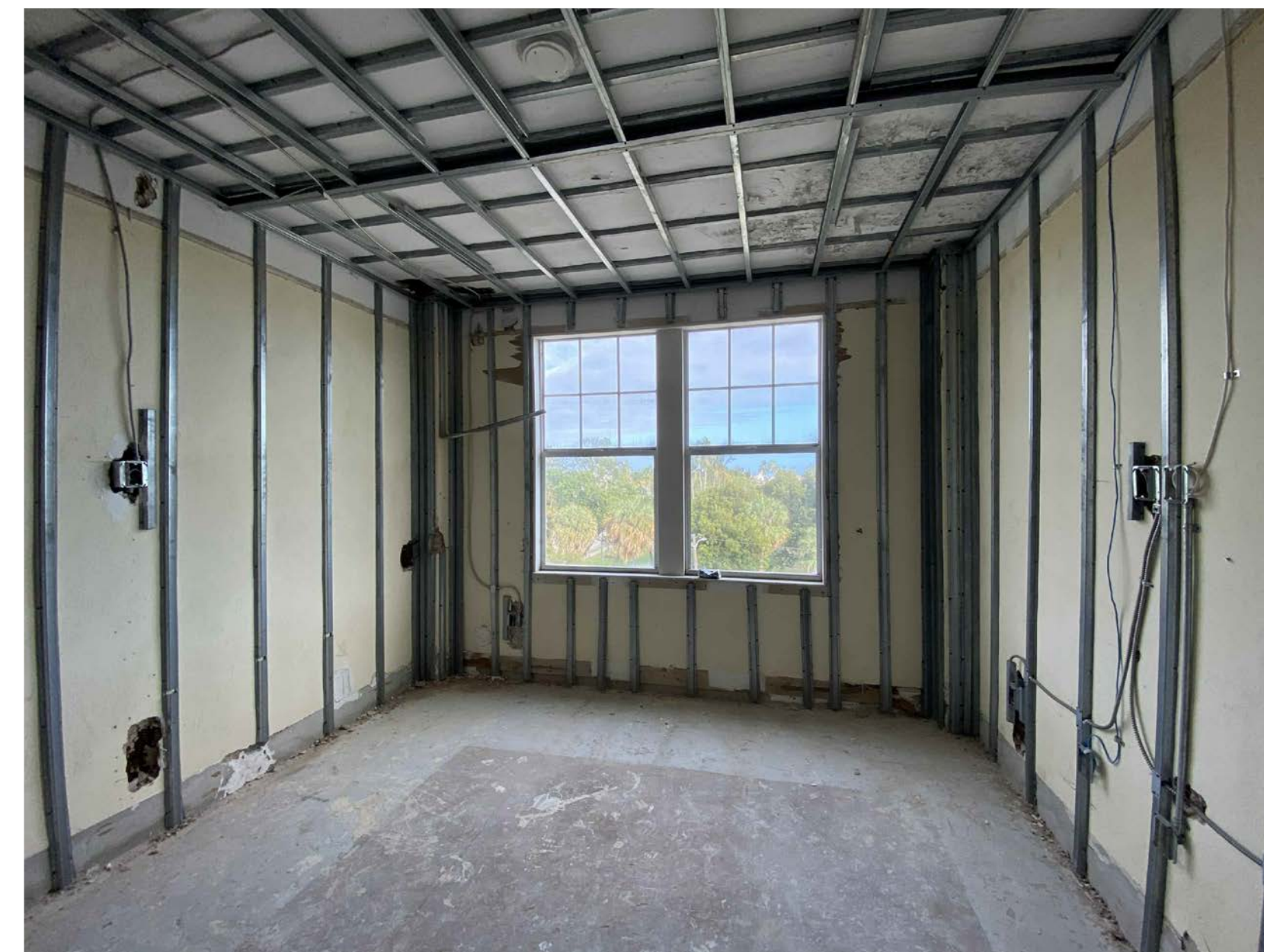
3 FORMER LOUNGE / LOBBY BAR SPACE



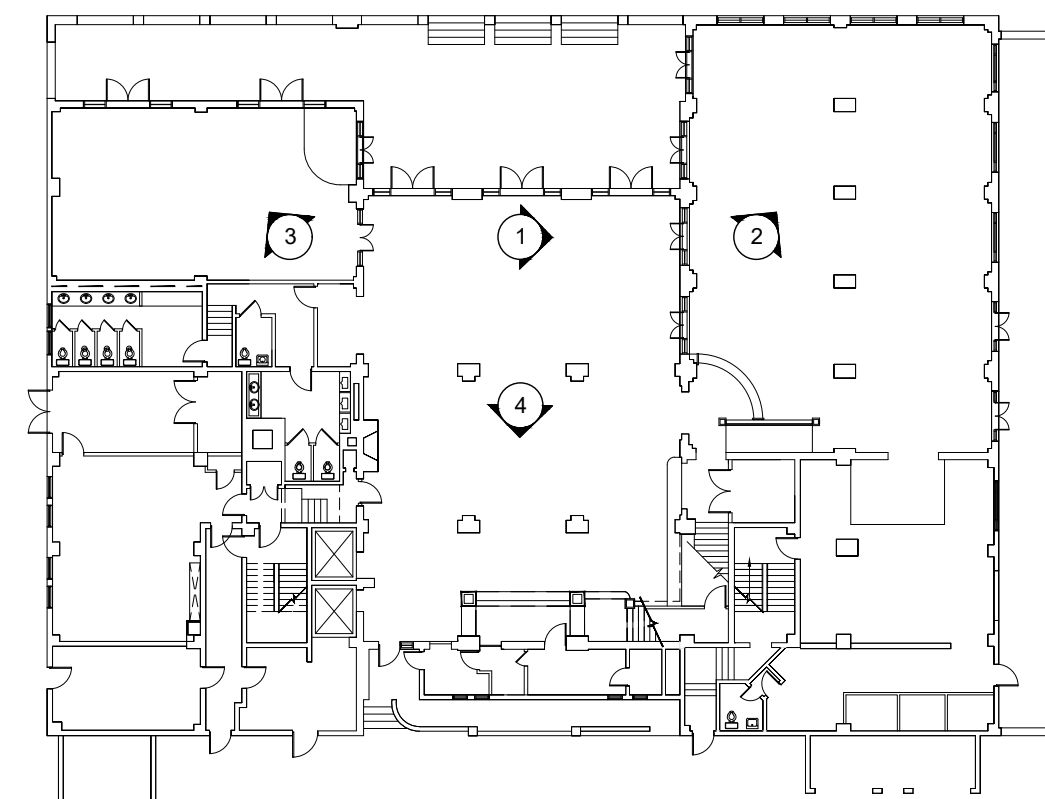
4 EXISTING FRONT DESK



EXISTING ROOM HALLWAYS



VIEW OF AN EXISTING ROOM LOOKING EAST



EXISTING GROUND LEVEL

# GULFSTREAM HOTEL

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DWG. TITLE  
INTERIOR PICTURES AND  
PRESERVATION DETAILS

SCALE

N.T.S.

PROJECT NO.

2020-01

DATE

11-12-21

SHEET NUMBER

G004

DATE REVISION



TRIMS  
CLAY BARREL TILE ROOF  
GULFSTREAM SHIELD AND SIGNAGE  
EXISTING WINDOWS TO BE REPLACED WITH NEW WINDOWS (MULLION CONFIGURATION TO MATCH EXISTING)



EXISTING FRENCH DOORS TO BE REPLACED WITH NEW DOORS (MULLION CONFIGURATION TO MATCH EXISTING)



CHIMNEY



INTERIOR PRECAST CONCRETE RAILINGS



INTERIOR PRECAST CONCRETE RAILINGS



EXTERIOR METAL RAILINGS



ORIGINAL SIGNAGE @ NORTH ELEVATION

# GULFSTREAM HOTEL

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ROSE + GOMEZ

DWG. TITLE  
PRESERVATION  
DETAILS

SCALE  
N.T.S.

PROJECT NO.  
2020-01

DATE  
11-12-21

SHEET NUMBER  
G005

DATE

REVISION





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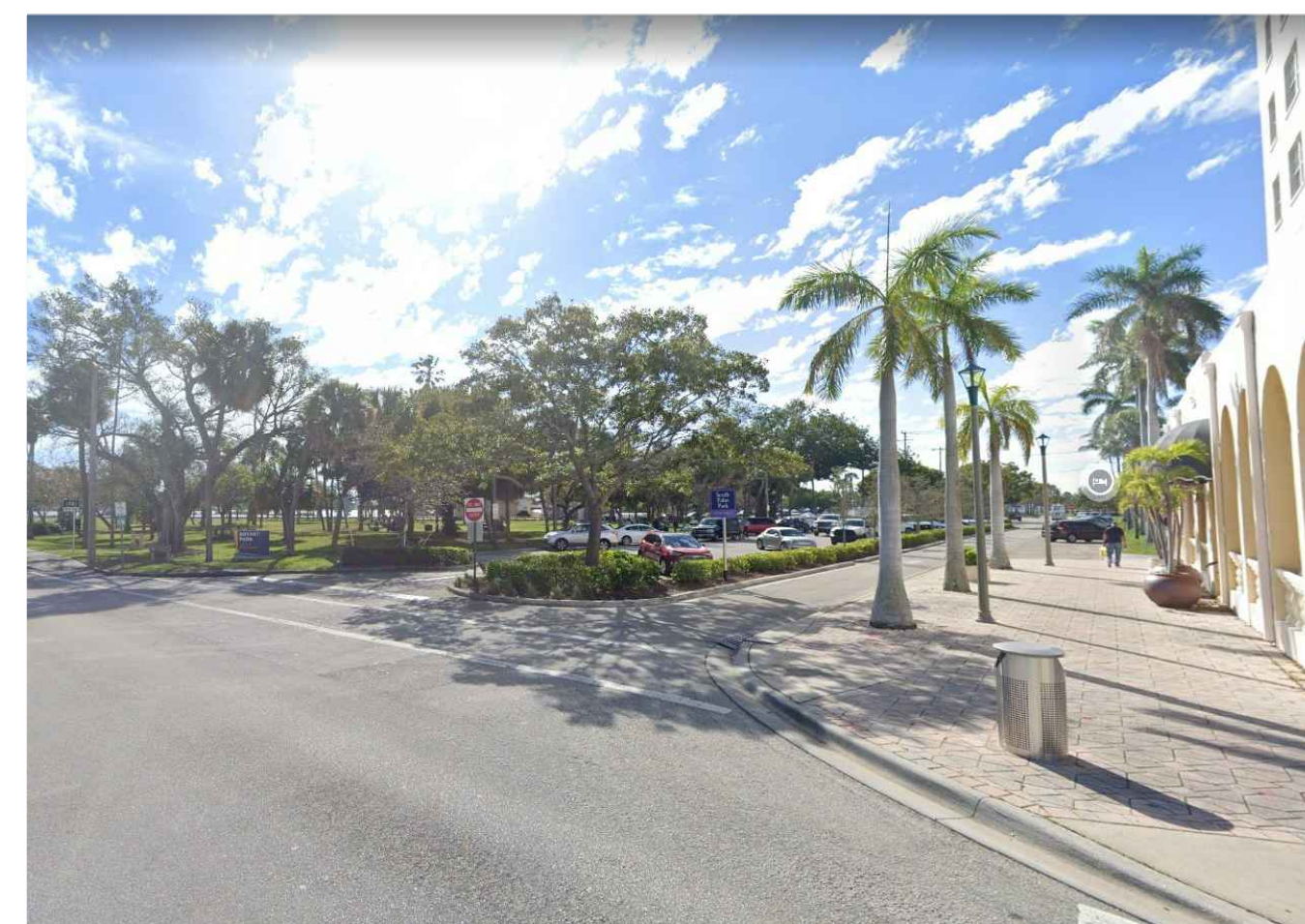
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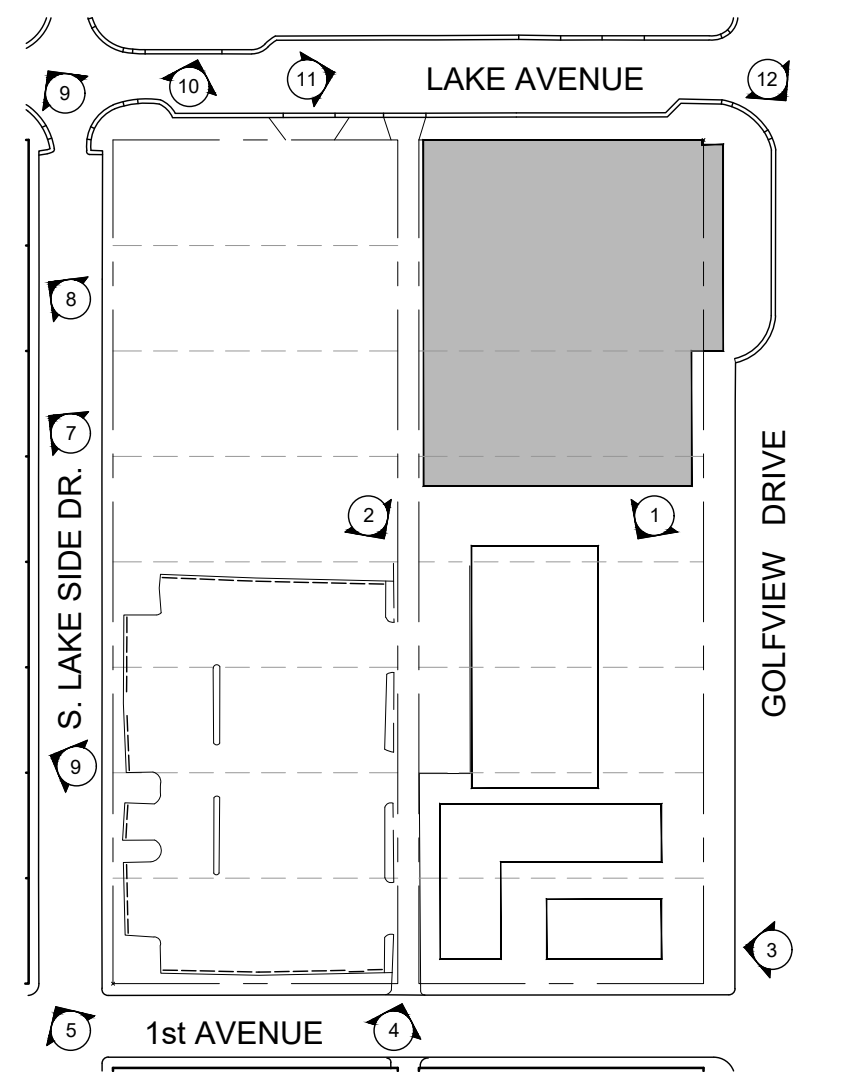
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11



12



KEY PLAN  
SCALE: N.T.S.

# GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

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ROSE + GOMEZ

DWG. TITLE  
CONTEXT PICTURES

SCALE  
N.T.S.

PROJECT NO.  
2020-01

DATE  
11-12-21

SHEET NUMBER  
G006

DATE REVISION



### GENERAL DEMOLITION NOTES:

- SCOPE:
  - FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE THIS WORK AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND NECESSARY TO COMPLETE THE CONTRACT, INCLUDING BUT NOT LIMITED TO, THESE MAJOR ITEMS:
    - A- PROTECTION OF EXISTING WORK TO REMAIN.
    - B- TEMPORARY BARRICADES.
    - C- REMOVAL, STORAGE AND PROTECTION OF ITEMS TO BE REUSED, WHEN INDICATED FOR REUSE. CLEAN, STORE AS DIRECTED AND PROTECT. IDENTIFY POINT OF REUSE.
    - D- REMOVAL OF PARTITIONS, DOORS, WALL COVERINGS AND CEILING AS INDICATED.
    - E- REMOVAL OF MECHANICAL AND ELECTRICAL FIXTURES AND SERVICES AS INDICATED.
    - F- DEBRIS REMOVAL.
    - G- REMOVE FIXTURES AND EQUIPMENT AS INDICATED. WHEN INDICATED FOR REUSE. CLEAN, STORE AS DIRECTED AND PROTECT. IDENTIFY POINT OF REUSE.
- GENERAL REQUIREMENTS:
  - A- FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK. ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS OF THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED.
  - B- ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREAFTER. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THE CONTRACT DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSIDERED AS INCLUDING WHATEVER SUMS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED, AND ATTAIN THE COMPLETED CONDITIONS CONTAINED BY THE CONTRACT.
  - C- CONFER WITH ON SITE PROPERTY MANAGER AS TO DISPOSITION OF MATERIALS WHICH SHE/HE MAY WISH TO RETAIN SPECIFICALLY INCLUDED EQUIPMENT AND DOORS OF ALL TYPES. IF ON SITE MANAGER REQUESTS TO RETAIN ANY OF THE REMOVED ITEMS, PROTECT AND STORE AS DIRECTED BY MANAGER AT MANAGERS EXPENSE.
  - D- CODES: PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODE OF THE GOVERNING BODY HAVING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY ORDERS AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
  - E- UNFORESEEN CONDITIONS: INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSITATED AS A RESULT OF UNFORESEEN CONDITIONS AND THE WORKING OF ADJUTING SURFACES AS REQUIRED TO MAKE NEW WORK JOIN AND MATCH EXISTING SURFACES TO REMAIN. NO EXTRA PAYMENTS BASED ON THE PLEA OF UNFORESEEN CONDITIONS WILL BE ALLOWED.
  - F- PHASING OF THE WORK: CONFER WITH THE ARCHITECT AS TO THE SEQUENCING AND THE PHASING OF VARIOUS PARTS OF THE WORK COOPERATE FULLY TO THE END THAT CERTAIN FACILITIES AND SERVICES ARE MAINTAINED IN OPERATION UNTIL IMMEDIATELY BEFORE THEIR REMOVAL IS REQUIRED TO PERMIT INSTALLATION OF NEW WORK.
  - G- REMOVED MATERIALS AND OTHER DEBRIS:
    - 1. ALL REMOVED MATERIAL NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
    - 2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.
    - 3. LEAVE ALL SPACES BROOM CLEAN AND WITH ALL LEDGES AND CORNERS PROPERLY CLEAN.
  - H- SITE PROTECTION:
    - A- BARRIERS: TEMPORARY BARRIERS ARE TO BE FURNISHED, IF APPLICABLE.
    - B- GLASS: PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE. AT NO ADDITIONAL COST REPLACE ALL BROKEN GLASS.
    - C- PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUIRED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INJURY.
    - D- EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
    - E- ITEMS TO BE REUSED: EXERCISE THE GREATEST POSSIBLE CARE WHEN REMOVING ITEMS SCHEDULED FOR REUSE. USE ONLY MECHANICS SKILLED IN THE APPROPRIATE TRADES. IDENTIFY POINT OF REUSE, STORE AND PROTECT AT LOCATIONS DIRECTED.
    - F- DURING DEMOLITION WORKERS ARE TO WEAR DUST MASKS AND PROTECTIVE GLOVES & HEAD GEAR.
- GENERAL DEMOLITION:
  - A- DO NOT REMOVE ANY STRUCTURAL WALLS (LOAD BEARING OR SHEAR WALLS) OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY AS NOTED AS STRUCTURAL ELEMENT TO BE REMOVED. NOTIFY PROJECT MANAGER IF ANY STRUCTURAL ELEMENTS ARE DISCOVERED AND NOTED TO BE REMOVED AND NOT NOTED AS STRUCTURAL ELEMENTS.
  - B- ALL CMU WALLS SHALL BE INSPECTED BY A STRUCTURAL EN.

- FIRE ALARM SYSTEM:
- MAIN AS WELL AS SLAVE TYPE FIRE ALARM SYSTEMS SHALL REMAIN IN PLACE AND OPERATIONAL.
  - ALL FIRE ALARM FLOW SWITCHES, TAMPER SWITCHES AND PULL STATIONS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN IN PLACE.
  - ANY SMOKE DETECTOR, DUCT DETECTOR, HORN / STROBE DEVICE LOCATED WITHIN ROOMS IDENTIFIED FOR DEMOLITION SHALL BE ELIMINATED AND THEIR ZONE SIGNAL SHALL BE DISABLED AT THE MAIN CONTROL PANEL, UNLESS SUCH DEVICE IS FOUND TO BE ASSOCIATED WITH A HVAC SYSTEM IDENTIFIED TO REMAIN.
  - ALL HORN / STROBE DEVICES LOCATED ALONG THE PERIMETER WALLS OF THE PROPOSED TENANT SPACE SHALL REMAIN ACTIVE.
  - ALL FIRE ALARM DEVICES ASSOCIATED WITH ABANDONED GREASE HOOD SYSTEMS SHALL BE ELIMINATED AND DISCONNECTED FROM THE MAIN CONTROL PANEL.
  - ALL ZONES AND SIGNAL POINTS RELATED TO FIRE ALARM DEVICES ASSOCIATED WITH THE PROPOSED TENANT SPACE SHALL BE IDENTIFIED AT MAIN FIRE ALARM SYSTEM PANEL.
  - UPON COMPLETION OF INTERIOR DEMOLITION, PROJECT ARCHITECT AND ENGINEER MAY INSPECT THE SITE AND PROVIDE ADDITIONAL GUIDELINES FOR FURTHER DEMOLITION OF THE EXISTING FIRE ALARM SYSTEM COMPONENTS.

### GENERAL NOTES:

- EXISTING F.S.D. SHALL BE IDENTIFIED, DISABLED, AND LEFT ON CLOSED POSITION.
- SEE ELECTRICAL DEMO NOTES FOR EXISTING ELECTRICAL DEMO NOTES FOR EXISTING ELECTRICAL SECURITY, DATA, AND PHONE PANEL.
- VERIFY IN FIELD IF EXISTING WALL IS FIRE RATED.
- ALL LIFE SAFETY SYSTEM WILL REMAIN OPERATIONAL FOR THE ADJACENT SPACES DURING DEMOLITION WORK.

### DEMOLITION LIFE SAFETY NOTES:

- EXISTING SPACES WITHIN THIS SCOPE OF WORK WILL BE VACANT & CLOSED DURING DEMOLITION.
- G.C. TO COMPLY WITH NFPA 1 2018 ED.
- ALL EXISTING DEMISING PARTITIONS TO MEET UL DESIGN U419. ANY NEW REPAIRS TO EXISTING DEMISING PARTITIONS TO MEET SAME CRITERIA.
- MEANS OF EGRESS AND LIFE SAFETY EQUIPMENTS SHALL NOT BE OBSTRUCTED BY DEBRIS CONTAINER.

### DEMOLITION KEY NOTES

- EXISTING FINISH FLOOR THROUGHOUT TO BE REMOVED WITHIN THE LIMITS OF THIS CONTRACT.
- EXISTING CEILING FINISHES TO UNDERSIDE STRUCTURE TO BE REMOVED UNLESS STATED OTHERWISE, WITHIN THE LIMITS OF THIS CONTRACTS.
- EXISTING BATHROOM TO BE REMOVED. OWNER TO CONFIRM IF PLUMBING FIXTURES ARE TO BE SAVED AND REUSE.
- EXISTING DOOR / FRAME TO BE REMOVED.
- EXISTING STEPS/STAIRCASE TO BE DEMOLISHED.
- THE EXISTING WINDOWS AND DOORS ARE NON-HISTORIC / NON-IMPACT WINDOWS/DOORS. THEY WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPATHETIC TO THE ORIGINAL WINDOW DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL AND THEY SHALL MEET ALL APPLICABLE SECTIONS OF IBC 2020 ITH EDITION, CHAPTER 2411.
- HISTORIC ELEMENTS TO BE PRESERVED. GC TO CLEAN, REPAIR & PAINT AS NEEDED. PLEASE REFER TO SHEET 0005 FOR REFERENCE IMAGES.
- EXISTING ROOFING TO BE REMOVED.
- EXISTING WINDOW AND WINDOW SILL TO BE DEMOLISHED TO FIT NEW GLASS DOOR.
- DECORATIVE ELEMENT IN FACADE TO REMAIN.
- ALL STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, LOAD-BEARING WALLS, ARE EXISTING TO REMAIN.
- MECHANICAL EQUIPMENT TO BE REMOVED
- CMU WALL TO BE DEMOLISHED.
- DOOR TO BE REMOVED
- EXISTING RAILING TO BE REMOVED.
- WINDOW UNIT TO BE REMOVED.
- EXISTING SIGNAGE TO BE REMOVED AND REPLACED BY NEW SIGNAGE SYMPATHETIC TO THE ORIGINAL CONFIGURATION BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL. REFER TO 0005 FOR REFERENCE IMAGE.

### LEGEND

[Pattern]	WALL/PARTITION TO BE DEMOLISHED
[Pattern]	EXISTING CMU WALL / STRUCTURE TO REMAIN
[Pattern]	EXISTING INTERIOR PARTITION TO REMAIN
[Pattern]	NOT PART OF THE SCOPE OF WORK
[Symbol]	SOFFIT ABOVE
[Symbol]	DEMOLITION TAG
[Symbol]	EXISTING DOOR TO REMAIN



EAST ELEVATION

### MECHANICAL / ELECTRICAL / PLUMBING & FIRE PROTECTION DEMOLITION NOTES:

- MECHANICAL:
- ALL EXISTING DUCTWORK, DISTRIBUTION GRILLES AND CONDENSATE DRAINAGE PIPING WITHIN THE BUILDING SPACE SHALL BE REMOVED. MAIN DUCTS SHALL REMAIN WITH STUDENTS WITH OPEN ENDS. UPON COMPLETION OF FIRST STAGE OF DEMO WORK, PROJECT ARCHITECT AND ENGINEER WILL VISIT THE PROPOSED SPACE FOR FURTHER EVALUATION AND RECOMMENDATIONS FOR SECOND STAGE OF DEMOLITION.
  - ANY EXHAUST AND OUTSIDE AIR INTAKE DUCT LOCATED BUILDING SPACE AND PENETRATING THROUGH EXTERIOR WALLS OR ROOFS SHALL BE MAINTAINED. ALL DUCTWORK AND EQUIPMENT ASSOCIATED WITH SUCH PENETRATION SHALL BE REMOVED.
  - ALL CHILLED WATER AND / OR CONDENSER WATER PIPING AS WELL AS ANY REFRIGERANT PIPING ASSOCIATED WITH ANY OF THE ELIMINATED HVAC UNITS LOCATED WITHIN THE BUILDING SPACE SHALL REMAIN AND SHALL BE VALVED AND CAPPED OFF FOR FURTHER EVALUATION DURING SECOND STAGE OF DEMOLITION.
  - ANY FIRE OR FRESMOKE DAMPERS FOUND IN DEMISING WALLS OR FLOORS WITHIN THE PROPOSED TENANT SPACE SHALL BE MAINTAINED.
  - CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN (CONFER WITH ON SITE PROPERTY MANAGER).
- ELECTRICAL:
- ALL EXISTING POWER OUTLETS, EQUIPMENT DISCONNECTS AND ASSOCIATED SPICE BOXES, WIRING AND DEVICES SHALL BE ELIMINATED UNLESS ASSOCIATED WITH HVAC EQUIPMENT IDENTIFIED TO REMAIN OPERATIONAL AS REFERENCED ABOVE.
  - ALL ELECTRICAL DEVICES, CONDUITS, POWER OUTLETS, SWITCHES, ETC. LOCATED ON INTERIOR PARTITION WALLS AND CEILING SHALL BE ELIMINATED.
  - ALL EMERGENCY AND EXIT LIGHTS LOCATED WITHIN INTERIOR SPACES SHALL BE ELIMINATED. ANY EMERGENCY AND EXIT LIGHTS LOCATED AT PERIMETER WALLS OF THE BUILDING SPACE AS WELL AS AT LOCATIONS ADJACENT TO MAIN EGRESS DOORS OF THE BUILDING SPACE SHALL REMAIN IN PLACE.
  - ANY SUSPENDED / EXPOSED STRIP FLUORESCENT TYPE LIGHT FIXTURES SHALL REMAIN IN PLACE.
  - ALL ELECTRICAL PANELS FOUND WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN IN PLACE. ANY EXISTING PANEL FOUND INSTALLED ON AN EXISTING WALL IDENTIFIED FOR DEMOLITION, SHALL REMAIN SUSPENDED FROM CONDUITS, FOR FURTHER EVALUATION AND RECOMMENDATIONS FOR SECOND STAGE OF DEMOLITION.
  - WHEN ELIMINATING EXISTING POWER, EQUIPMENT AND LIGHTING CIRCUITS FROM EXISTING PANELS, DEMOLITION CONTRACTOR SHALL CONFIRM THAT THERE ARE NO DEVICES LOCATED OUTSIDE OF THE PROPOSED TENANT SPACE AND TIED TO THE SAME CIRCUIT INTENDED FOR ELIMINATION. IN THE EVENT THAT SUCH CONDITION IS DISCOVERED, POWER SUPPLY TO DEVICES, LOCATED OUTSIDE OF THE PROPOSED SPACE, SHALL BE MAINTAINED, WHILE THE DEVICES WITHIN THE PROPOSED SPACE ARE ELIMINATED.
  - ALL MAIN SERVICE FEEDERS AND CONDUITS EXTENDING FROM THE EXISTING BUILDING ELECTRICAL ROOMS TO ANY OF THE EXISTING ELECTRICAL PANELS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN AND SHALL BE IDENTIFIED / MARKED WITH ASSOCIATED SOURCE POINT.
  - ALL EXISTING ELECTRICAL METERS ASSOCIATED WITH PANELS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE IDENTIFIED AND SHALL REMAIN IN PLACE.
  - UPON COMPLETION OF FIRST STAGE OF DEMOLITION WORK, PROJECT ARCHITECT AND ENGINEER SHALL INSPECT THE SITE TOGETHER WITH THE ELECTRICAL DEMOLITION CONTRACTOR AND ESTABLISH PARAMETERS FOR SECOND STAGE OF ELECTRICAL DEMOLITION WORK.
  - REMOVE LINES COMPLETELY WHEREVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER BEHIND THE RACK OF FINISH MATERIAL.
  - WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 8" ABOVE FINISH CEILING.
- PLUMBING:
- ANY EXISTING PLUMBING FIXTURES LOCATED WITHIN THE BUILDING SPACE TO REMAIN, THOSE SPECIFIED TO BE REMOVED SHALL BE PROTECTED & STORED AS DIRECTED BY BUILDING MANAGER AT MANAGERS EXPENSE.
  - ALL EXISTING SANITARY, GREASE WASTE, GAS PIPING, AND DOMESTIC HOT / COLD WATER PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE ELIMINATED UNLESS FOUND TO BE ASSOCIATED WITH OTHER ADJACENT TENANT SPACES. IN SUCH EVENT, THE MAIN LINES EXTENDING INTO OTHER TENANT SPACE SHALL REMAIN AND BRANCH PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE CAPPED OFF AND PROVIDED WITH SHUT-OFF VALVES WHEN SUCH PIPING IS DOMESTIC WATER PIPING.
  - ALL GAS SERVICE PIPING LOCATED WITHIN THE PROPOSED SPACE SHALL BE ELIMINATED TOGETHER WITH ASSOCIATED GAS SERVICE METERS, IF APPLICABLE. CONFER WITH ON SITE BUILDING MANAGER PRIOR TO PROCEED WITH WORK.
  - ALL HOT WATER PIPING LOCATED WITHIN THE PROPOSED SPACE SHALL BE EXISTING TO REMAIN, TOGETHER WITH ALL WATER HEATERS.
  - ALL STORM DRAINAGE PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN AS IS.
  - ALL EXISTING FLOOR DRAINS & FLOOR SINKS NOT PART OF THIS PERMIT NEED TO BE CAPPED OFF BY G.C.
- FIRE SPRINKLER SYSTEM:
- ALL EXISTING FIRE SPRINKLER DISTRIBUTION WITHIN THE PROPOSED TENANT SPACE IS TO REMAIN. ANY BRANCH PIPE AND SPRINKLER HEADS LOCATED WITHIN CLOSETS AND SMALL OFFICE SPACES, BATHROOMS, ETC. IDENTIFIED TO BE DEMOLISHED SHALL BE ELIMINATED, AND PIPING CAPPED OFF AT MAIN BRANCH.
  - UPON COMPLETION OF DEMOLITION OF ALL EXISTING INTERIOR PARTITIONS, PROJECT ARCHITECT AND ENGINEER SHALL INSPECT THE SITE AND PROVIDE ADDITIONAL DEMOLITION CRITERIA AS NECESSARY.
  - ALL EXISTING TAMPERFLOW SWITCHES AND CONTROL VALVES ASSOCIATED WITH EXISTING SPRINKLER SYSTEM SHALL REMAIN IN PLACE WITHIN THE PROPOSED TENANT SPACE. ALL MAIN BRANCH PIPING AND VALVES SHALL BE IDENTIFIED.

## GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS  
A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD # 309 316  
M I A M FL 33148  
T 305.559.1250 F 305.551.1740

DWG. TITLE  
DEMOLITION EAST ELEVATION

SCALE  
1/8" = 1'-0"

PROJECT NO.  
2020-01

DATE  
11-12-21

SHEET NUMBER  
D202

DATE REVISION

## GENERAL DEMOLITION NOTES:

### 1- SCOPE:

- FURNISH EQUIPMENT AND PERFORM LABOR REQUIRED TO EXECUTE THIS WORK AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND NECESSARY TO COMPLETE THE CONTRACT, INCLUDING BUT NOT LIMITED TO, THESE MAJOR ITEMS:
- A- PROTECTION OF EXISTING WORK TO REMAIN.
- B- TEMPORARY BARRICADES.
- C- REMOVAL, STORAGE AND PROTECTION OF ITEMS TO BE REUSED, WHEN INDICATED FOR REUSE, CLEAN, STORE AS DIRECTED AND PROTECT, IDENTIFY POINT OF REUSE.
- D- REMOVAL OF PARTITIONS, DOORS, WALL COVERINGS AND CEILINGS AS INDICATED.
- E- REMOVAL OF MECHANICAL AND ELECTRICAL FIXTURES AND SERVICES AS INDICATED.
- F- DEBRIS REMOVAL.
- G- REMOVE FIXTURES AND EQUIPMENT AS INDICATED, WHEN INDICATED FOR REUSE, CLEAN, STORE AS DIRECTED AND PROTECT, IDENTIFY POINT OF REUSE.

### 2- GENERAL REQUIREMENTS:

- A- FIELD CONDITIONS: TAKE INTO CONSIDERATION AS NECESSARY WORK, ALL OBVIOUS EXISTING CONDITIONS AND INSTALLATIONS OF THE SITE AS THOUGH THEY WERE COMPLETELY SHOWN OR DESCRIBED.
- B- ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREAFTER. ALL PROPOSALS SHALL TAKE INTO ACCOUNT ALL SUCH CONDITIONS AND LIMITATIONS WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN ANY OF THE CONTRACT DOCUMENTS AND EVERY PROPOSAL SHALL BE CONSIDERED AS INCLUDING WHATEVER SUMS ARE NEEDED TO COMPLETE THE WORK IN EVERY PART AS SHOWN, DESCRIBED OR REASONABLY REQUIRED OR IMPLIED, AND ATTAIN THE COMPLETED CONDITIONS CONTAINED BY THE CONTRACT.
- C- CONFER WITH ON SITE PROPERTY MANAGER AS TO DISPOSITION OF MATERIALS WHICH SHE(HE) MAY WISH TO RETAIN SPECIFICALLY INCLUDED EQUIPMENT AND DOORS OF ALL TYPES, IF ON SITE MANAGER ELECTS TO RETAIN ANY OF THE REMOVED ITEMS, PROTECT AND STORE AS DIRECTED BY MANAGER AT MANAGER'S EXPENSE.
- D- CODES: PERFORM ALL WORK IN ACCORDANCE WITH THE BUILDING CODE OF THE GOVERNING BODY HAVING JURISDICTION, THE GOVERNING STATE INDUSTRIAL SAFETY ORDERS AND THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT.
- E- UNFORESEEN CONDITIONS: INCLUDE IN THE BASE BID MISCELLANEOUS CUTTING AND PATCHING NECESSARY AS A RESULT OF UNFORESEEN CONDITIONS AND THE WORKING OF ADJUTING SURFACES AS REQUIRED TO MAKE NEW WORK JOIN AND MATCH EXISTING SURFACES TO REMAIN. NO EXTRA PAYMENTS BASED ON THE PLSA UNFORESEEN CONDITIONS WILL BE ALLOWED.
- F- PHASING OF THE WORK: CONFER WITH THE ARCHITECT AS TO THE SEQUENCING AND THE PHASING OF VARIOUS PARTS OF THE WORK, COOPERATE FULLY TO THE END THAT CERTAIN FACILITIES AND SERVICES ARE MAINTAINED IN OPERATION UNTIL IMMEDIATELY BEFORE THEIR REMOVAL IS REQUIRED TO PERMIT INSTALLATION OF NEW WORK.
- G- REMOVED MATERIALS AND OTHER DEBRIS:
  - 1. ALL REMOVED MATERIAL, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR WHO SHALL REMOVE IT FROM THE SITE.
  - 2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER.
  - 3. LEAVE ALL SPACES BROOM CLEAN AND WITH ALL LEDGES AND CORNERS PROPERLY CLEAN.
- H- SITE PROTECTION:
  - A. BARRIERS, TEMPORARY BARRIERS ARE TO BE FURNISHED, IF APPLICABLE.
  - B. GLASS: PROVIDE SUCH PROTECTION AS MAY BE REQUIRED TO PREVENT GLASS BREAKAGE. AT NO ADDITIONAL COST REPLACE ALL BROKEN GLASS.
  - C. PROTECTION OF PERSONNEL: ERECT SIGNS, BARRICADES AND SUCH OTHER FORMS OF WARNING AS MAY BE REQUIRED TO PREVENT PERSONNEL FROM PUTTING THEMSELVES IN THE WAY OF INJURY.
  - D. EXISTING WORK TO REMAIN: PROVIDE SUCH FORMS OF PROTECTION AS MAY BE NECESSARY TO PREVENT DAMAGE TO EXISTING WORK AND EQUIPMENT TO REMAIN.
  - E. ITEMS TO BE REUSED: EXERCISE THE GREATEST POSSIBLE CARE WHEN REMOVING ITEMS SCHEDULED FOR REUSE. USE ONLY MECHANICS SKILLED IN THE APPROPRIATE TRADES. IDENTIFY POINT OF REUSE, STORE AND PROTECT AT LOCATIONS DIRECTED.
  - F. DURING DEMOLITION WORKERS ARE TO WEAR DUST MASKS AND PROTECTIVE GLOVES & HEAD GEAR.
- I- GENERAL DEMOLITION:
  - A. DO NOT REMOVE ANY STRUCTURAL WALLS (LOAD BEARING OR SHEAR WALLS) OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY AS NOTED AS STRUCTURAL ELEMENT TO BE REMOVED. NOTIFY PROJECT MANAGER IF ANY STRUCTURAL ELEMENTS ARE DISCOVERED AND NOTED TO BE REMOVED AND NOT NOTED AS STRUCTURAL ELEMENTS.
  - B. ALL CMU WALLS SHALL BE INSPECTED BY A STRUCTURAL EN.

### FIRE ALARM SYSTEM:

- 1. MAIN AS WELL AS SLAVE TYPE FIRE ALARM SYSTEMS SHALL REMAIN IN PLACE AND OPERATIONAL.
- 2. ALL FIRE ALARM FLOW SWITCHES, TAMPER SWITCHES AND PULL STATIONS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN IN PLACE.
- 3. ANY SMOKE DETECTOR, DUCT DETECTOR, HORN / STROBE DEVICE LOCATED WITHIN ROOMS IDENTIFIED FOR DEMOLITION SHALL BE ELIMINATED AND THEIR ZONE SIGNAL SHALL BE DISABLED AT THE MAIN CONTROL PANEL, UNLESS SUCH DEVICE IS FOUND TO BE ASSOCIATED WITH A HVAC SYSTEM IDENTIFIED TO REMAIN.
- 4. ALL HORN / STROBE DEVICES LOCATED ALONG THE PERIMETER WALLS OF THE PROPOSED TENANT SPACE SHALL REMAIN ACTIVE.
- 5. ALL FIRE ALARM DEVICES ASSOCIATED WITH ABANDONED GREASE HOOD SYSTEMS SHALL BE ELIMINATED AND DISCONNECTED FROM THE MAIN CONTROL PANEL.
- 6. ALL ZONES AND SIGNAL POINTS RELATED TO FIRE ALARM DEVICES ASSOCIATED WITH THE PROPOSED TENANT SPACE SHALL BE IDENTIFIED AT MAIN FIRE ALARM SYSTEM PANEL.
- 7. UPON COMPLETION OF INTERIOR DEMOLITION, PROJECT ARCHITECT AND ENGINEER MAY INSPECT THE SITE AND PROVIDE ADDITIONAL GUIDELINES FOR FURTHER DEMOLITION OF THE EXISTING FIRE ALARM SYSTEM COMPONENTS.

## GENERAL NOTES:

- 1. EXISTING F.S.D. SHALL BE IDENTIFIED, DISABLED, AND LEFT ON CLOSED POSITION.
- 2. SEE ELECTRICAL DEMO NOTES FOR EXISTING ELECTRICAL DEMO NOTES FOR EXISTING ELECTRICAL, SECURITY, DATA, AND PHONE PANEL.
- 3. VERIFY IN FIELD IF EXISTING WALL IS FIRE RATED.
- 4. ALL LIFE SAFETY SYSTEM WILL REMAIN OPERATIONAL FOR THE ADJACENT SPACES DURING DEMOLITION WORK.

## DEMOLITION LIFE SAFETY NOTES:

- 1. EXISTING SPACES WITHIN THIS SCOPE OF WORK WILL BE VACANT & CLOSED DURING DEMOLITION.
- 2. G.C. TO COMPLY WITH NFPA 12018 ED.
- 3. ALL EXISTING DEMISING PARTITIONS TO MEET UL DESIGN U419. ANY NEW REPAIRS TO EXISTING DEMISING PARTITIONS TO MEET SAME CRITERIA.
- 4. MEANS OF EGRESS AND LIFE SAFETY EQUIPMENTS SHALL NOT BE OBSTRUCTED BY DEBRIS CONTAINER.

## DEMOLITION KEY NOTES

- 1. EXISTING FINISH FLOOR THROUGHOUT TO BE REMOVED WITHIN THE LIMITS OF THIS CONTRACT.
- 2. EXISTING CEILING FINISHES TO UNDERSIDE STRUCTURE TO BE REMOVED UNLESS STATED OTHERWISE, WITHIN THE LIMITS OF THIS CONTRACTS.
- 3. EXISTING BATHROOM TO BE REMOVED. OWNER TO CONFIRM IF PLUMBING FIXTURES ARE TO BE SAVED AND REUSE.
- 4. EXISTING DOOR / FRAME TO BE REMOVED.
- 5. EXISTING STEPS/STAIRCASE TO BE DEMOLISHED.
- 6. THE EXISTING WINDOWS AND DOORS ARE NON-HISTORIC / NON-IMPACT WINDOWS/DOORS. THEY WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPHATIC TO THE ORIGINAL WINDOW DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL AND THEY SHALL MEET ALL APPLICABLE SECTIONS OF IRC 2020 ITH EDITION, CHAPTER 2411.
- 7. HISTORIC ELEMENTS TO BE PRESERVED, GC TO CLEAN, REPAIR & PAINT AS NEEDED. PLEASE REFER TO SHEET 0005 FOR REFERENCE IMAGES.
- 8. EXISTING ROOFING TO BE REMOVED.
- 9. EXISTING WINDOW AND WINDOW SILL TO BE DEMOLISHED TO FIT NEW GLASS DOOR.
- 10. DECORATIVE ELEMENT IN FACADE TO REMAIN.
- 11. ALL STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, LOAD-BEARING WALLS, ARE EXISTING TO REMAIN.
- 12. MECHANICAL EQUIPMENT TO BE REMOVED.
- 13. CMU WALL TO BE DEMOLISHED.
- 14. DOOR TO BE REMOVED.
- 15. EXISTING RAILING TO BE REMOVED.
- 16. WINDOW UNIT TO BE REMOVED.
- 17. EXISTING SIGNAGE TO BE REMOVED AND REPLACED BY NEW SIGNAGE SYMPHATIC TO THE ORIGINAL CONFIGURATION BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL. REFER TO GOS FOR REFERENCE IMAGE.

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## MECHANICAL / ELECTRICAL / PLUMBING & FIRE PROTECTION DEMOLITION NOTES:

### MECHANICAL:

- 1. ALL EXISTING DUCTWORK, DISTRIBUTION GRILLES AND CONDENSATE DRAINAGE PIPING WITHIN THE BUILDING SPACE SHALL BE REMOVED. EXHAUST AND MAIN DUCTS SHALL REMAIN WITHIN STUDIOS. UPON COMPLETION OF FIRST STAGE OF DEMO WORK, PROJECT ARCHITECT AND ENGINEER WILL VISIT THE PROPOSED SPACE FOR FURTHER EVALUATION AND RECOMMENDATIONS FOR SECOND STAGE OF DEMOLITION. ALL MECHANICAL UNITS TO BE REMOVED, PROTECTED & STORED AS DIRECTED BY BUILDING MANAGER AT MANAGER'S EXPENSE.
- 2. ANY EXHAUST AND OUTSIDE AIR INTAKE DUCT LOCATED BUILDING SPACE AND PENETRATING THROUGH EXTERIOR WALLS OR ROOFS SHALL BE MAINTAINED; ALL DUCTWORK AND EQUIPMENT ASSOCIATED WITH SUCH PENETRATION SHALL BE REMOVED.
- 3. ALL CHILLED WATER AND / OR CONDENSER WATER PIPING AS WELL AS ANY REFRIGERANT PIPING ASSOCIATED WITH ANY OF THE ELIMINATED HVAC UNITS LOCATED WITHIN THE BUILDING SPACE SHALL REMAIN AND SHALL BE VALVED AND CAPPED OFF FOR FURTHER EVALUATION DURING SECOND STAGE OF DEMOLITION.
- 4. ANY FIRE OR FRESMOOKE DAMPERS FOUND IN DEMISING WALLS OR FLOORS WITHIN THE PROPOSED TENANT SPACE SHALL BE MAINTAINED.
- 5. CAREFULLY REVIEW PLANS AND DETERMINE LINES TO BE REMOVED AND THOSE TO BE KEPT ACTIVE OR TO BE REACTIVATED. PROTECT LINES TO REMAIN. PROVIDE FOR MINIMUM SERVICE INTERRUPTION OF LINES TO REMAIN (CONFER WITH ON SITE PROPERTY MANAGER).

### ELECTRICAL:

- 1. ALL EXISTING POWER OUTLETS, EQUIPMENT DISCONNECTS AND ASSOCIATED SPICE BOXES, WIRING AND DEVICES SHALL BE ELIMINATED UNLESS ASSOCIATED WITH HVAC EQUIPMENT IDENTIFIED TO REMAIN OPERATIONAL AS REFERENCED ABOVE.
- 2. ALL ELECTRICAL DEVICES, CONDUITS, POWER OUTLETS, SWITCHES, ETC. LOCATED ON INTERIOR PARTITION WALLS AND CEILINGS SHALL BE ELIMINATED.
- 3. ALL EMERGENCY AND EXT LIGHTS LOCATED WITHIN INTERIOR SPACES SHALL BE ELIMINATED, ANY EMERGENCY AND EXT LIGHTS LOCATED AT PERIMETER WALLS OF THE BUILDING SPACE AS WELL AS AT LOCATIONS ADJACENT TO MAIN EGRESS DOORS OF THE BUILDING SPACE SHALL REMAIN IN PLACE.
- 4. ANY SUSPENDED / EXPOSED STRIP FLUORESCENT TYPE LIGHT FIXTURES SHALL REMAIN IN PLACE.
- 5. ALL ELECTRICAL PANELS FOUND WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN IN PLACE. ANY EXISTING PANEL FOUND INSTALLED ON AN EXISTING WALL IDENTIFIED FOR DEMOLITION, SHALL REMAIN SUSPENDED FROM CONDUITS, FOR FURTHER EVALUATION AND RECOMMENDATIONS FOR SECOND STAGE OF DEMOLITION.
- 6. WHEN ELIMINATING EXISTING POWER, EQUIPMENT AND LIGHTING CIRCUITS FROM EXISTING PANELS, DEMOLITION CONTRACTOR SHALL CONFIRM THAT THERE ARE NO DEVICES LOCATED OUTSIDE OF THE PROPOSED TENANT SPACE AND TIED TO THE SAME CIRCUIT INTENDED FOR ELIMINATION. IN THE EVENT THAT SUCH CONDITION IS DISCOVERED, POWER SUPPLY TO DEVICES, LOCATED OUTSIDE OF THE PROPOSED SPACE, SHALL BE MAINTAINED, WHILE THE DEVICES WITHIN THE PROPOSED SPACE ARE ELIMINATED.
- 7. ALL MAIN SERVICE FEEDERS AND CONDUITS EXTENDING FROM THE EXISTING BUILDING ELECTRICAL ROOMS TO ANY OF THE EXISTING ELECTRICAL PANELS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN AND SHALL BE IDENTIFIED / MARKED WITH ASSOCIATED SOURCE POINT.
- 8. ALL EXISTING ELECTRICAL METERS ASSOCIATED WITH PANELS LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE IDENTIFIED AND SHALL REMAIN IN PLACE.
- 9. UPON COMPLETION OF FIRST STAGE OF DEMOLITION WORK, PROJECT ARCHITECT AND ENGINEER SHALL INSPECT THE SITE TOGETHER WITH THE ELECTRICAL DEMOLITION CONTRACTOR AND ESTABLISH PARAMETERS FOR SECOND STAGE OF ELECTRICAL DEMOLITION WORK.
- 10. REMOVE LINES COMPLETELY WHEREVER POSSIBLE. CUT AND CAP OR PLUG IN A POSITIVE MANNER BEHIND THE RACK OF FINISH MATERIAL.
- 11. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 8" ABOVE FINISH CEILING.

### PLUMBING:

- 1. ANY EXISTING PLUMBING FIXTURES LOCATED WITHIN THE BUILDING SPACE TO REMAIN, THOSE SPECIFIED TO BE REMOVED SHALL BE PROTECTED & STORED AS DIRECTED BY BUILDING MANAGER'S EXPENSE.
- 2. ALL EXISTING SANITARY, GREASE WASTE, GAS PIPING, AND DOMESTIC HOT / COLD WATER PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE ELIMINATED, UNLESS FOUND TO BE ASSOCIATED WITH OTHER / ADJACENT TENANT SPACES. IN SUCH EVENT, THE MAIN LINES EXTENDING INTO OTHER TENANT SPACE SHALL REMAIN AND BRANCH PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL BE CAPPED OFF AND PROVIDED WITH SHUT-OFF VALVES WHEN SUCH PIPING IS DOMESTIC WATER PIPING.
- 3. ALL GAS SERVICE PIPING LOCATED WITHIN THE PROPOSED SPACE SHALL BE ELIMINATED TOGETHER WITH ASSOCIATED GAS SERVICE METERS, IF APPLICABLE. CONFER WITH ON SITE BUILDING MANAGER PRIOR TO PROCEED WITH WORK.
- 4. ALL HOT WATER PIPING LOCATED WITHIN THE PROPOSED SPACE SHALL BE EXISTING TO REMAIN, TOGETHER WITH ALL WATER HEATERS.
- 5. ALL STORM DRAINAGE PIPING LOCATED WITHIN THE PROPOSED TENANT SPACE SHALL REMAIN AS IS.
- 6. ALL EXISTING FLOOR DRAINS & FLOOR SINKS NOT PART OF THIS PERMIT NEED TO BE CAPPED OFF BY G.C.

### FIRE SPRINKLER SYSTEM:

- 1. ALL EXISTING FIRE SPRINKLER DISTRIBUTION WITHIN THE PROPOSED TENANT SPACE IS TO REMAIN. ANY BRANCH PIPE AND SPRINKLER HEADS LOCATED WITHIN CLOSETS AND SMALL OFFICE SPACES, BATHROOMS, ETC. IDENTIFIED TO BE DEMOLISHED SHALL BE ELIMINATED, AND PIPING CAPPED OFF AT MAIN BRANCH.
- 2. UPON COMPLETION OF DEMOLITION OF ALL EXISTING INTERIOR PARTITIONS, PROJECT ARCHITECT AND ENGINEER SHALL INSPECT THE SITE AND PROVIDE ADDITIONAL DEMOLITION CRITERIA AS NECESSARY.
- 3. ALL EXISTING TAMPERFLOW SWITCHES AND CONTROL VALVES ASSOCIATED WITH EXISTING SPRINKLER SYSTEM SHALL REMAIN IN PLACE WITHIN THE PROPOSED TENANT SPACE. ALL MAIN BRANCH PIPING AND VALVES SHALL BE IDENTIFIED.

### LEGEND

- WALL/PARTITION TO BE DEMOLISHED
- EXISTING CMU WALL / STRUCTURE TO REMAIN
- EXISTING INTERIOR PARTITION TO REMAIN
- NOT PART OF THE SCOPE OF WORK
- SOFFIT ABOVE
- # DEMOLITION TAG
- E EXISTING DOOR TO REMAIN

DATE	REVISION	DWG. TITLE
		DEMOLITION SOUTH ELEVATION
		SCALE
		1/8" = 1'-0"
		PROJECT NO.
		2020-01
		DATE
		11-12-21
		SHEET NUMBER
		D203

**BEILLINSON GOMEZ**  
ARCHITECTS P.A.  
1100 BISCAYNE BLVD # 309-310  
MIAMI, FL 33132  
TEL 305.559.1250 FAX 305.551.1742

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460

### ANTENNAS

### MICROWAVE RELAYS

### TOP OF STRUCTURE

### ELEV: +100'-0"

### TOP OF PARAPET

### ELEV: +86'-0"

### FINISH ROOF

### ELEV: +75'-0"

### 6TH FLOOR F.F.

### ELEV: +60'-0"

### 5TH FLOOR F.F.

### ELEV: +49'-0"

### 4TH FLOOR F.F.

### ELEV: +38'-0"

### 3RD FLOOR F.F.

### ELEV: +27'-0"

### 2ND FLOOR F.F.

### ELEV: +16'-0"

### 1ST FLOOR F.F.

### ELEV: +0'-0" (+6.95 NAVD)

### WINDOW TO BE REMOVED

### OPEN

### SOUTH ELEVATION

### ANTENNAS

### MICROWAVE RELAYS

### TOP OF STRUCTURE

### ELEV: +100'-0"

### TOP OF PARAPET

### ELEV: +86'-0"

### FINISH ROOF

### ELEV: +75'-0"

### 6TH FLOOR F.F.

### ELEV: +60'-0"

### 5TH FLOOR F.F.

### ELEV: +49'-0"

### 4TH FLOOR F.F.

### ELEV: +38'-0"

### 3RD FLOOR F.F.

### ELEV: +27'-0"

### 2ND FLOOR F.F.

### ELEV: +16'-0"

### 1ST FLOOR F.F.

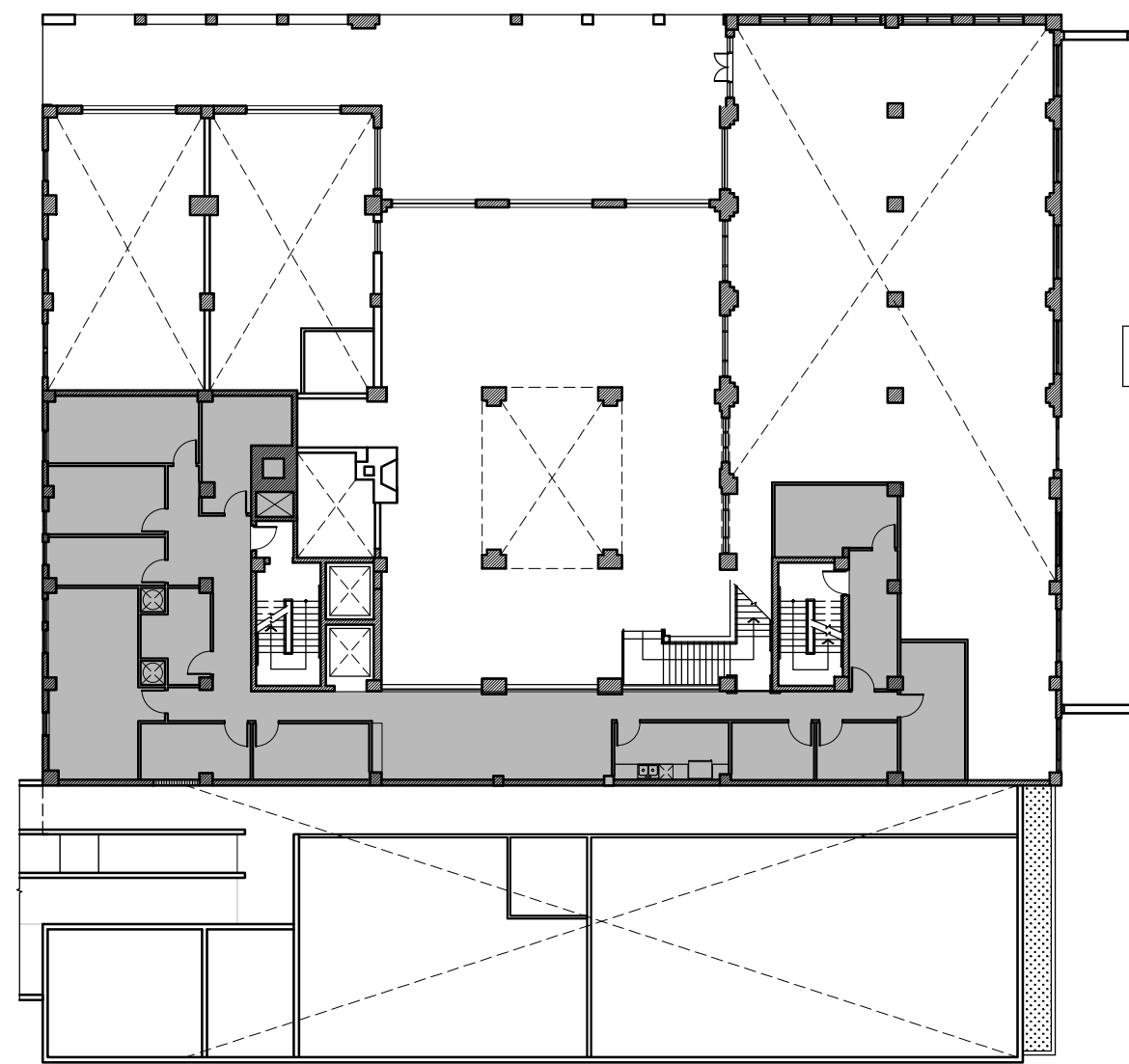
### ELEV: +0'-0" (+6.95 NAVD)

### WINDOW TO BE REMOVED

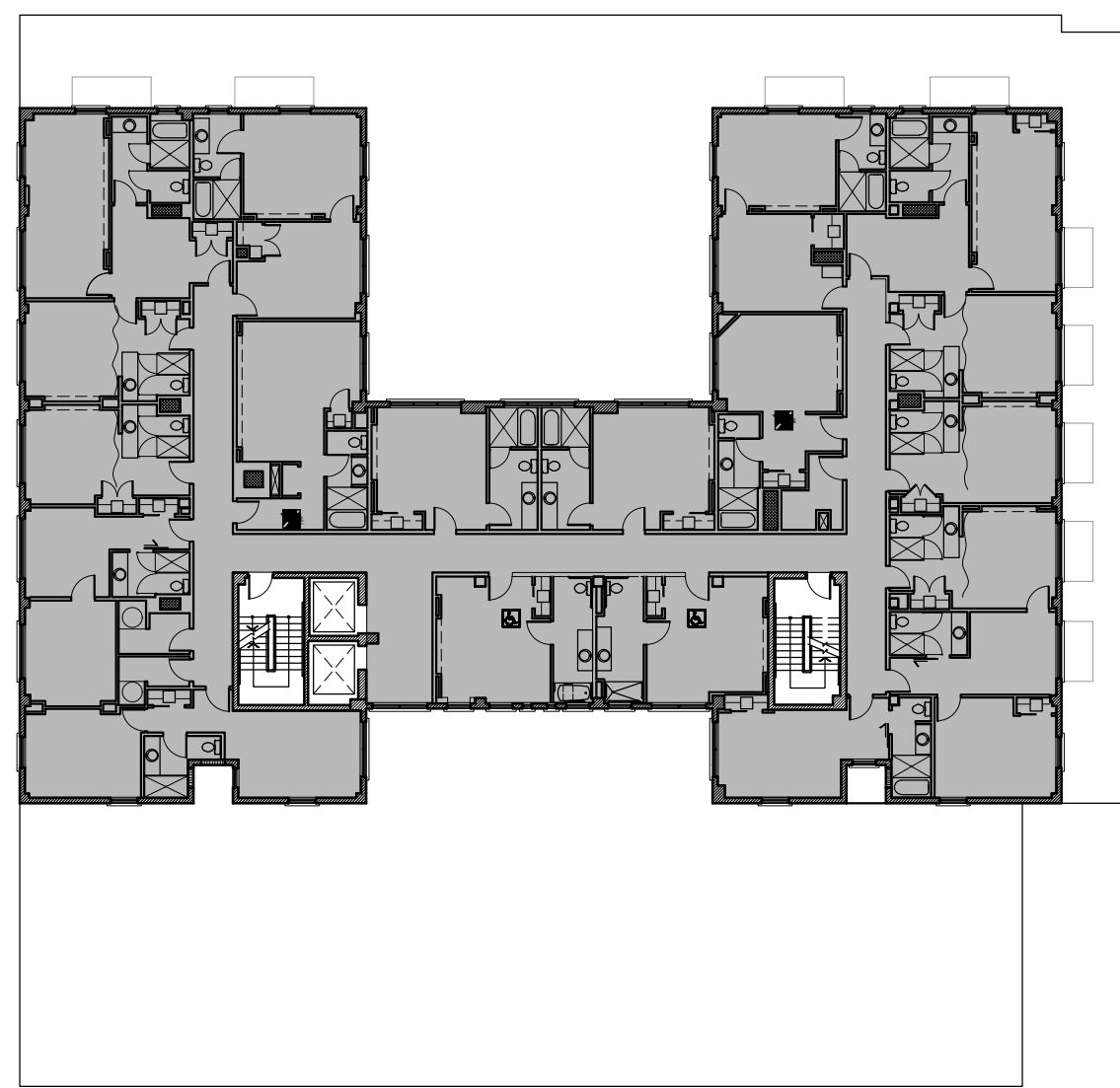
### OPEN

### SOUTH ELEVATION

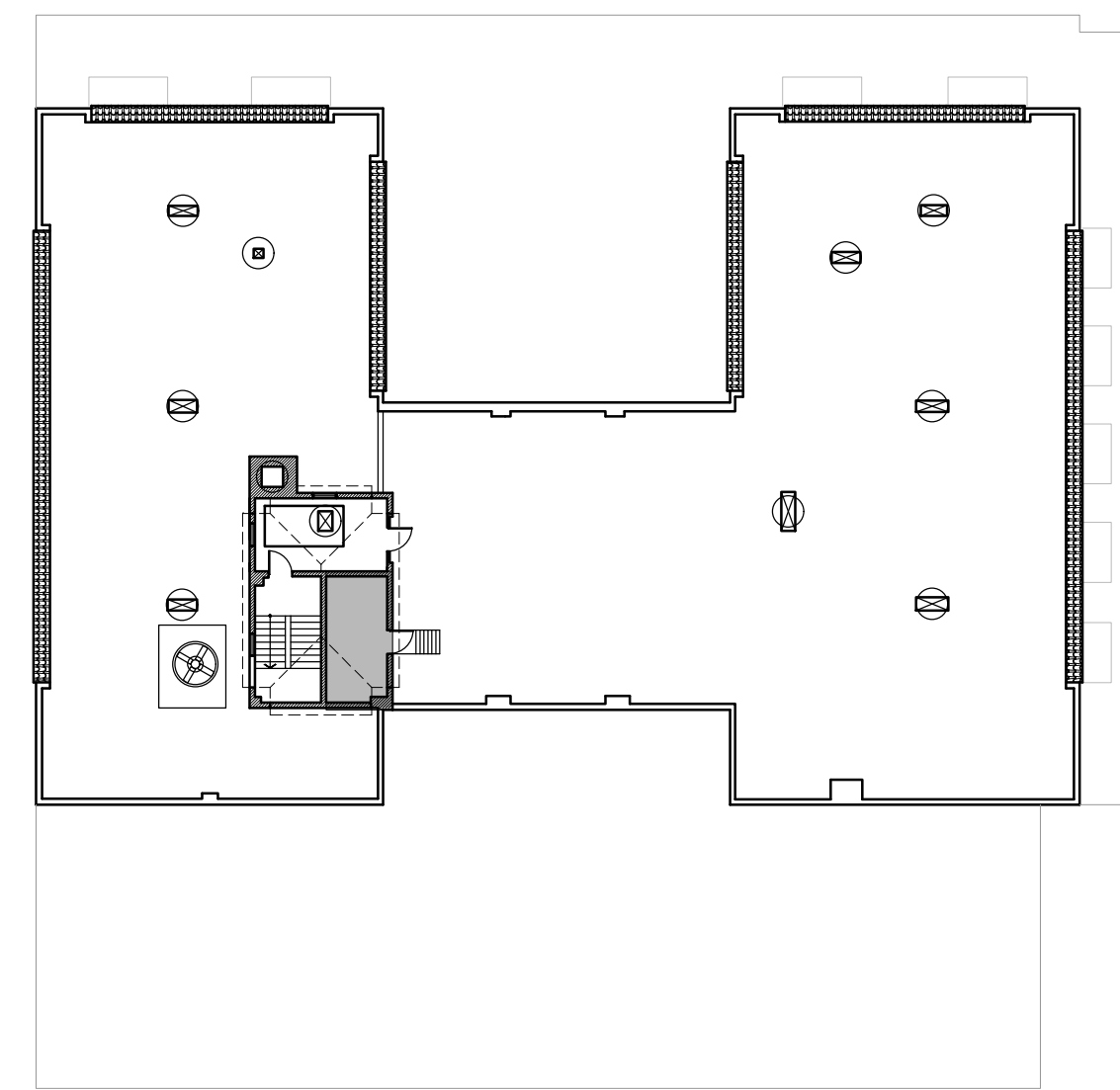




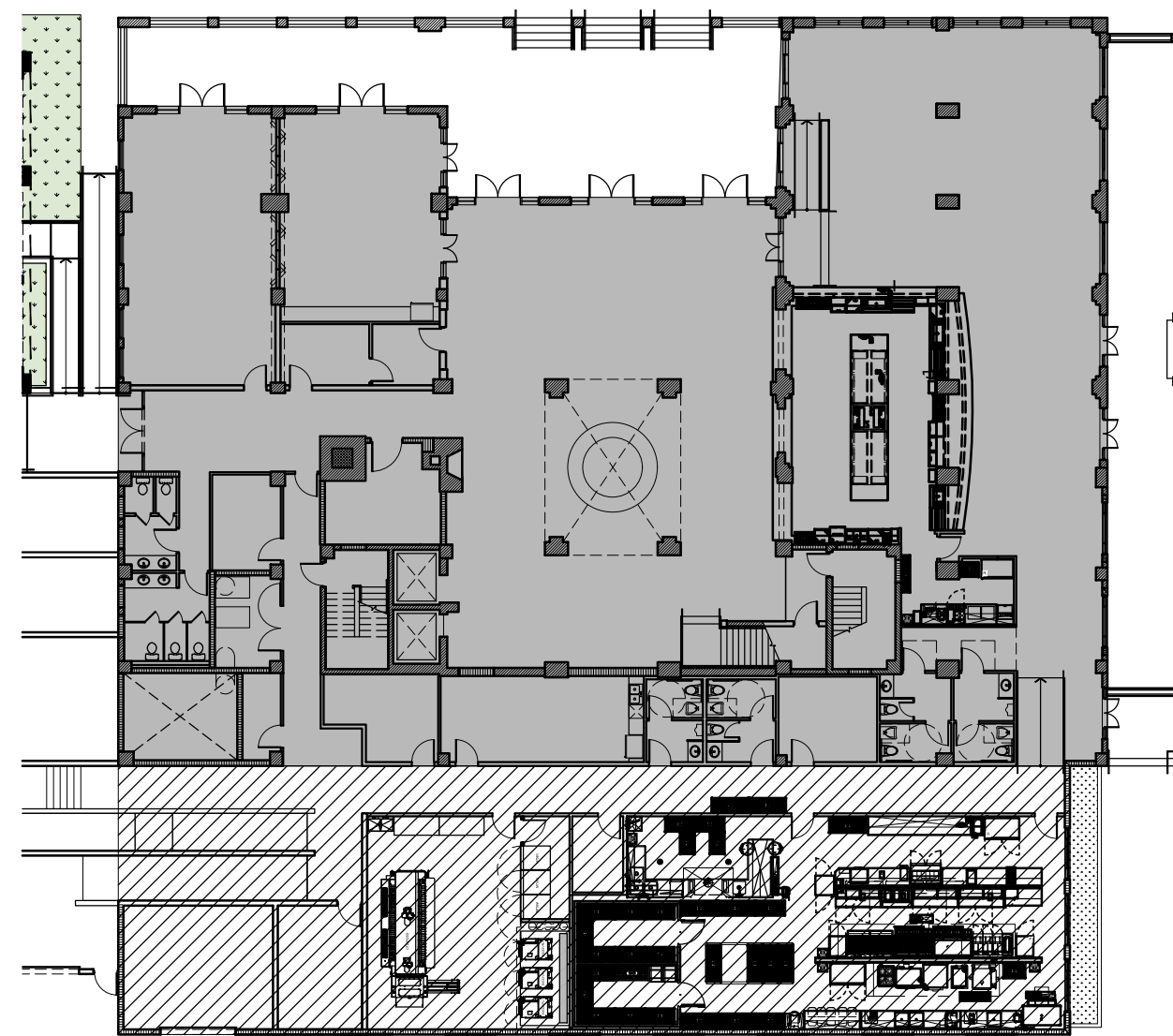
Mezzanine Level



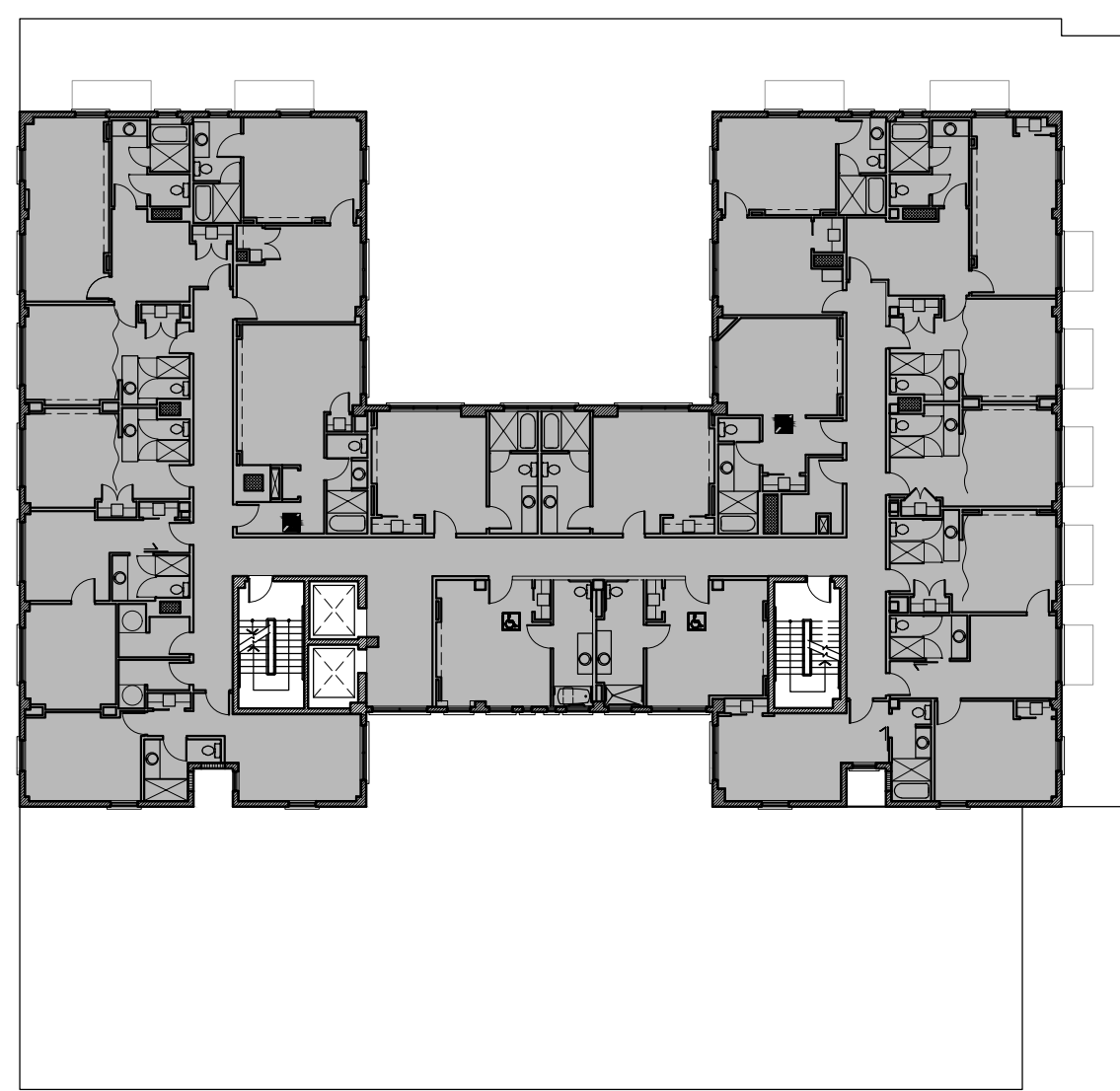
4th Floor Plan



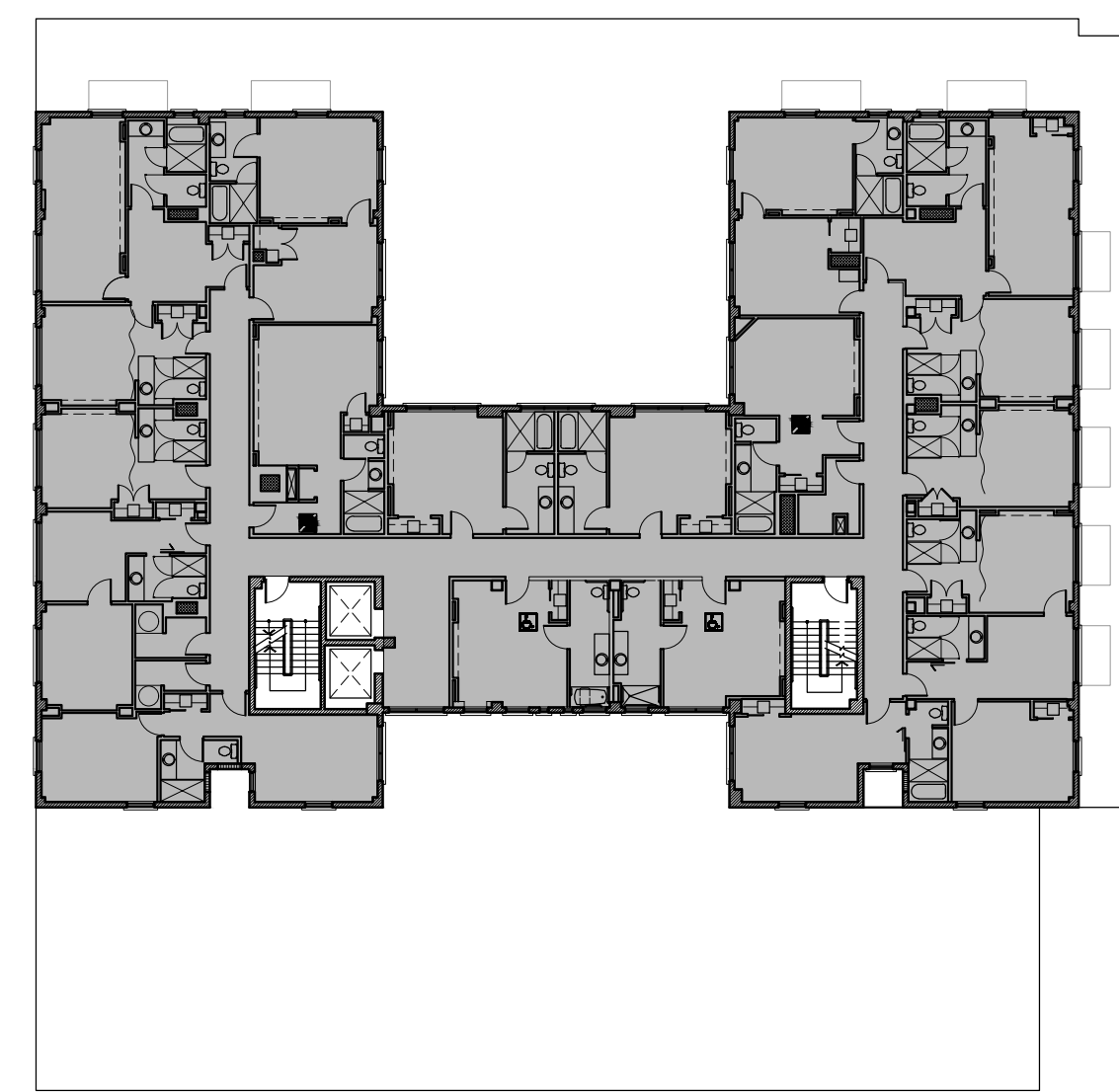
Roof Level



Ground Floor Plan



3rd Floor Plan



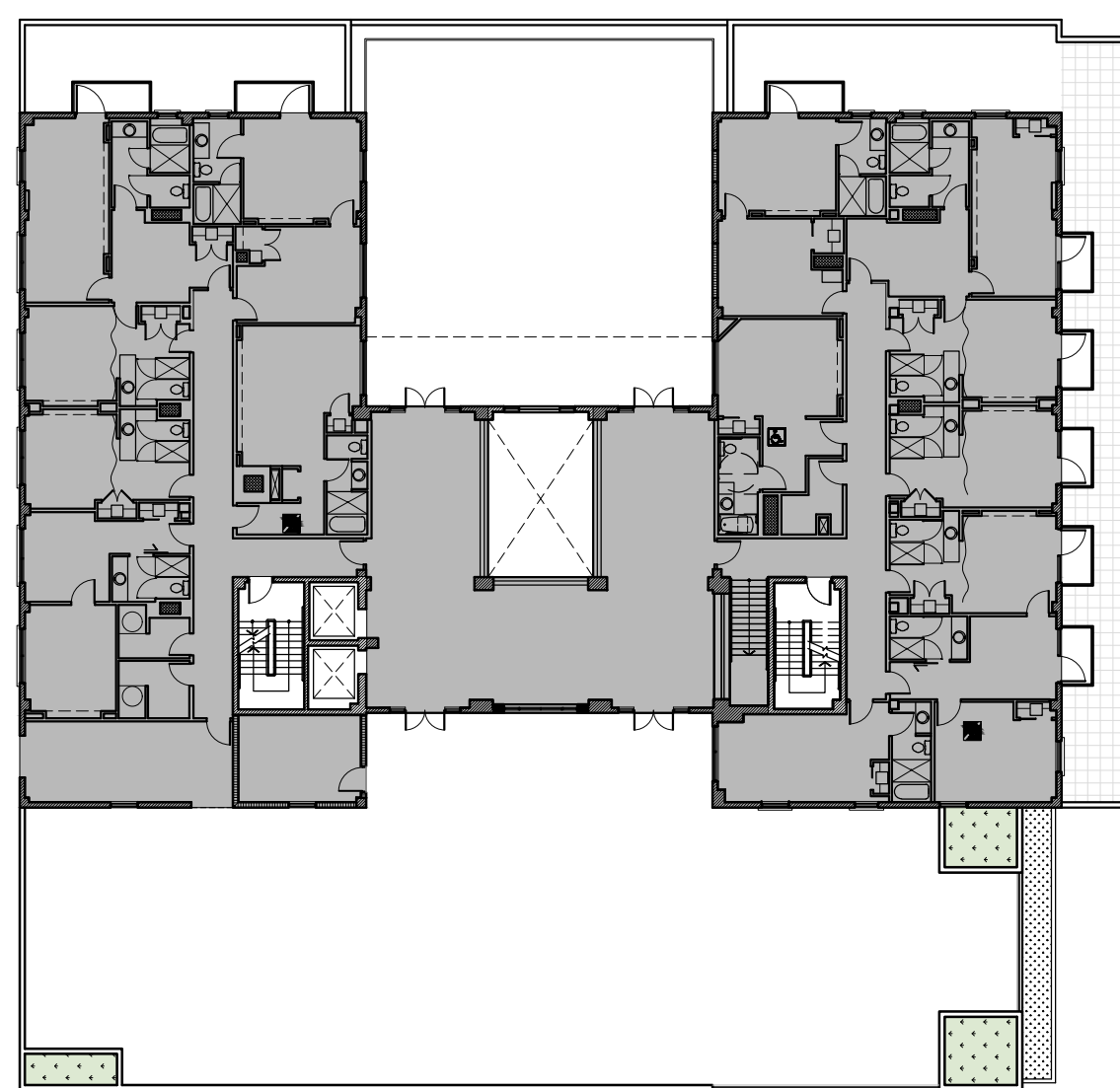
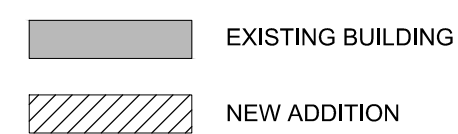
6th Floor Plan

AREA CHART		
FLOOR	EXTING AREAS (S.F.)	PROPOSED AREAS (S.F.)
1st	11,780	16,200
MEZZANINE	2,641	2,921
2nd	8,646	8,646
3rd	8,972	8,972
4th	8,972	8,972
5th	8,972	8,972
6th	8,972	8,972
Roof	145	145
TOTAL	59,100	63,800

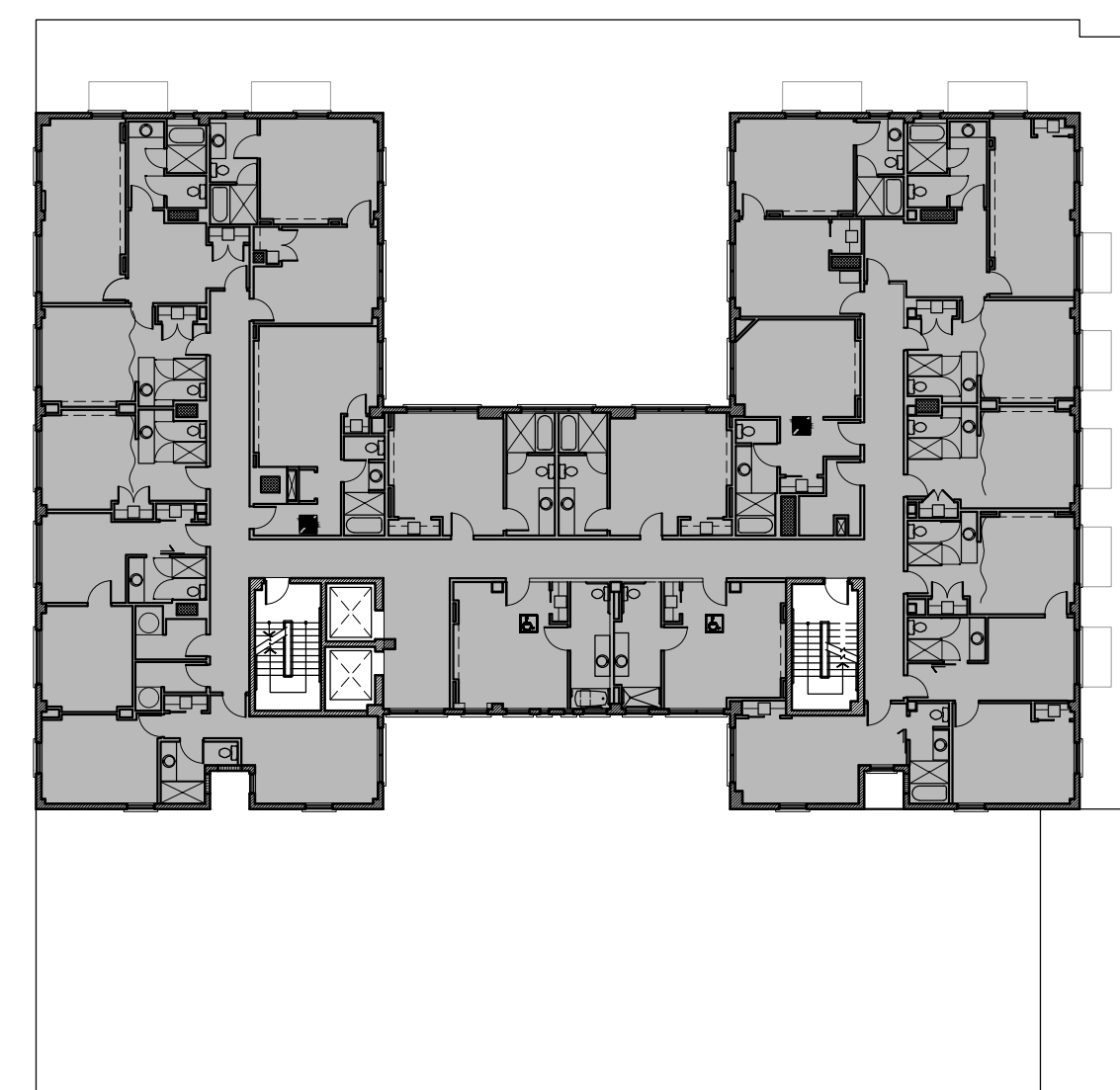
ROOM CHART	
ROOM #	AREA (S.F.)
214, 314, 414, 514, 614.	430
203, 205, 206, 216, 217 AND 303, 305, 306, 316, 317 AND 403, 405, 406, 416, 417 AND 503, 505, 506, 516, 517 AND	260
603, 605, 606, 616, 617 201, 219, 301, 319, 401, 419 AND 501, 519, 601, 619	540
202, 218, 302, 318, 402, 418 AND 502, 518, 602, 618	480
215, 315, 415, 515, 615 204, 304, 404, 504, 604 207, 307, 407, 507, 607	430 365 460
208 308, 408, 508, 608	320 310
310, 312, 410, 412, 510, 512, 610, 612 309, 311, 409, 411, 509, 511, 609, 611 313, 413, 513, 613	350 350 500

TOTAL UNITS PROVIDED: 90 UNITS  
KING UNITS: 65  
DOUBLE QUEEN UNITS: 25

AVERAGE AREA: 378.16 SF



2nd Floor Plan



5th Floor Plan

# GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS  
P.A.

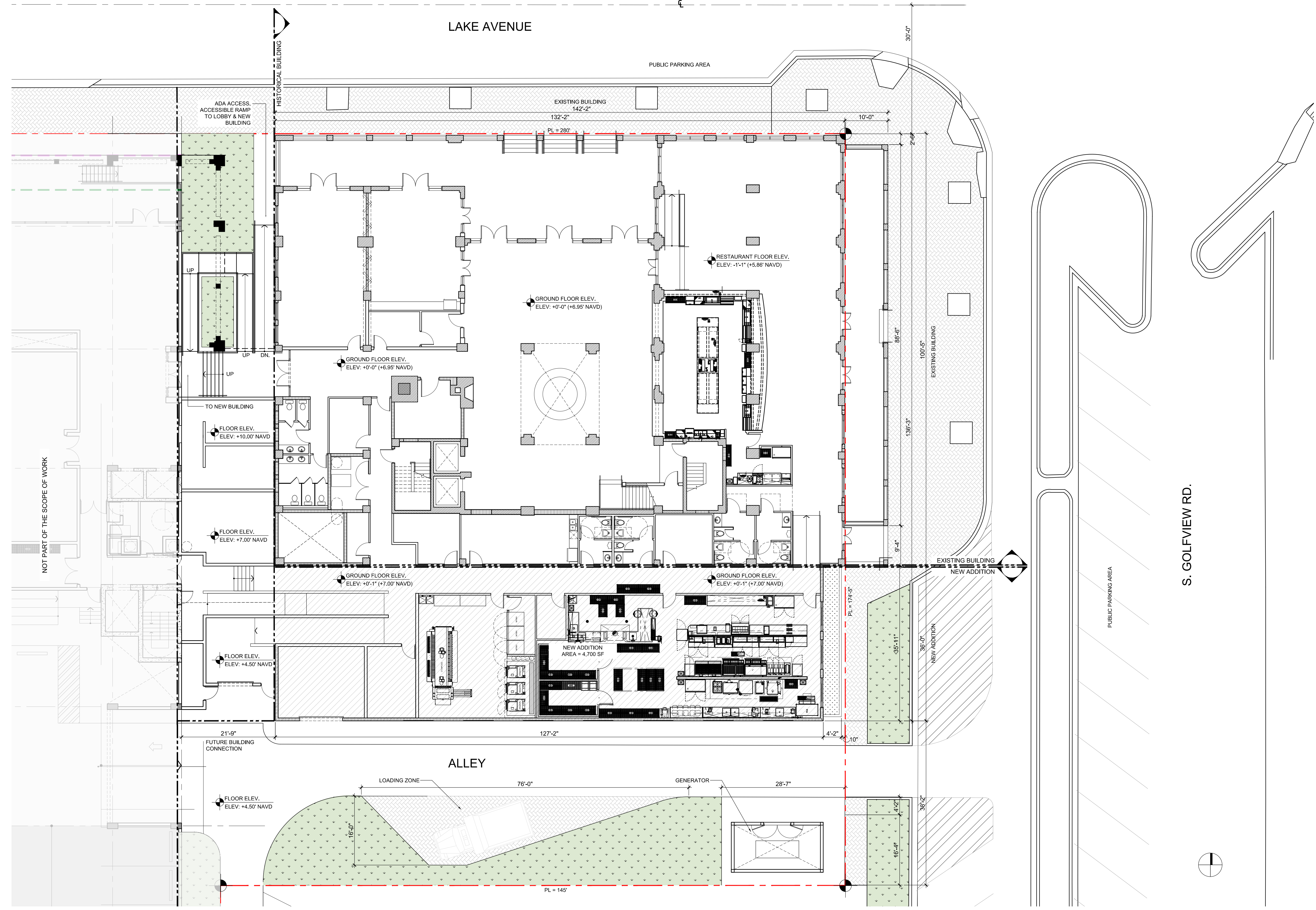
8101 BISCAYNE BLVD. # 300, 310  
M I A M I F L 3 3 1 3 8 - 4 6 8 0  
T 3 0 5 . 5 5 9 . 1 2 5 0 F 3 0 5 . 5 5 1 . 1 7 4 0

ROSE J. GOMEZ  
A R 0 1 5 4 1 6

DWG. TITLE	BUILDING AREAS DIAGRAM
SCALE	N.T.S.
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A003

DATE REVISION

LAKE AVENUE



### GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33480

BEILINSON  
GOMEZ

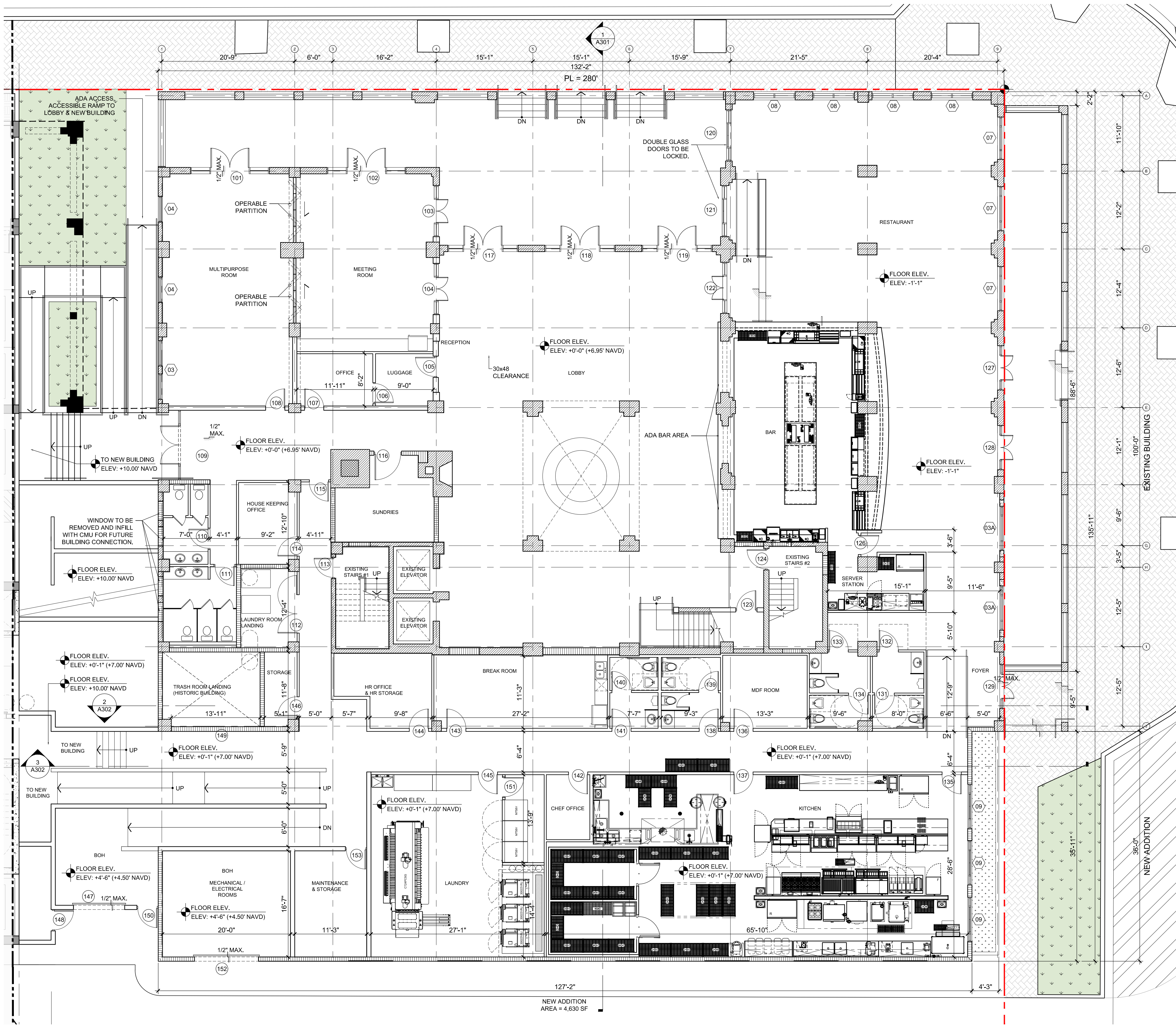
ARCHITECTS  
P.A.

8101 BISCAYNE BLVD. # 309, 310  
M I A M I F L 3 1 3 8 - 4 6 8  
T 305.559.1250 F 305.551.1740

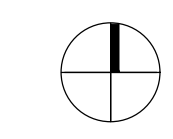
DWG. TITLE	PROPOSED SITE PLAN
SCALE	3/32" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A100

DATE REVISION

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- LEGEND**
- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
  - (N) NEW DOOR
  - [Pattern: Dashed lines] NEW CMU WALL
  - [Pattern: Solid lines] NEW DRYWALL PARTITION
  - [Pattern: Diagonal lines] EXISTING WALL/STRUCTURE TO REMAIN



# GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

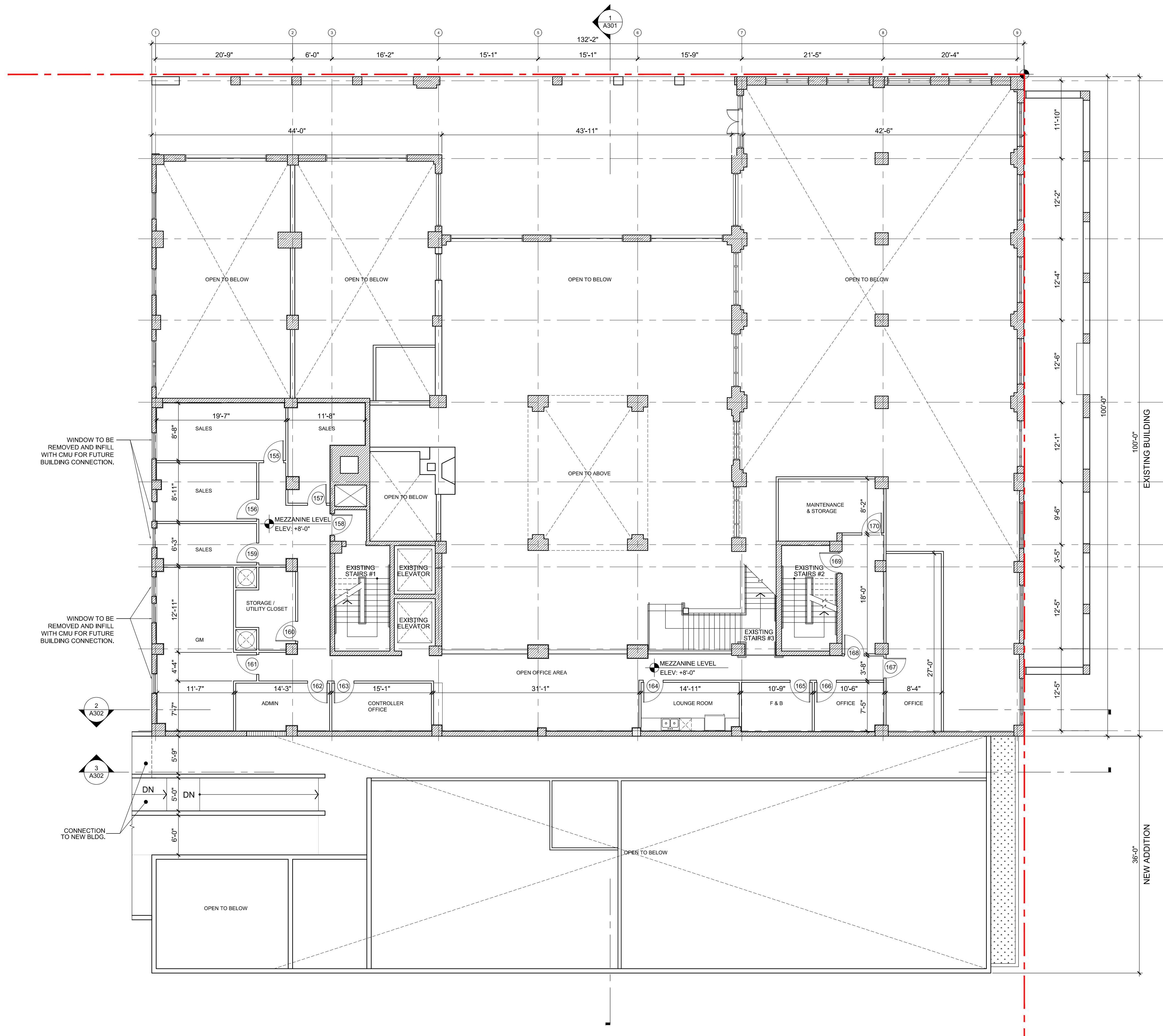
BEILINSON  
GOMEZ

ARCHITECTS P.A.  
ARCHITECTURE  
A A C 0 1 0 6 2

DWG. TITLE	PROPOSED GROUND FLOOR
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A101

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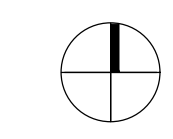


WINDOW TO BE REMOVED AND INFILL WITH CMU FOR FUTURE BUILDING CONNECTION.

WINDOW TO BE REMOVED AND INFILL WITH CMU FOR FUTURE BUILDING CONNECTION.

CONNECTION TO NEW BLDG.

- LEGEND**
- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
  - (N) NEW DOOR
  - [Hatched Box] NEW CMU WALL
  - [Solid Box] NEW DRYWALL PARTITION
  - [Dotted Box] EXISTING WALL/STRUCTURE TO REMAIN



# GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33480

BEILINSON  
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

AAC001062

8101 BISCAYNE BLVD. # 309, 310  
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T 305.559.1250 F 305.551.1740

ROSE + GOMEZ

ARCHITECTS

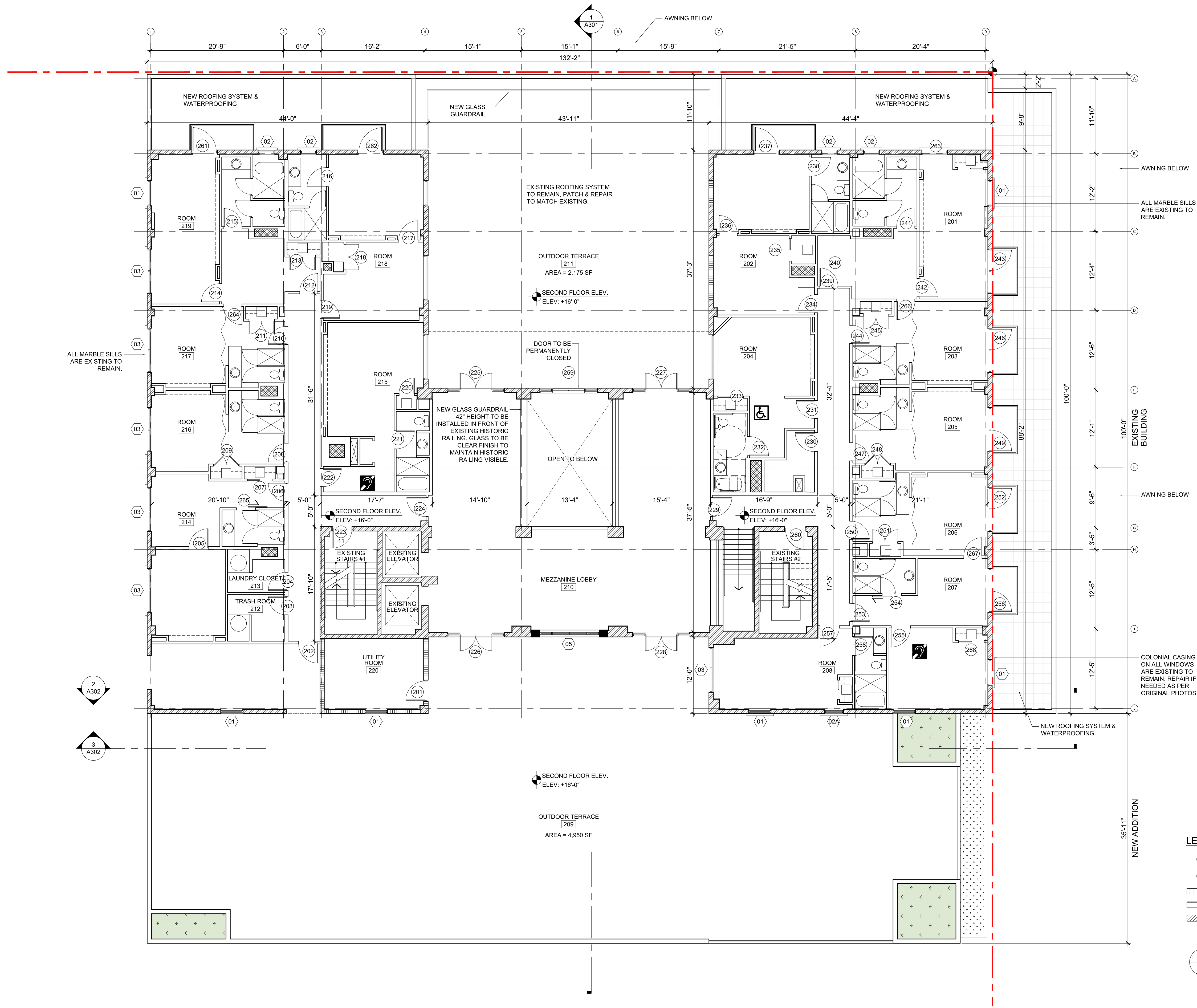
DWG. TITLE	PROPOSED MEZZANINE LEVEL
SCALE	1/8" = 1'-0"
PROJECT NO.	
DATE	2020-01
SHEET NUMBER	11-12-21

A102

DATE REVISION

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CONSULTANT



ALL MARBLE SILLS ARE EXISTING TO REMAIN.

AWNING BELOW

ALL MARBLE SILLS ARE EXISTING TO REMAIN.

EXISTING BUILDING

AWNING BELOW

COLONIAL CASING ON ALL WINDOWS ARE EXISTING TO REMAIN, REPAIR IF NEEDED AS PER ORIGINAL PHOTOS.

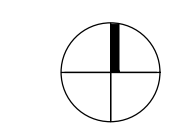
NEW ADDITION

GUEST ROOM WITH MOBILITY FEATURES CALCULATION (FBC 2020 ACC-TABLE 224.2)				
TOTAL # OF ROOMS =	90 UNITS	MINIMUM NUMBER OF REQUIRED ROOMS WITHOUT ROLL-IN SHOWERS	MINIMUM NUMBER OF REQUIRED ROOMS WITH ROLL-IN SHOWERS	TOTAL NUMBER OF REQUIRED ROOMS
F.B.C. CLASSIFICATION	76-100	4	1	5
F.B.C. REQUIRED	#204, #309, #311, #411 & #511	#204, #311, #411 & #511	#309	5
PROVIDED				

GUEST ROOM WITH COMMUNICATION FEATURES (FBC 2020 ACC-TABLE 224.4)	
TOTAL # OF ROOMS =	20 UNITS
F.B.C. CLASSIFICATION	76-100
F.B.C. REQUIRED	9
PROVIDED	#207, #215, #304, #315, #404, #415, #504, #515, #604
MINIMUM NUMBER OF REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES	9

- LEGEND**
- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
  - (N) NEW DOOR
  - [Pattern] NEW CMU WALL
  - [Pattern] NEW DRYWALL PARTITION
  - [Pattern] EXISTING WALL/STRUCTURE TO REMAIN



# GULFSTREAM HOTEL

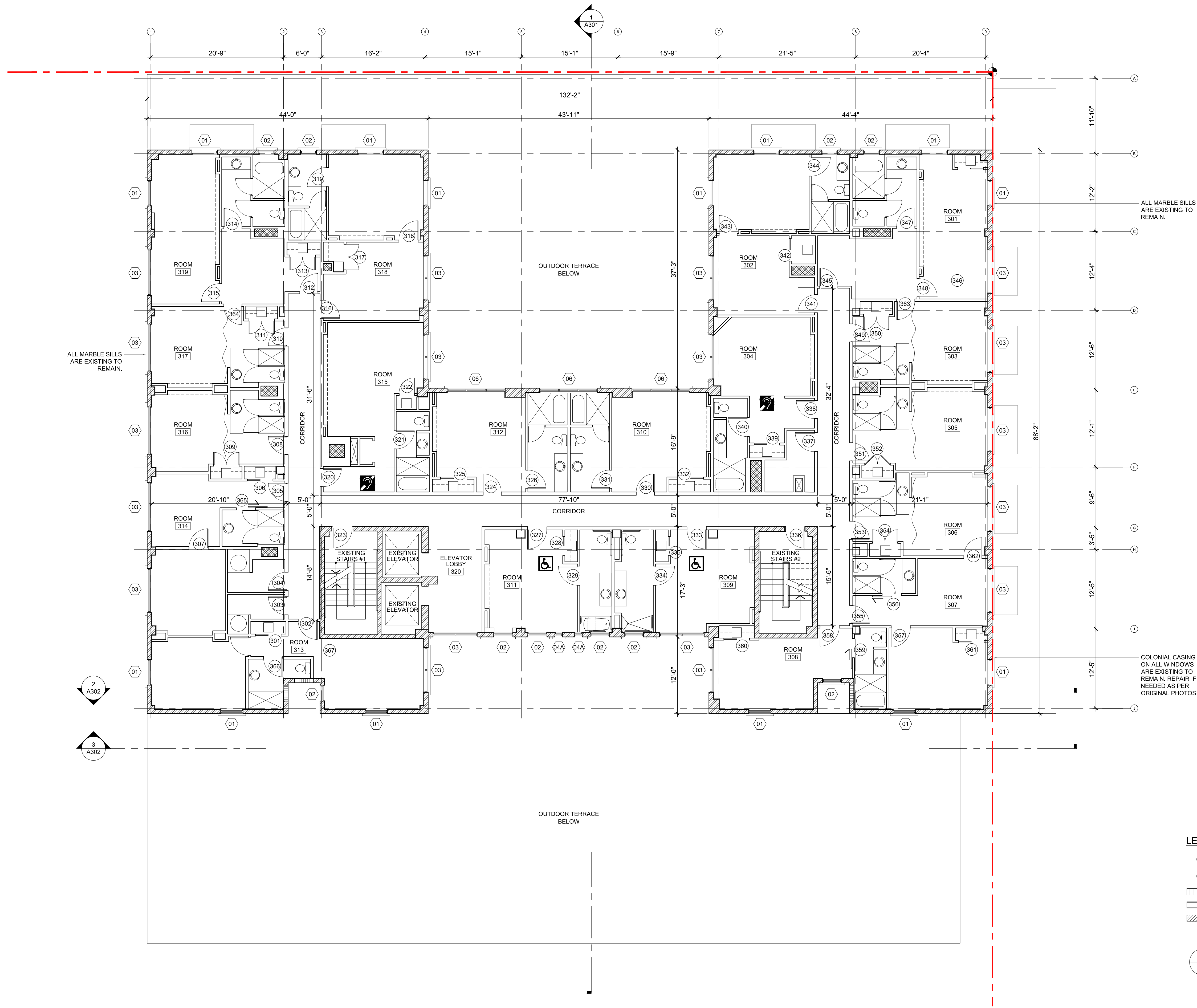
11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS P.A.  
ARCHITECTURE  
A A C 0 0 1 0 6 2

DWG. TITLE	PROPOSED SECOND FLOOR
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A103

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ALL MARBLE SILLS ARE EXISTING TO REMAIN.

ALL MARBLE SILLS ARE EXISTING TO REMAIN.

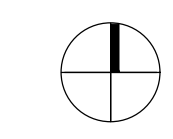
COLONIAL CASING ON ALL WINDOWS ARE EXISTING TO REMAIN, REPAIR IF NEEDED AS PER ORIGINAL PHOTOS.

GUEST ROOM WITH MOBILITY FEATURES CALCULATION (FBC 2020 ACC-TABLE 224.2)				
TOTAL # OF ROOMS = 90 UNITS				
F.B.C. CLASSIFICATION	76-100	MINIMUM NUMBER OF REQUIRED ROOMS WITHOUT ROLL-IN SHOWERS	4	TOTAL NUMBER OF REQUIRED ROOMS
F.B.C. REQUIRED		MINIMUM NUMBER OF REQUIRED ROOMS WITH ROLL-IN SHOWERS	1	5
PROVIDED	#204, #309, #311, #411 & #511	#204, #311, #411 & #511	#309	5

GUEST ROOM WITH COMMUNICATION FEATURES (FBC 2020 ACC-TABLE 224.4)	
TOTAL # OF ROOMS = 20 UNITS	
F.B.C. CLASSIFICATION	76-100
F.B.C. REQUIRED	9
PROVIDED	#207, #215, #304, #315, #404, #415, #504, #515, #604
	9

**LEGEND**

- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
- (N) NEW DOOR
- [Hatched Box] NEW CMU WALL
- [Solid Box] NEW DRYWALL PARTITION
- [Dotted Box] EXISTING WALL/STRUCTURE TO REMAIN



**GULFSTREAM HOTEL**

11 LAKE AVENUE  
LAKE WORTH, FL 33480

BEILINSON  
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD., S 309, 310  
M I A M I F L 3 1 3 8, 4 6 9, 4

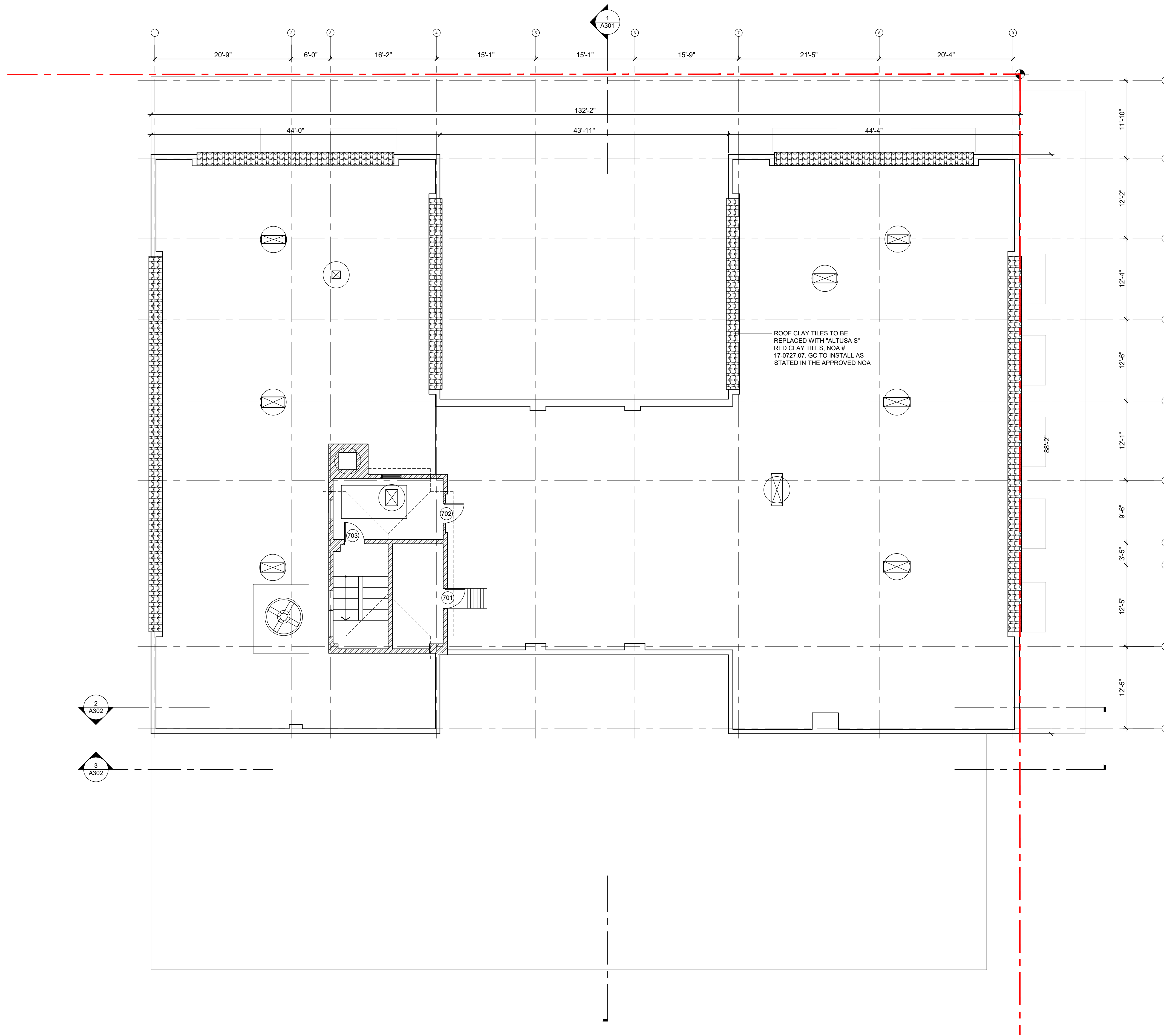
ROSE J. GOMEZ

T 305.559.1250 F 305.551.1740

DWG. TITLE	PROPOSED THIRD TO SIXTH FLOOR PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	
DATE	2020-01
SHEET NUMBER	11-12-21

**A104**

DATE REVISION



**GENERAL ROOF NOTES:**

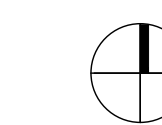
1. ALL MECHANICAL EQUIPMENT TO BE MOUNTED ON ALUMINUM STANDS. MECHANICAL DWGS TO PROVIDE NOA.
  2. FUTURE VENT LOCATIONS SHOULD BE VERIFIED WITH WITH MECHANICAL AND PLUMBING DRAWINGS.
  3. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM A.C. INTAKE. VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
  4. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PRE-FABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE WARRANTED, WATERTIGHT, WATERPROOF INSTALLATION.
5. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/2" PER FT. FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/2" PER FOOT FALL AT THE VALLEY.
  6. ALL ROOF SLOPES HAVE A 1/2" PER FOOT FALL, UNLESS NOTED OTHERWISE.
  7. CIVIL ENGINEER TO COORDINATE STORM SEWER CONNECTION WITH SITE PLANS.
  8. ANY MECHANICAL EQUIPMENT LESS THAN 10' FROM ROOF EDGE NEED TO BE PROTECTED WITH A GUARDRAIL.
  9. OVERFLOW SCUPPERS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE, EXCLUDING SUMPS. OVERFLOW SCUPPERS SHALL BE A MINIMUM OF 4" IN ANY DIMENSION AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS, CONDUCTORS OR DOWNSPOUTS. AS PER FBC 1514.4.2 & 1414.4.3 & PER SECTION 1617.3 AGGREGATE AREA OF F.B.C.
  10. OVERFLOW SCUPPERS SHALL HAVE AN AGGREGATE AREA OF NO LESS THAN THE AREA OF DRAINAGE PROVIDED. SEE PLUMBING PLANS FOR ROOF DRAINAGE CALCULATIONS.
  11. RAIN WATER CALCULATIONS BASED ON 5" PER HOUR RATE OF RAINFALL AS PER FIGURE 1106.1, FBC 2020.
  12. LOW-SLOPED ROOFS CONSTRUCTED AS PART OF A NEW BUILDING SHALL UTILIZE ROOFING PRODUCTS THAT MEET OR EXCEED AN INITIAL REFLECTANCE VALUE OF 0.72 OR A THREE-YEAR INSTALLED REFLECTANCE VALUE OF 0.5 AS DETERMINED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR.

**ROOFING SYSTEM**

1. ROOFING SYSTEM IS EXISTING TO REMAIN. PATCH & REPAIR @ NEW EQUIPMENT PLACEMENT.
2. PROVIDE HYDROSTOP PREMIUM COAT SYSTEM WATERPROOFING (NOA 20-0304.01) OR EQUAL.
3. PROVIDE 20 YEARS ROOFING WARRANTY AND 25 YEARS INSTALLATION WARRANTY.
4. WATERPROOFING SYSTEM TO BE SUBMITTED AS A SEPARATE PERMIT AS PER FBC 2020 1512.3.1
5. CARIBBEAN "S" CLAY ROOF TILE, ONE PIECE ROOFING TILE AND ITS COMPONENTS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH ROOFING APPLICATION STANDARD RAS 120.

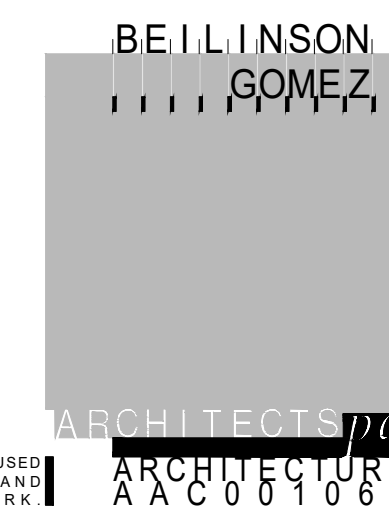
**LEGEND**

- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
- (N) NEW DOOR
- [Hatched Box] NEW CMU WALL
- [Solid Box] NEW DRYWALL PARTITION
- [Dotted Box] EXISTING WALL/STRUCTURE TO REMAIN

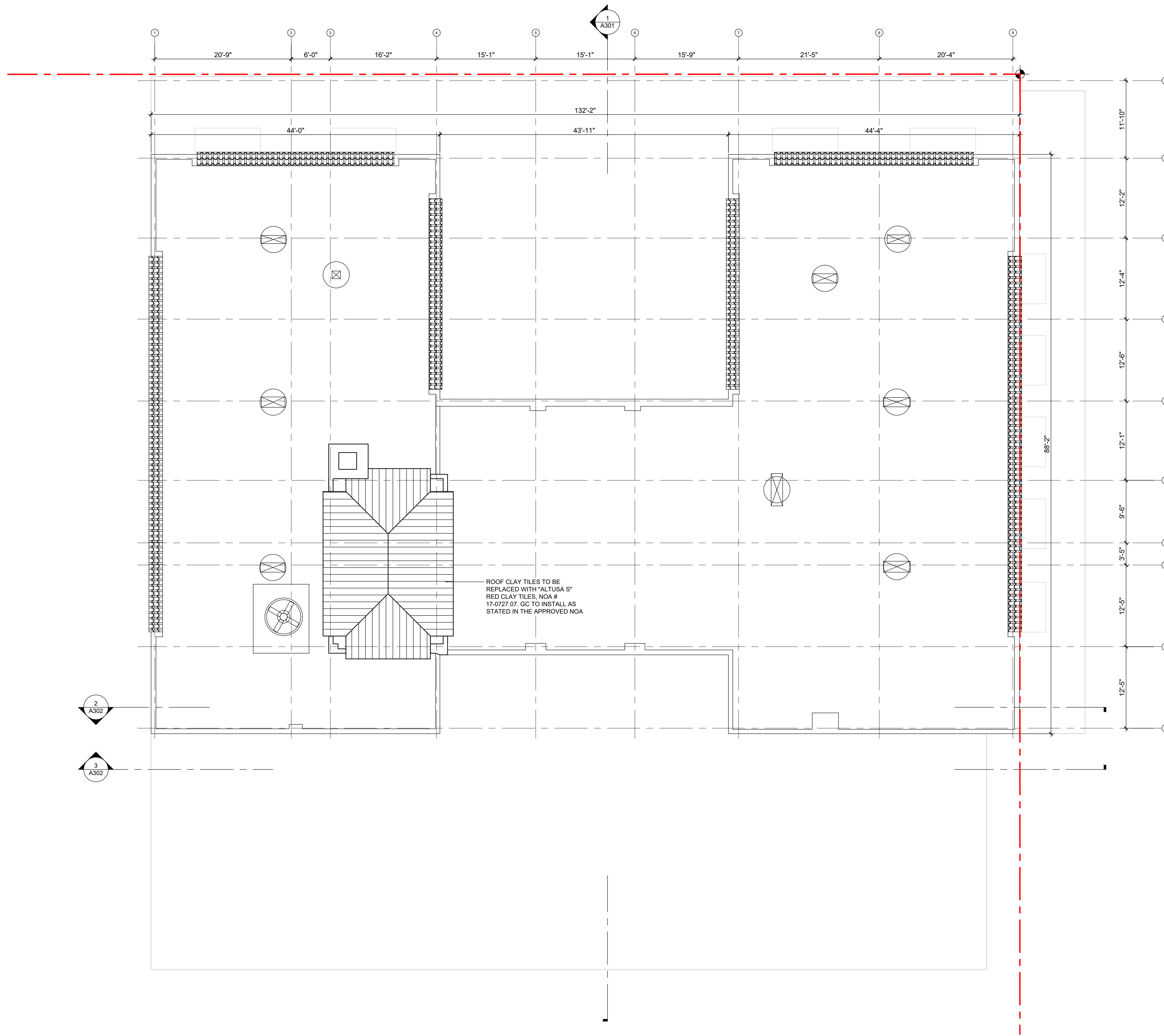


**GULFSTREAM HOTEL**

11 LAKE AVENUE  
LAKE WORTH, FL 33460



DWG. TITLE	PROPOSED ROOF PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A105



**GENERAL ROOF NOTES:**

1. ALL MECHANICAL EQUIPMENT TO BE MOUNTED ON ALUMINUM STANDS. MECHANICAL DWGS TO PROVIDE NOA.
2. FUTURE VENT LOCATIONS SHOULD BE VERIFIED WITH WITH MECHANICAL AND PLUMBING DRAWINGS.
3. EXHAUST FANS AND VENTS TO BE LOCATED A MINIMUM OF 10'-0" FROM A.C. INTAKE. VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
4. MECHANICAL SUB-CONTRACTOR TO COORDINATE INSTALLATION AND ACCEPTANCE OF PRE-FABRICATED CURBS AND PENETRATIONS WITH ROOF MEMBRANE SUB-CONTRACTOR. G.C. TO PROVIDE ALL NECESSARY BLOCKING, NAILERS, ETC. AS NECESSARY FOR A WATERTIGHT AND WATERPROOF ROOF.
5. ALL ROOF SLOPES ARE TO HAVE A MINIMUM OF 1/2" PER FT. FALL WHERE CRICKET VALLEYS OCCUR. CRICKETS ARE TO BE PROVIDED WITH SUFFICIENT DEPTH AND SLOPE TO ACCOMMODATE A MINIMUM 1/2" PER FOOT FALL AT THE VALLEY.
6. ALL ROOF SLOPES HAVE A 1/2" PER FOOT FALL, UNLESS NOTED OTHERWISE.
7. CIVIL ENGINEER TO COORDINATE STORM SEWER CONNECTION WITH SITE PLANS.
8. ANY MECHANICAL EQUIPMENT LESS THAN 10' FROM ROOF EDGE NEED TO BE PROTECTED WITH A GUARDRAIL.
9. OVERFLOW SCUPPERS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 4" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE, EXCLUDING SUMPS. OVERFLOW SCUPPERS SHALL BE A MINIMUM OF 4" IN ANY DIMENSION AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS, CONDUCTORS OR DOWNSPOUTS. AS PER FBC 1514.4.2 & 1414.4.3 & PER SECTION 1617.3 AGGREGATE AREA OF F.B.C.
10. OVERFLOW SCUPPERS SHALL HAVE AN AGGREGATE AREA OF NO LESS THAN THE AREA OF DRAINAGE PROVIDED. SEE PLUMBING PLANS FOR ROOF DRAINAGE CALCULATIONS.
11. RAIN WATER CALCULATIONS BASED ON 5" PER HOUR RATE OF RAINFALL AS PER FIGURE 1106.1, FBC 2020.
12. LOW-SLOPED ROOFS CONSTRUCTED AS PART OF A NEW BUILDING SHALL UTILIZE ROOFING PRODUCTS THAT MEET OR EXCEED AN INITIAL REFLECTANCE VALUE OF 0.72 OR A THREE-YEAR INSTALLED REFLECTANCE VALUE OF 0.5 AS DETERMINED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR.

**ROOFING SYSTEM**

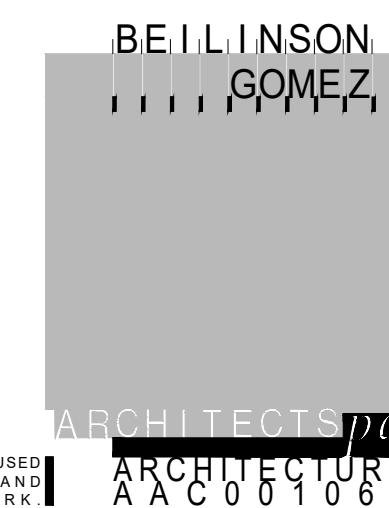
1. ROOFING SYSTEM IS EXISTING TO REMAIN. PATCH & REPAIR @ NEW EQUIPMENT PLACEMENT.
2. PROVIDE HYDROSTOP PREMIUM COAT SYSTEM WATERPROOFING (NOA 20-0304.01) OR EQUAL.
3. PROVIDE 20 YEARS ROOFING WARRANTY AND 25 YEARS INSTALLATION WARRANTY.
4. WATERPROOFING SYSTEM TO BE SUBMITTED AS A SEPARATE PERMIT AS PER FBC 2020 1512.3.1
5. CARIBBEAN "S" CLAY ROOF TILE, ONE PIECE ROOFING TILE AND ITS COMPONENTS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH ROOFING APPLICATION STANDARD RAS 120.

**LEGEND**

- (E) EXISTING DOOR TO REMAIN, REPAIRED OR REPLACED BY SAME MODEL
  - (N) NEW DOOR
  - [Hatched Box] NEW CMU WALL
  - [Solid Box] NEW DRYWALL PARTITION
  - [Dotted Box] EXISTING WALL/STRUCTURE TO REMAIN
- (North Arrow)

**GULFSTREAM HOTEL**

11 LAKE AVENUE  
LAKE WORTH, FL 33460

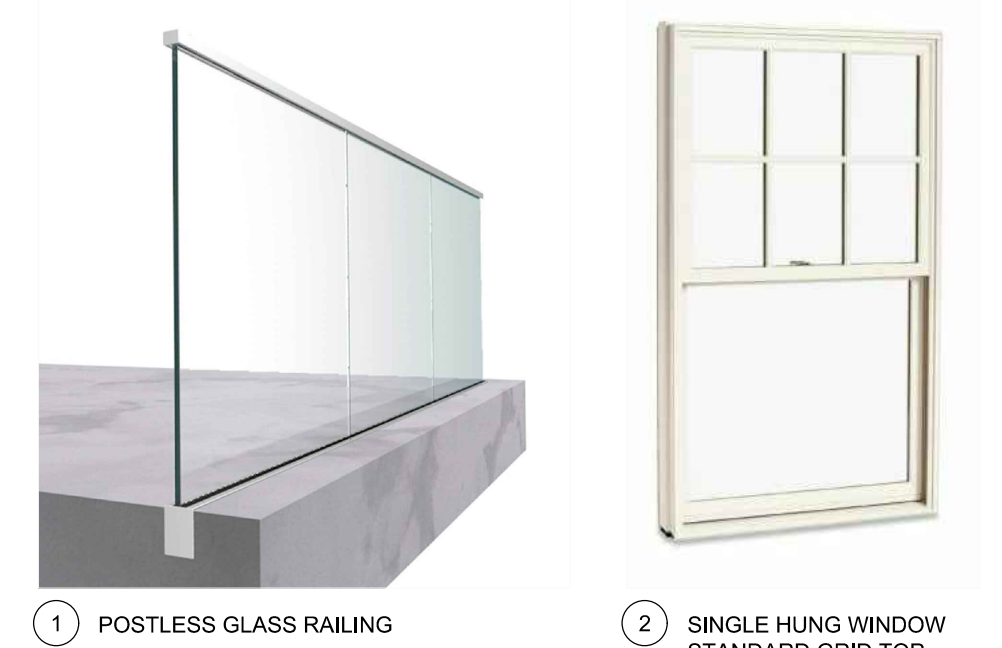


ARCHITECTS P.A. 8101 BISCAYNE BLVD. # 309-310 MIAMI, FL 33148  
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1746 ROSE L GOMEZ

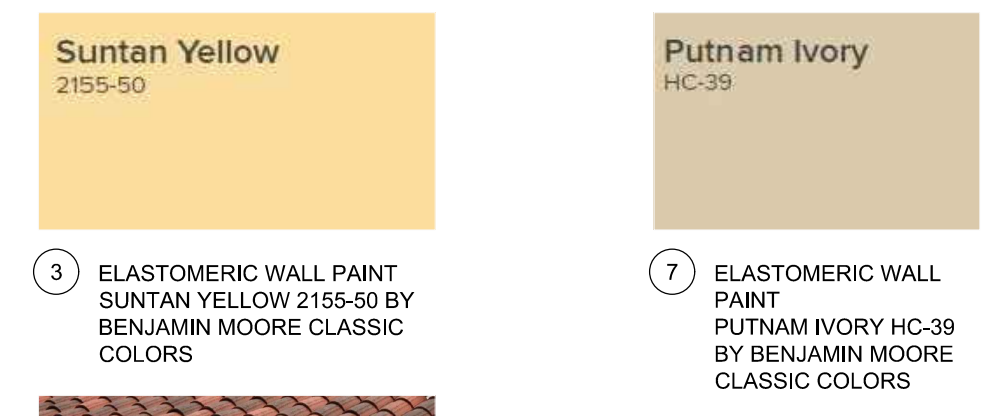
DWG. TITLE	PROPOSED UPPER ROOF PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A106



- ELEVATION KEY NOTES**
- 1- POSTLESS GLASS RAILING
  - 2- SINGLE HUNG WINDOWS BY QUAKER HISTORICAL SERIES H300 COLOR BALLET WHITE
  - 3- ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS
  - 4- NOT USED.
  - 5- NEW ALUMINUM CHANNEL LETTER SIGN BACKLIT WITH LED TO MIMIC EXISTING HISTORIC SIGN AS CLOSE AS POSSIBLE WITH NEW MATERIAL.
  - 6- EXISTING METAL RAILING TO BE PAINTED WITH ELECTROSTATIC PAINT SEMI-GLOSS BLACK
  - 7- ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS
  - 8- EXISTING PRECAST DECORATIVE CONCRETE RAILINGS ON FRONT LOGGIA TO REMAIN. (10 BALUSTERS, UNLESS OTHERWISE NOTED).
  - 9- CLAY BARREL TO BE REPLACED WITH 'ALTUSA S' RED CLAY TILES, NOA # 17-0727.07 OR EQUAL. GC TO INSTALL AS STATED IN THE APPROVED NOA
  - 10- FRENCH DOORS BY QUAKER TO BE REPLACED TO MATCH EXISTING
  - 11- FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING
  - 12- NEW FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING FRENCH WINDOWS
  - 13- @ DENOTES A WINDOW TAG. REFER TO WINDOW SCHEDULE ON SHEET A605 FOR MORE DETAILS
- NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION, FABRICATION AND/OR INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.



1 POSTLESS GLASS RAILING  
2 SINGLE HUNG WINDOW STANDARD GRID TOP ONLY BY QUAKER WINDOWS AND DOORS HISTORICAL H300 SERIES COLOR BALLET WHITE



3 ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS  
7 ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS



9 CLAY ROOF TILES

NOTE ON EXISTING WINDOWS AND DOORS: THE EXISTING WINDOWS AND DOORS ARE NON-HISTORIC / NON-IMPACT WINDOWS/DOORS. THEY WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPATHETIC TO THE ORIGINAL WINDOW/ DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL AND THEY SHALL MEET ALL APPLICABLE SECTIONS OF FBC 2020 7TH EDITION, CHAPTER 2411. WINDOWS AND DOORS WILL BE COMPOSED OF ALUMINUM TO WITHSTAND THE WEATHER TYPICAL OF THE REGION PER CODE REGULATIONS'

DWG. TITLE	NORTH ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A201

**NORTH ELEVATION**

**GULFSTREAM HOTEL**

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS  
P.A.

8101 BISCAYNE BLVD. # 309, 310  
M I A M I F L 3 1 3 8, 4 6 9  
T 305.559.1250 F 305.551.1746

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EAST ELEVATION

ELEVATION KEY NOTES

- 1- POSTLESS GLASS RAILING
  - 2- SINGLE HUNG WINDOWS BY QUAKER HISTORICAL SERIES H300 COLOR BALLET WHITE
  - 3- ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS
  - 4- NOT USED.
  - 5- NEW ALUMINUM CHANNEL LETTER SIGN BACKLIT WITH LED TO MIMIC EXISTING HISTORIC SIGN AS CLOSE AS POSSIBLE WITH NEW MATERIAL.
  - 6- EXISTING METAL RAILING TO BE PAINTED WITH ELECTROSTATIC PAINT SEMI-GLOSS BLACK
  - 7- ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS
  - 8- EXISTING PRECAST DECORATIVE CONCRETE RAILINGS ON FRONT LOGGIA TO REMAIN. (10 BALUSTERS, UNLESS OTHERWISE NOTED).
  - 9- CLAY BARREL TO BE REPLACED WITH "ALTUSA S" RED CLAY TILES, NOA # 17-0727.07 OR EQUAL, GC TO INSTALL AS STATED IN THE APPROVED NOA
  - 10- FRENCH DOORS BY QUAKER TO BE REPLACED TO MATCH EXISTING
  - 11- FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING
  - 12- NEW FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING FRENCH WINDOWS
  - 13- @ DENOTES A WINDOW TAG. REFER TO WINDOW SCHEDULE ON SHEET A605 FOR MORE DETAILS
- NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION, FABRICATION AND/OR INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.



1 POSTLESS GLASS RAILING



2 SINGLE HUNG WINDOW STANDARD GRID TOP ONLY BY QUAKER WINDOWS AND DOORS HISTORICAL H300 SERIES COLOR BALLET WHITE



3 ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS



7 ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS



9 CLAY ROOF TILES

NOTE ON EXISTING WINDOWS AND DOORS: THE EXISTING WINDOWS AND DOORS ARE NON-HISTORIC / NON-IMPACT WINDOWS/DOORS. THEY WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPATHETIC TO THE ORIGINAL WINDOW/ DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL AND THEY SHALL MEET ALL APPLICABLE SECTIONS OF FBC 2020 7TH EDITION, CHAPTER 2411. WINDOWS AND DOORS WILL BE COMPOSED OF ALUMINUM TO WITHSTAND THE WEATHER TYPICAL OF THE REGION PER CODE REGULATIONS

GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

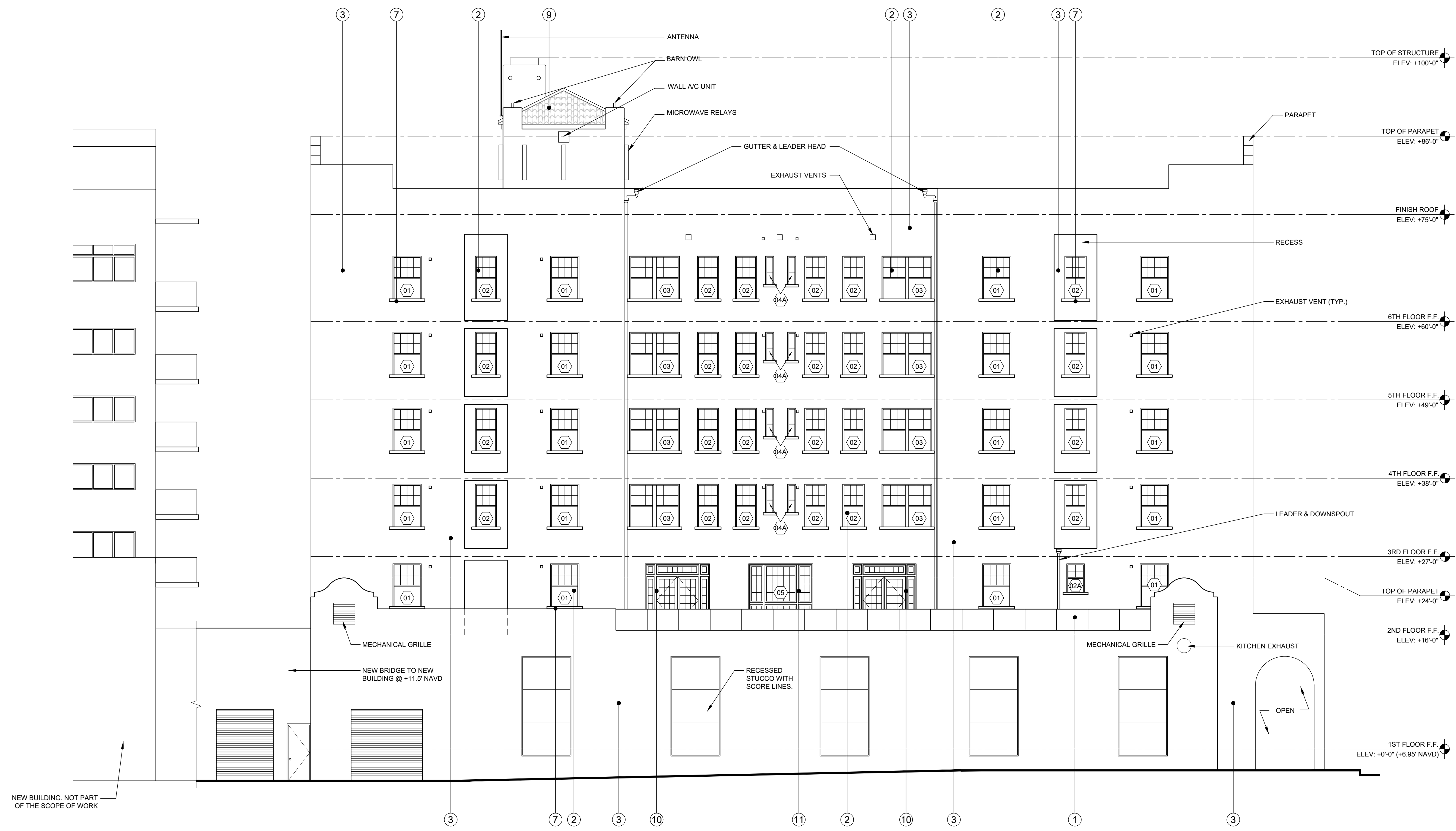
ARCHITECTS  
P.A.

8101 BISCAYNE BLVD, S 309, 310  
M I A M I F L 3 3 1 3 8, 4 6 9  
T 305.559.1250 F 305.551.1740

ROSE J. GOMEZ

DWG. TITLE	EAST ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A202

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**SOUTH ELEVATION**

- ELEVATION KEY NOTES**
- 1- POSTLESS GLASS RAILING
  - 2- SINGLE HUNG WINDOWS BY QUAKER HISTORICAL SERIES H300 COLOR BALLET WHITE
  - 3- ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS
  - 4- NOT USED.
  - 5- NEW ALUMINUM CHANNEL LETTER SIGN BACKLIT WITH LED TO MIMIC EXISTING HISTORIC SIGN AS CLOSE AS POSSIBLE WITH NEW MATERIAL.
  - 6- EXISTING METAL RAILING TO BE PAINTED WITH ELECTROSTATIC PAINT SEMI-GLOSS BLACK
  - 7- ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS
  - 8- EXISTING PRECAST DECORATIVE CONCRETE RAILINGS ON FRONT LOGGIA TO REMAIN (10 BALUSTERS, UNLESS OTHERWISE NOTED).
  - 9- CLAY BARREL TO BE REPLACED WITH 'ALTUSA S' RED CLAY TILES, NOA # 17-0727.07 OR EQUAL. GC TO INSTALL AS STATED IN THE APPROVED NOA
  - 10- FRENCH DOORS BY QUAKER TO BE REPLACED TO MATCH EXISTING
  - 11- FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING
  - 12- NEW FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING FRENCH WINDOWS
  - 13- (C) DENOTES A WINDOW TAG. REFER TO WINDOW SCHEDULE ON SHEET A605 FOR MORE DETAILS
- NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION, FABRICATION AND/OR INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.



1 POSTLESS GLASS RAILING  
2 SINGLE HUNG WINDOW STANDARD GRID TOP ONLY BY QUAKER WINDOWS AND DOORS HISTORICAL H300 SERIES COLOR BALLET WHITE



3 ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS  
7 ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS



9 CLAY ROOF TILES

NOTE ON EXISTING WINDOWS AND DOORS: THE EXISTING WINDOWS AND DOORS ARE NON-HISTORIC / NON-IMPACT WINDOWS/DOORS. THEY WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPATHETIC TO THE ORIGINAL WINDOW/ DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL AND THEY SHALL MEET ALL APPLICABLE SECTIONS OF FBC 2020 7TH EDITION, CHAPTER 2411. WINDOWS AND DOORS WILL BE COMPOSED OF ALUMINUM TO WITHSTAND THE WEATHER TYPICAL OF THE REGION PER CODE REGULATIONS'

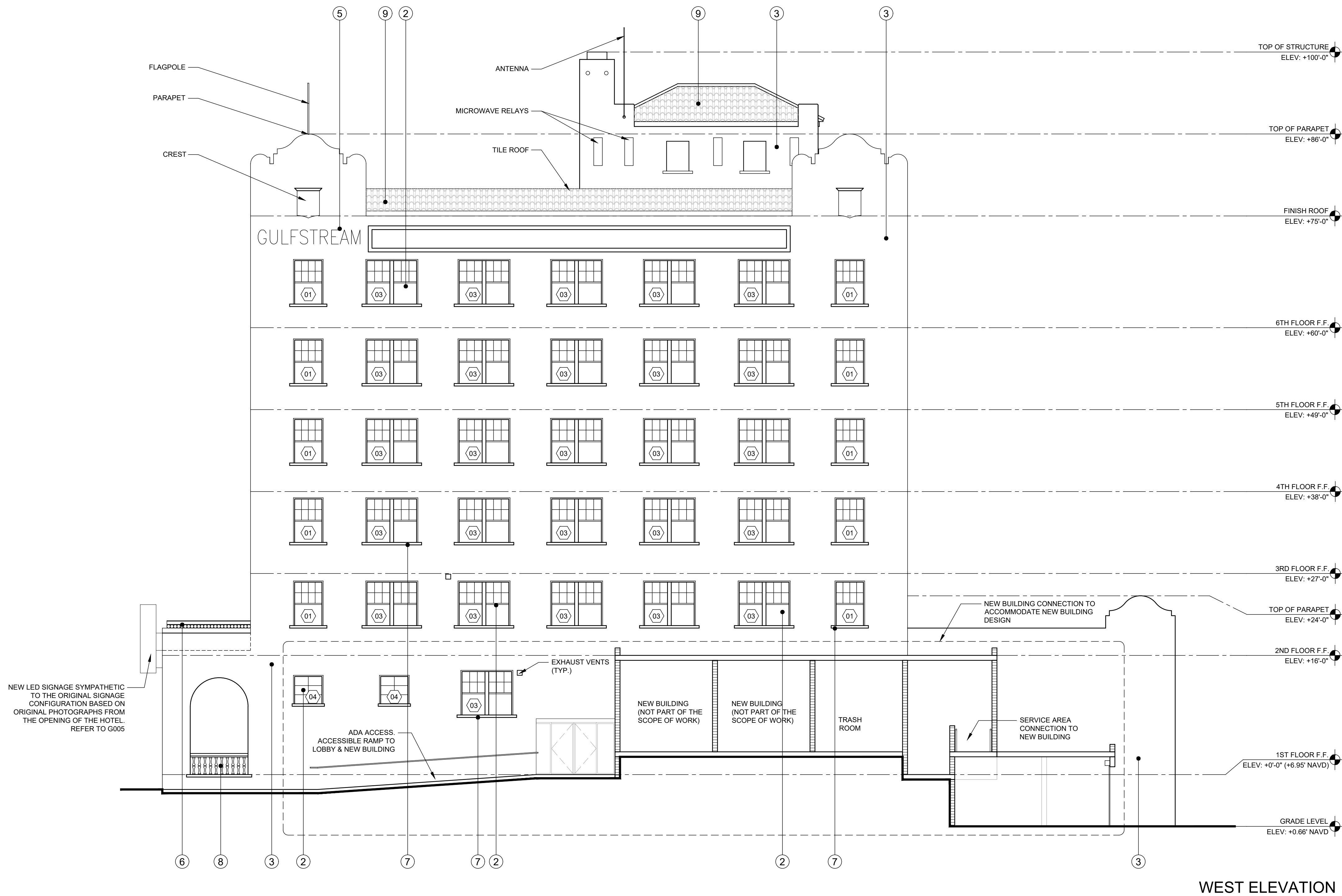
**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS  
A A C 0 0 1 0 6 2

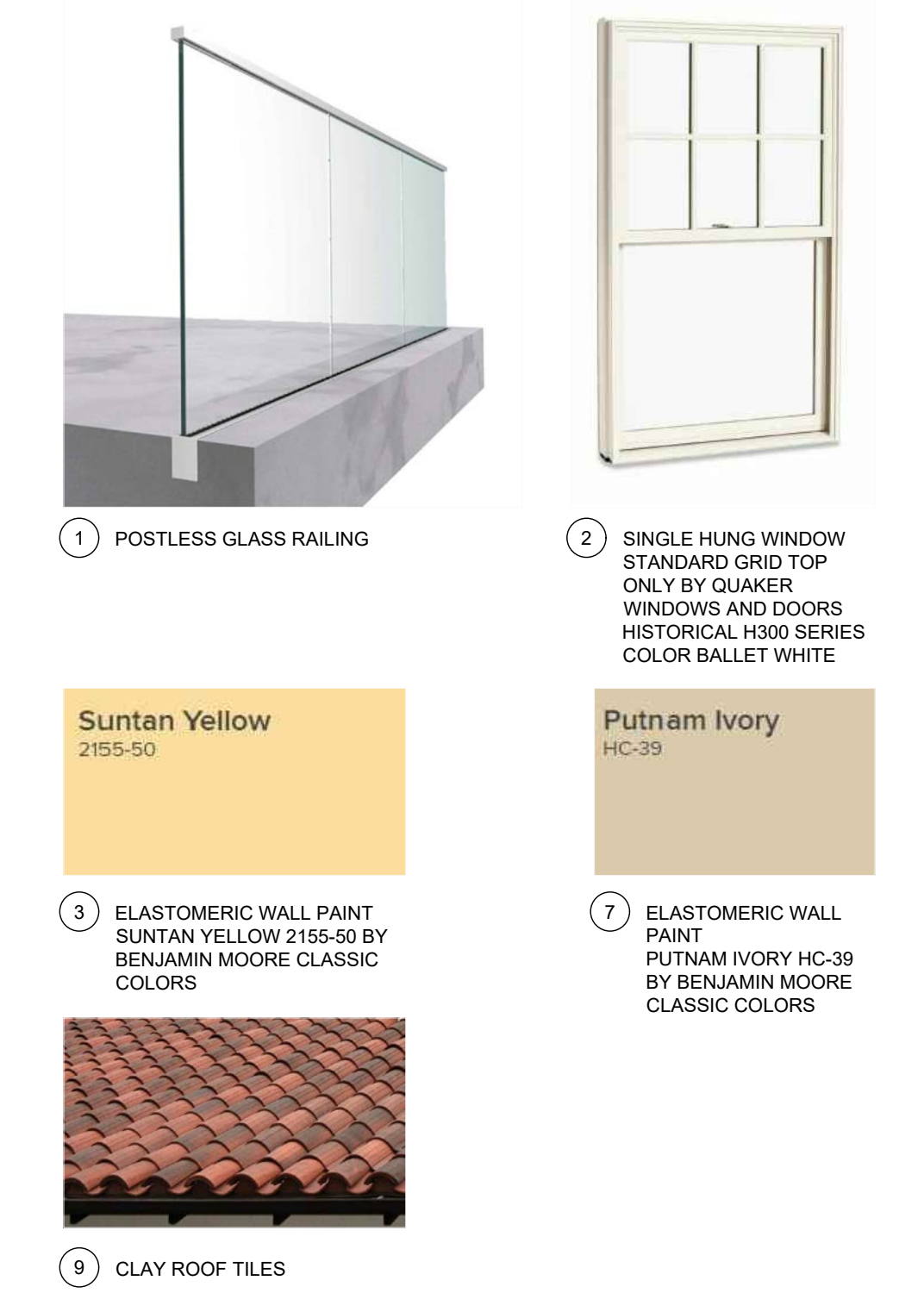
DWG. TITLE	SOUTH ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A203





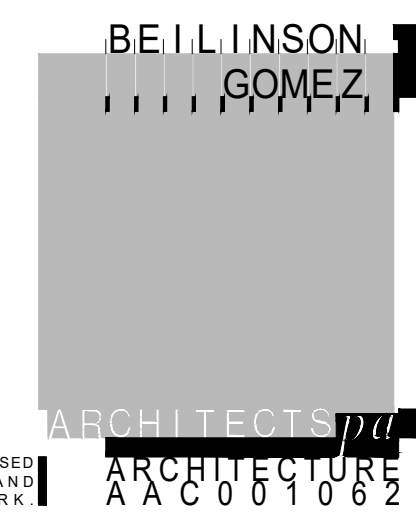
WEST ELEVATION

- ELEVATION KEY NOTES**
- POSTLESS GLASS RAILING
  - SINGLE HUNG WINDOWS BY QUAKER HISTORICAL SERIES H300 COLOR BALLET WHITE
  - ELASTOMERIC WALL PAINT SUNTAN YELLOW 2155-50 BY BENJAMIN MOORE CLASSIC COLORS
  - NOT USED.
  - NEW ALUMINUM CHANNEL LETTER SIGN BACKLIT WITH LED TO MIMIC EXISTING HISTORIC SIGN AS CLOSE AS POSSIBLE WITH NEW MATERIAL.
  - EXISTING METAL RAILING TO BE PAINTED WITH ELECTROSTATIC PAINT SEMI-GLOSS BLACK
  - ELASTOMERIC WALL PAINT PUTNAM IVORY HC-39 BY BENJAMIN MOORE CLASSIC COLORS
  - EXISTING PRECAST DECORATIVE CONCRETE RAILINGS ON FRONT LOGGIA TO REMAIN (10 BALUSTERS, UNLESS OTHERWISE NOTED).
  - CLAY BARREL TO BE REPLACED WITH 'ALTUSA S' RED CLAY TILES, NOA # 17-0727.07 OR EQUAL. GC TO INSTALL AS STATED IN THE APPROVED NOA
  - FRENCH DOORS BY QUAKER TO BE REPLACED TO MATCH EXISTING
  - FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING
  - NEW FIXED GLASS WINDOWS BY QUAKER HISTORICAL SERIES TO MATCH EXISTING FRENCH WINDOWS
  - Ⓞ DENOTES A WINDOW TAG. REFER TO WINDOW SCHEDULE ON SHEET A605 FOR MORE DETAILS
- NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION, FABRICATION AND/OR INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.



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**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460



DWG. TITLE	WEST ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A204
DATE	REVISION



NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION, FABRICATION AND/OR INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.

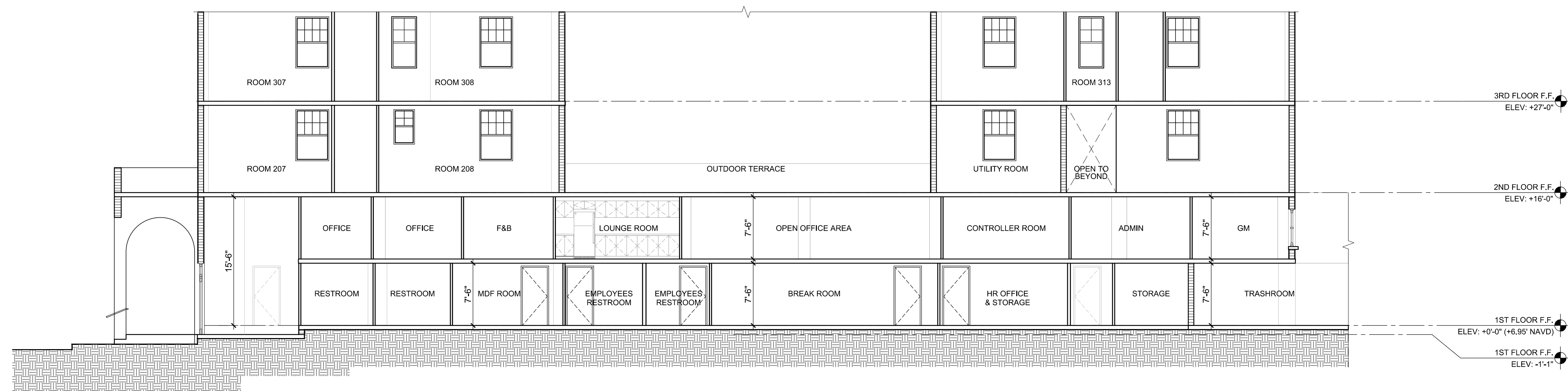
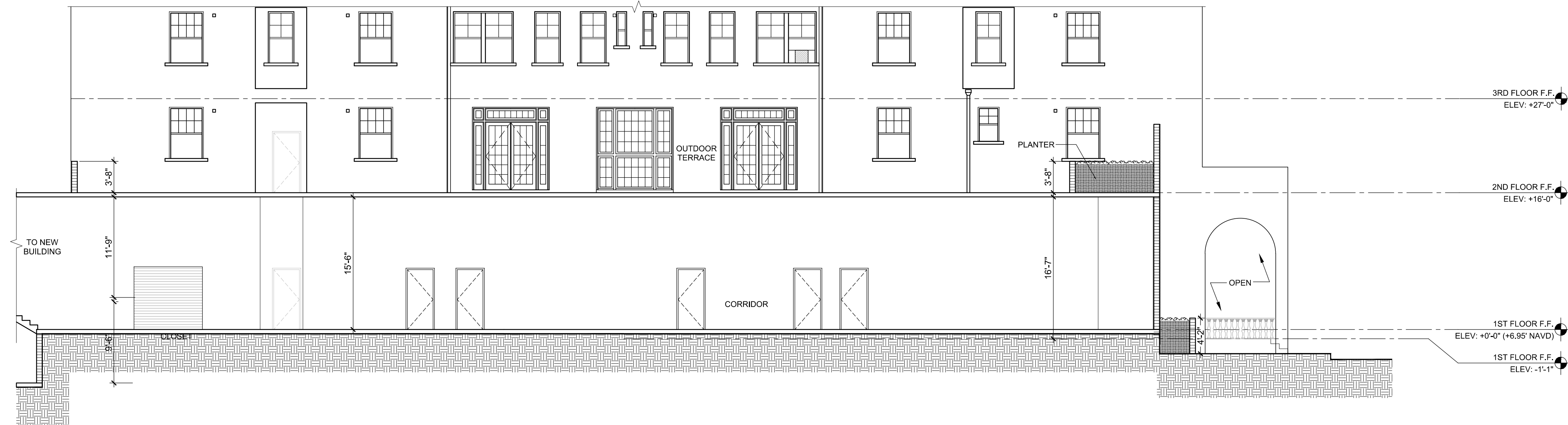
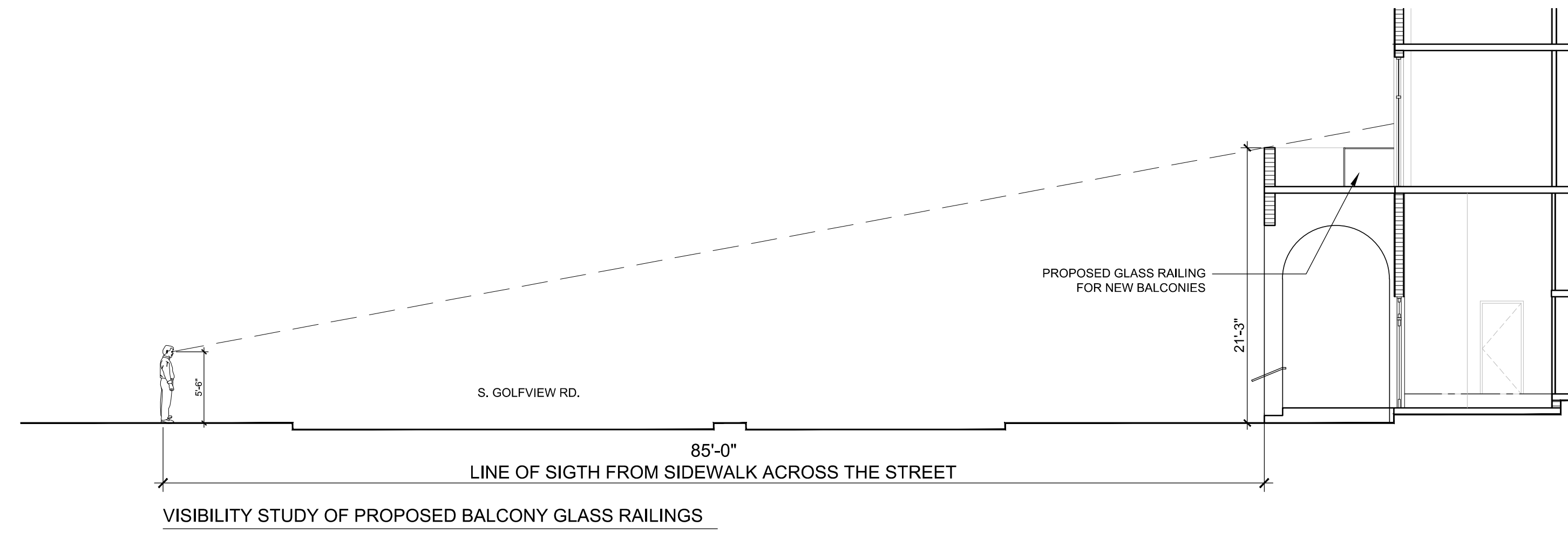
**GULFSTREAM HOTEL**  
 11 LAKE AVENUE  
 LAKE WORTH, FL 33460

**BEILINSON  
 GOMEZ**

**ARCHITECTS**  
 P.A.C. 0 0 1 0 6 2

DWG. TITLE	PROPOSED SECTION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A301

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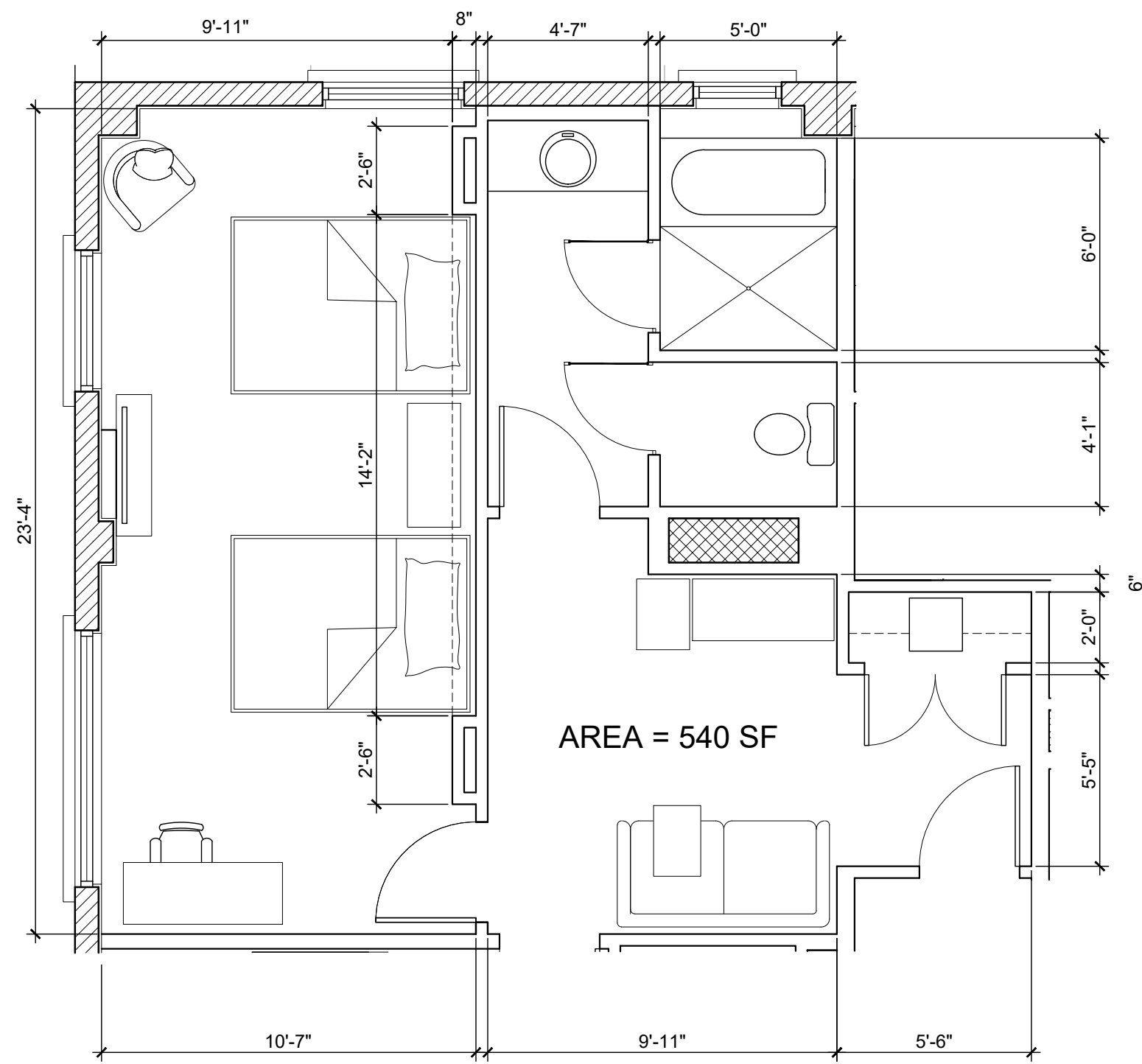
NOTE: ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN FIELD PRIOR ANY CONSTRUCTION. FABRICATION AND/OR INSTALLATION, CONTRACTOR SHALL NOTIFY ARCHITECT ANY DISCREPANCY.

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33480



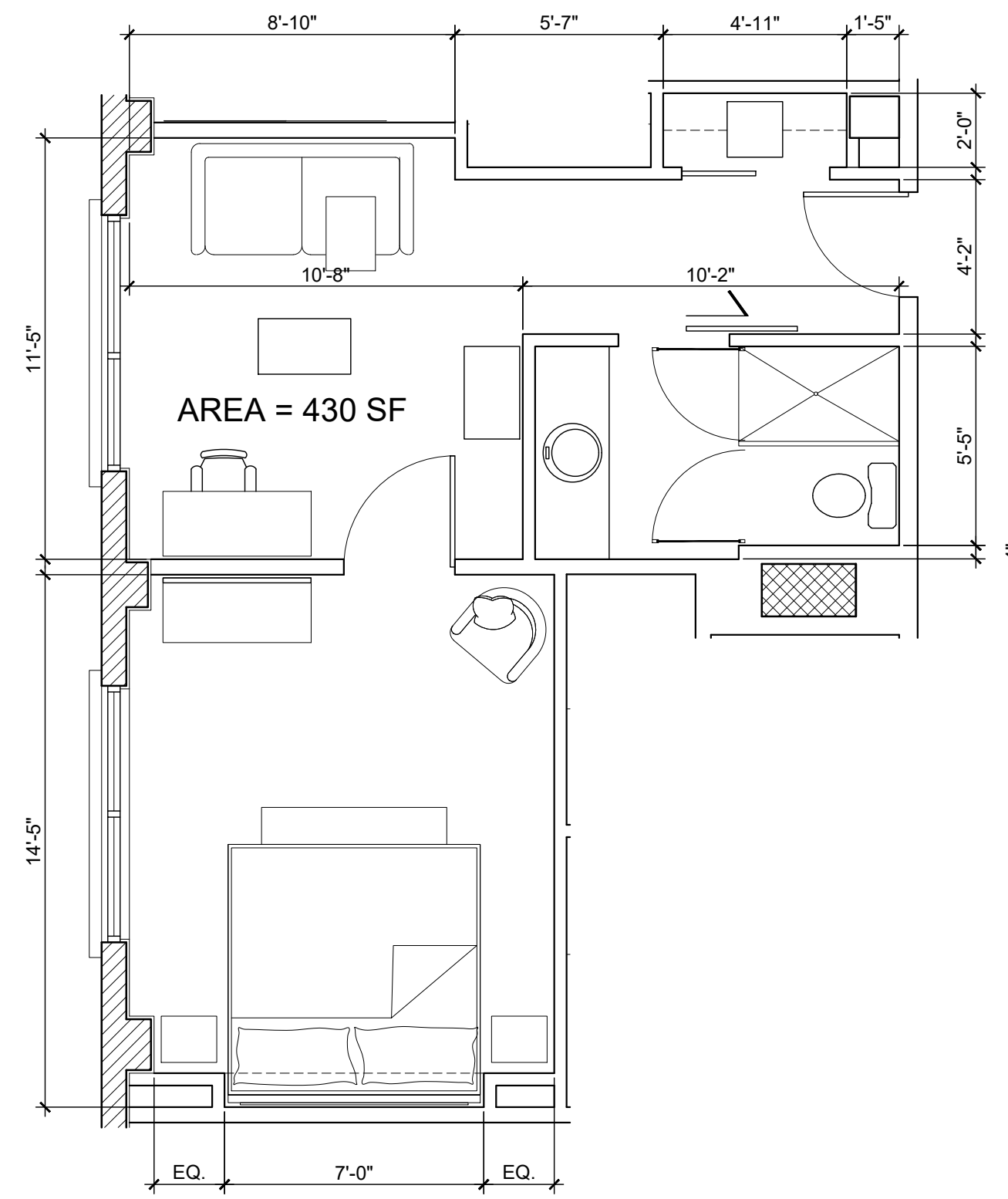
BEILINSON GOMEZ ARCHITECTS P.A. 8101 BISCAYNE BLVD, S 309, 310 MIAMI, FL 33138, 468-4100  
ARCHITECTURE A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740

DWG. TITLE	PROPOSED SECTION
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-01
DATE	11-10-21
SHEET NUMBER	A302
DATE	REVISION



QUEEN SUITE ROOM  
UNIT 319, 419, 519, 619

AREA = 540 SF

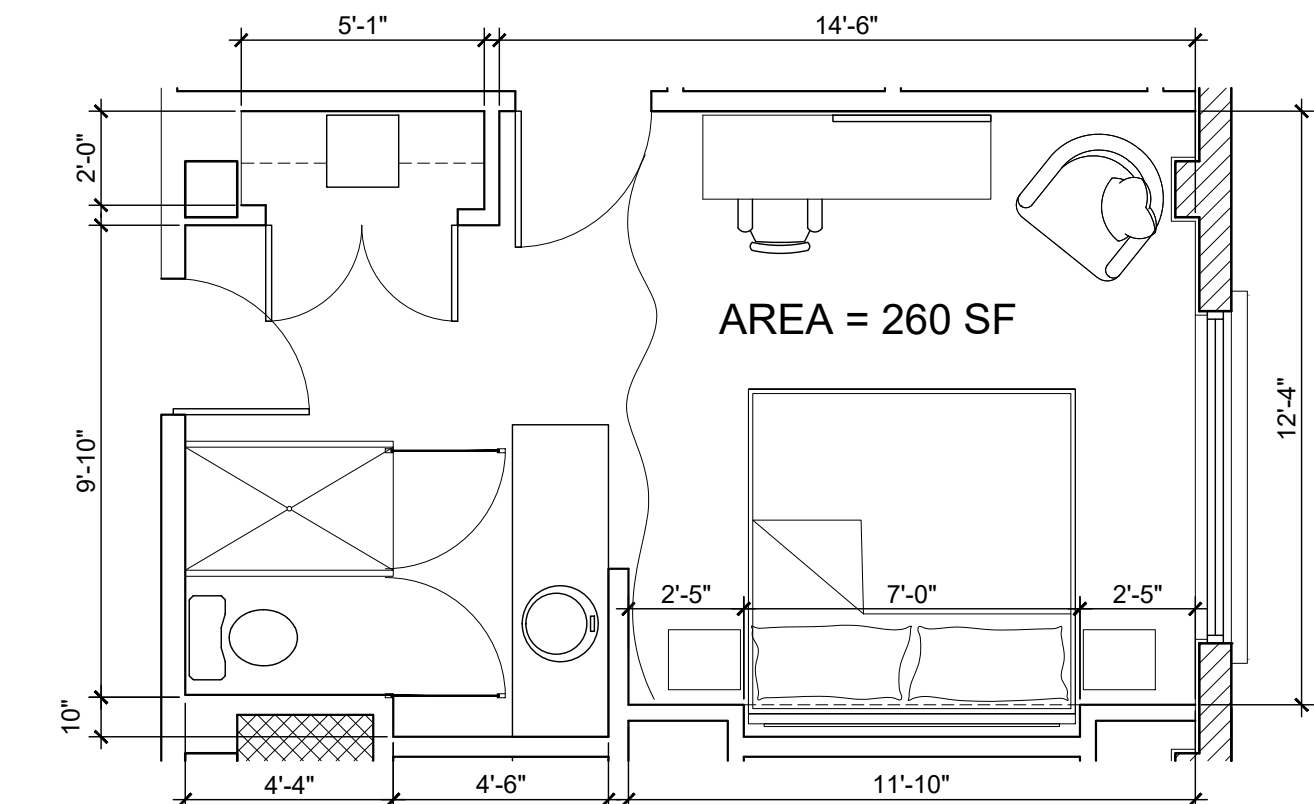


KING SUITE ROOM  
UNIT 214, 314, 414, 514, 614

AREA = 430 SF

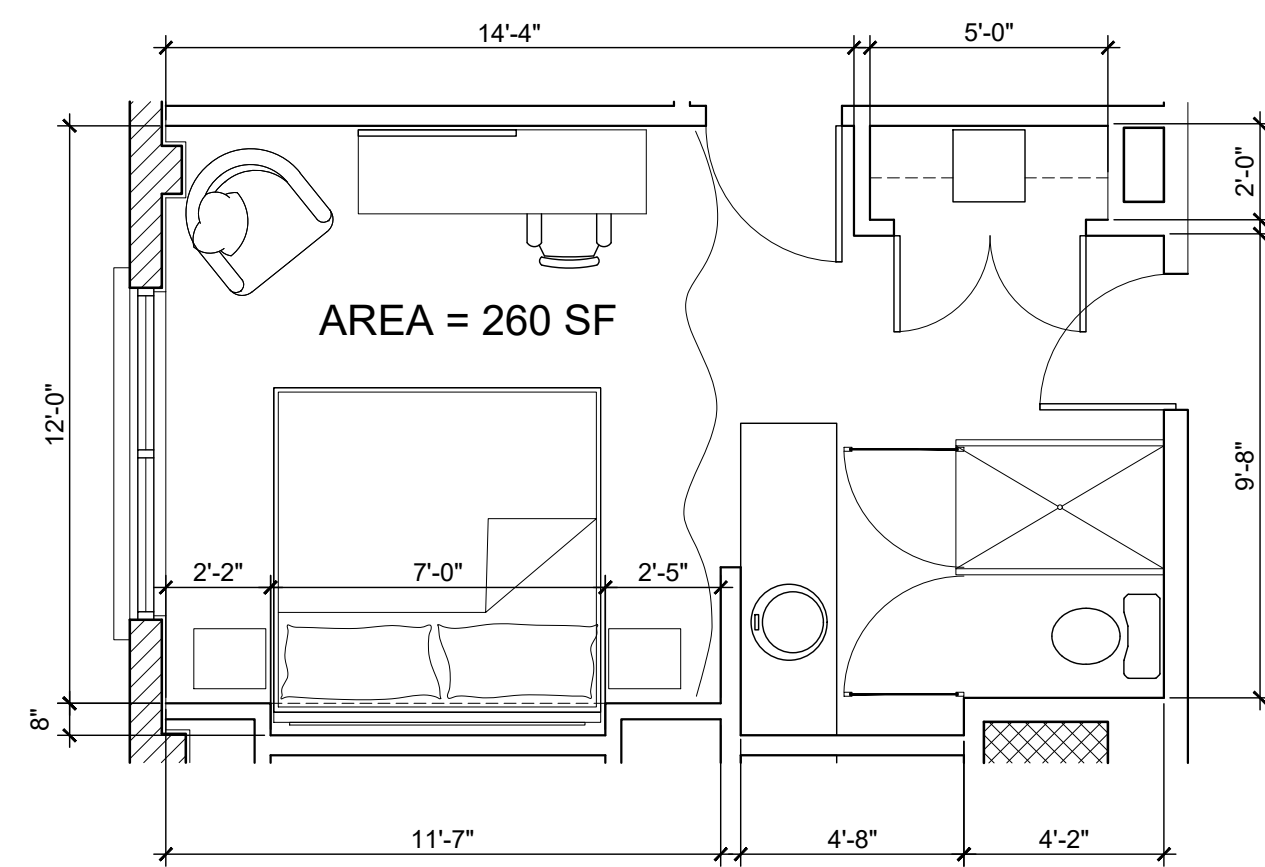
LEGEND

- EXISTING PARTITION/STRUCTURE TO REMAIN.
- NEW PARTITION.
- EXISTING SHAFT TO REMAIN.
- UNIT WITH COMMUNICATION FEATURES.
- UNIT WITH MOBILITY FEATURES.



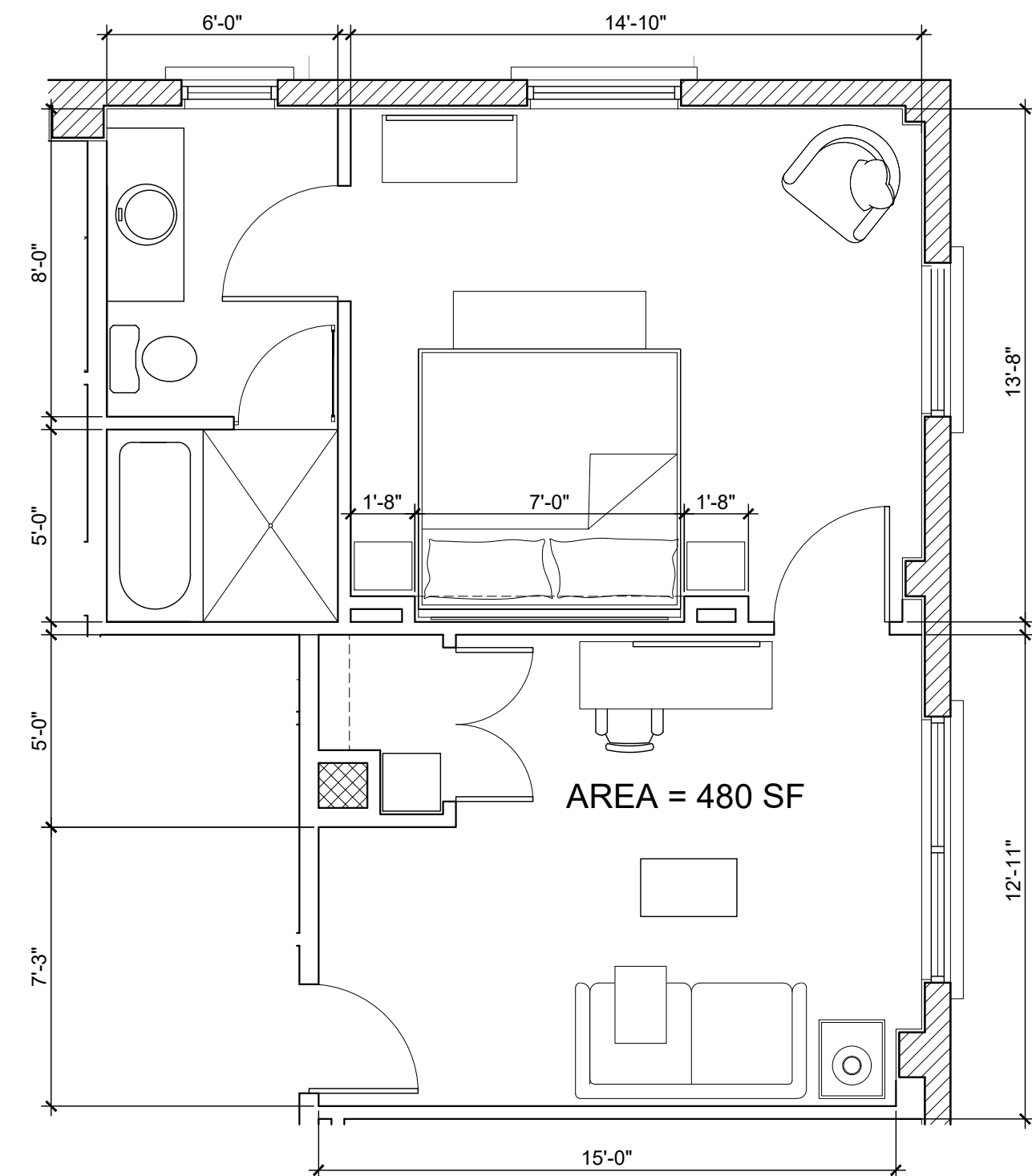
KING ROOM  
UNIT 303, 305, 306, 403, 405, 406 503, 505, 506, 603, 605, 606.

AREA = 260 SF



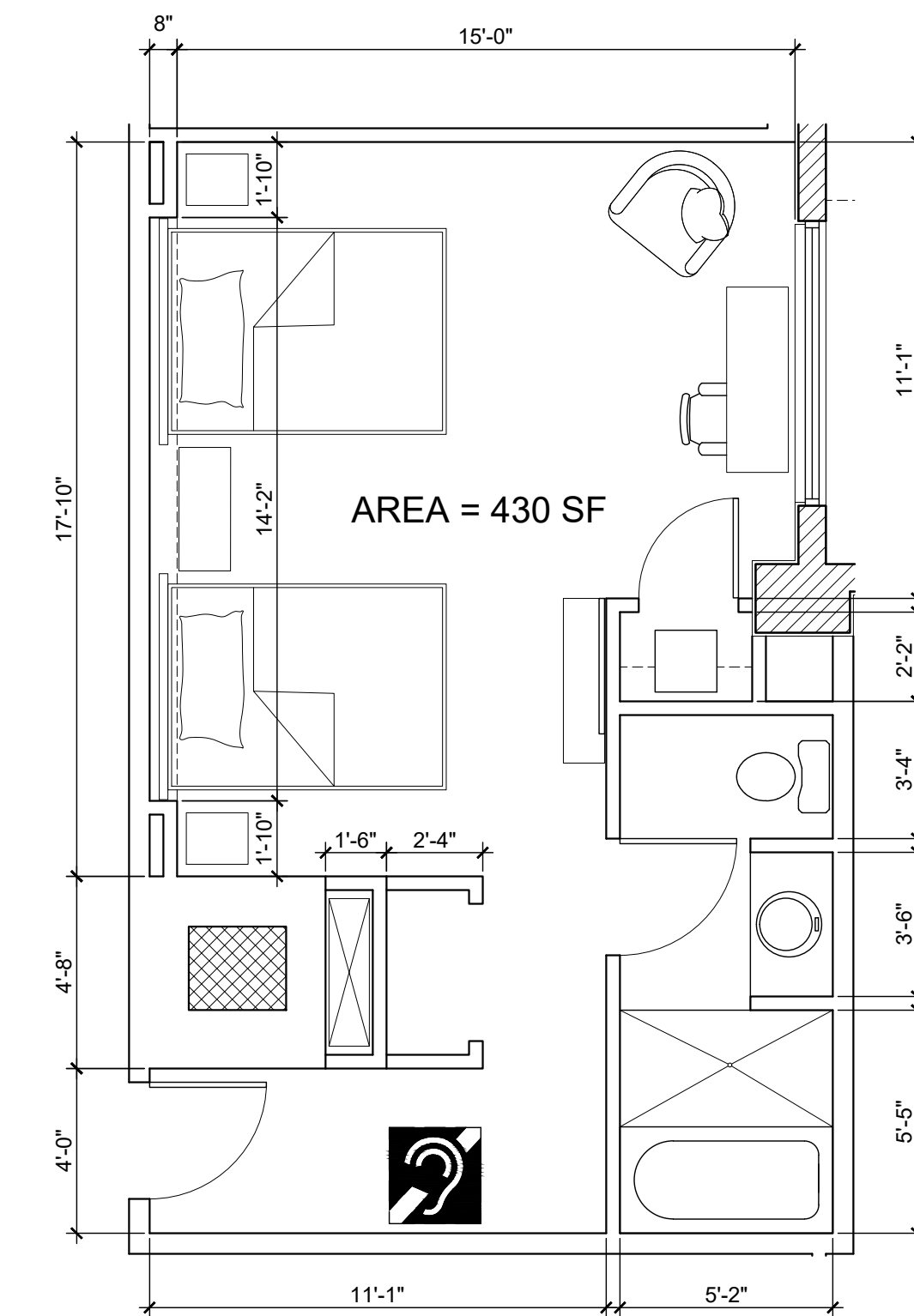
KING ROOM  
UNIT 216, 217, 316, 317, 416, 417, 516, 517, 616, 617.

AREA = 260 SF



KING SUITE ROOM  
UNIT 318, 418, 518, 618.

AREA = 480 SF

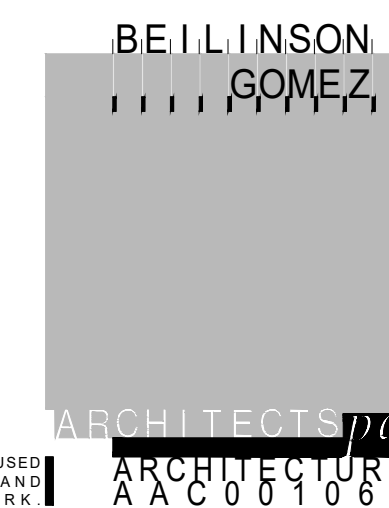


QUEEN ROOM (COMMUNICATION FEATURES)  
UNIT 215, 315, 415, 515, 615.

AREA = 430 SF

GULFSTREAM HOTEL

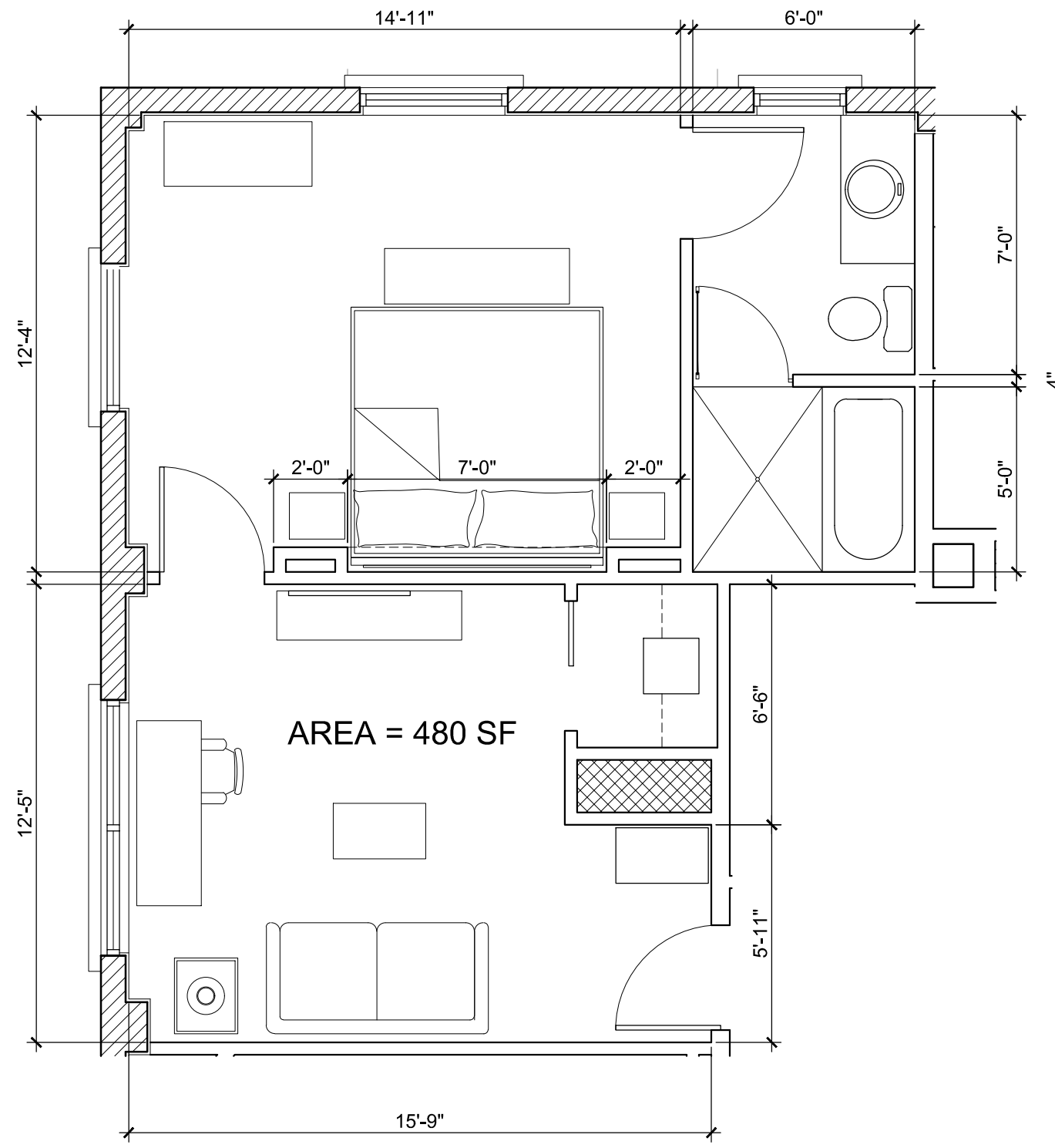
11 LAKE AVENUE  
LAKE WORTH, FL 33460



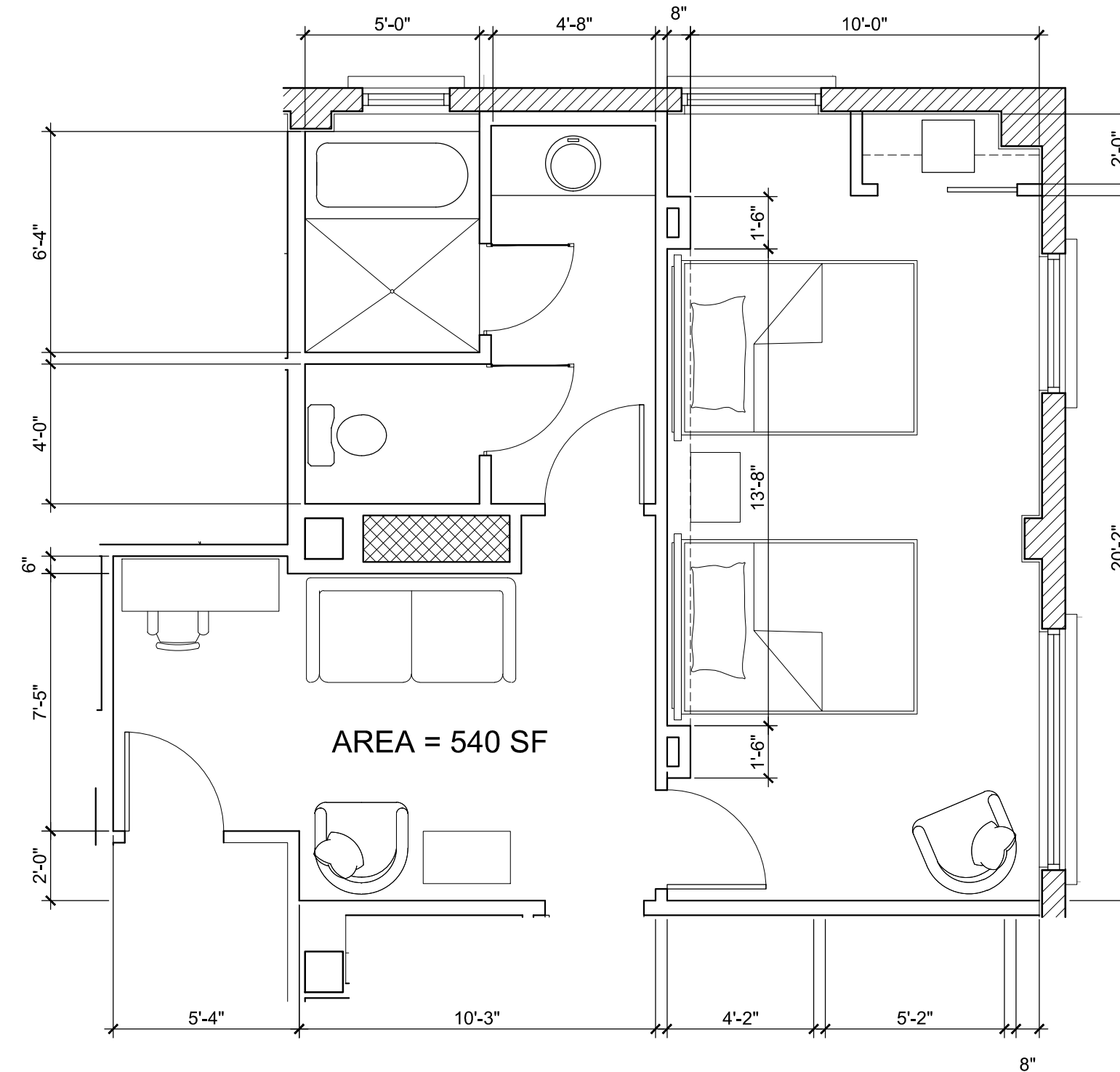
8101 BISCAYNE BLVD. S 309-310  
M I A M I F L 3 1 3 8 1-4 6 8 4  
T 305.559.1250 F 305.551.1746

DWG. TITLE	ENLARGED UNITS
SCALE	1/4" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A403
DATE	REVISION

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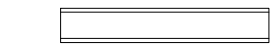
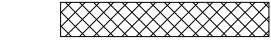




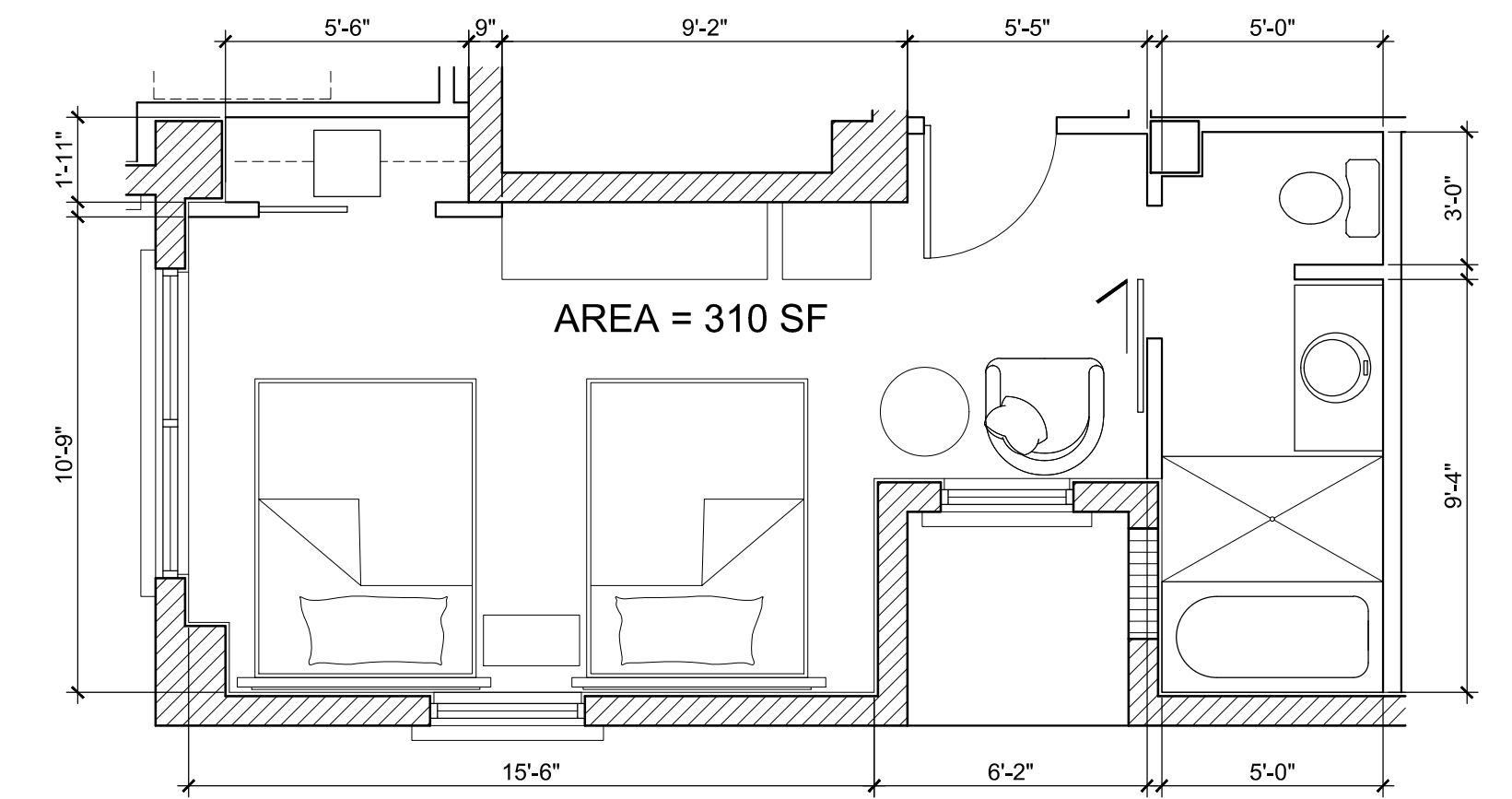
KING SUITE ROOM  
UNIT 302, 402, 502, 602.



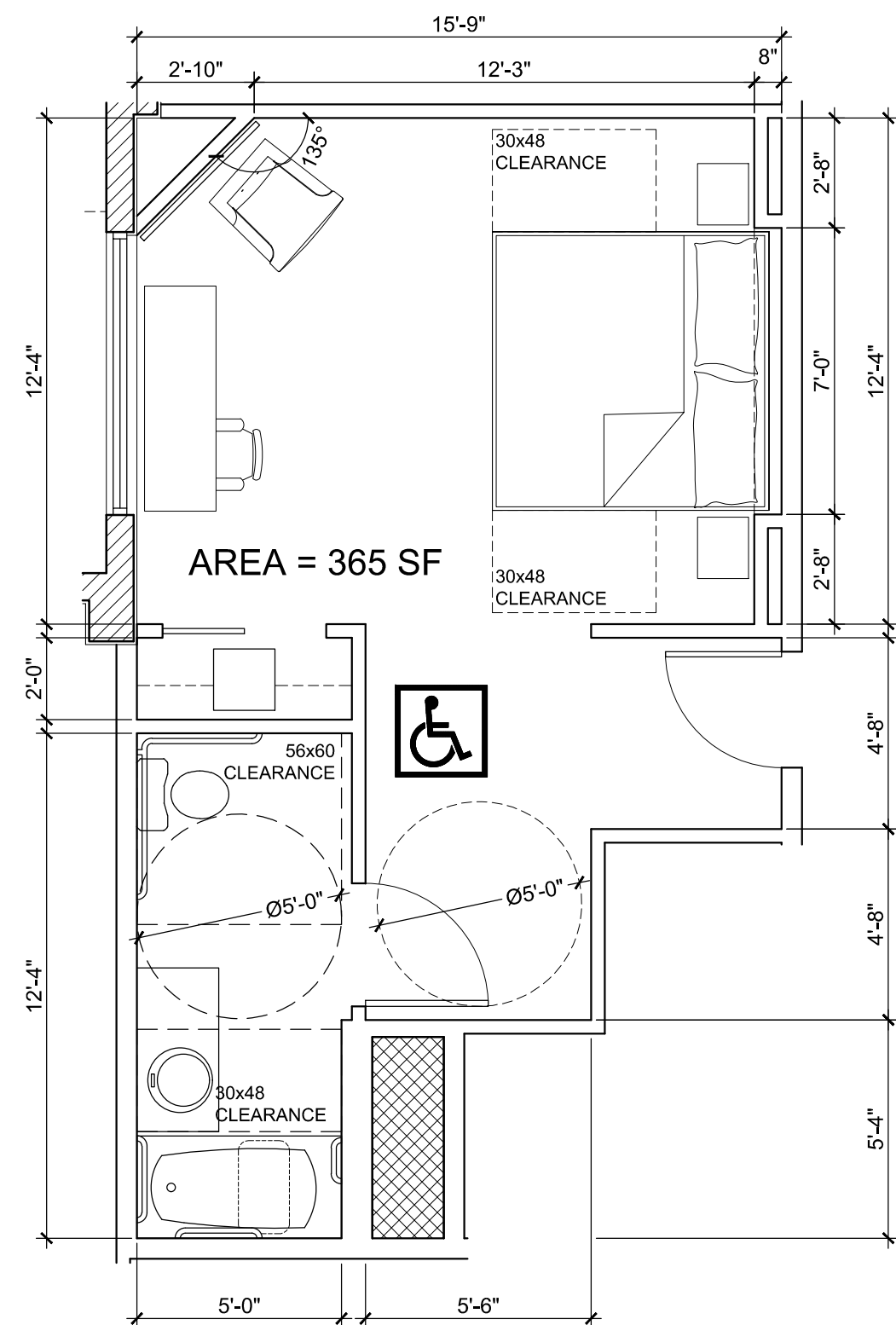
QUEEN SUITE ROOM  
UNIT 301, 401, 501, 601.

LEGEND

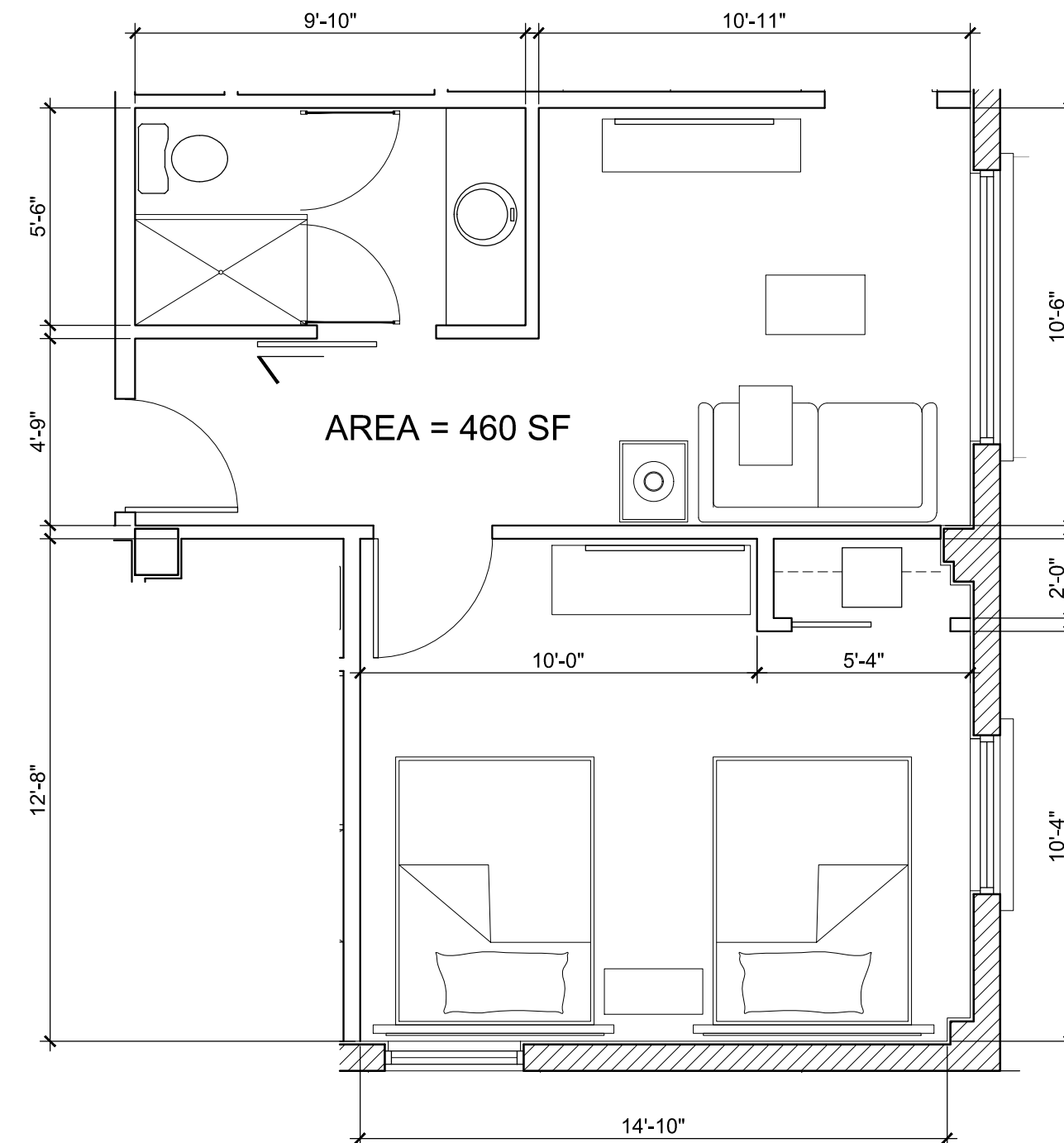
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-  NEW PARTITION.
-  EXISTING SHAFT TO REMAIN.
-  UNIT WITH COMMUNICATION FEATURES.
-  UNIT WITH MOBILITY FEATURES.



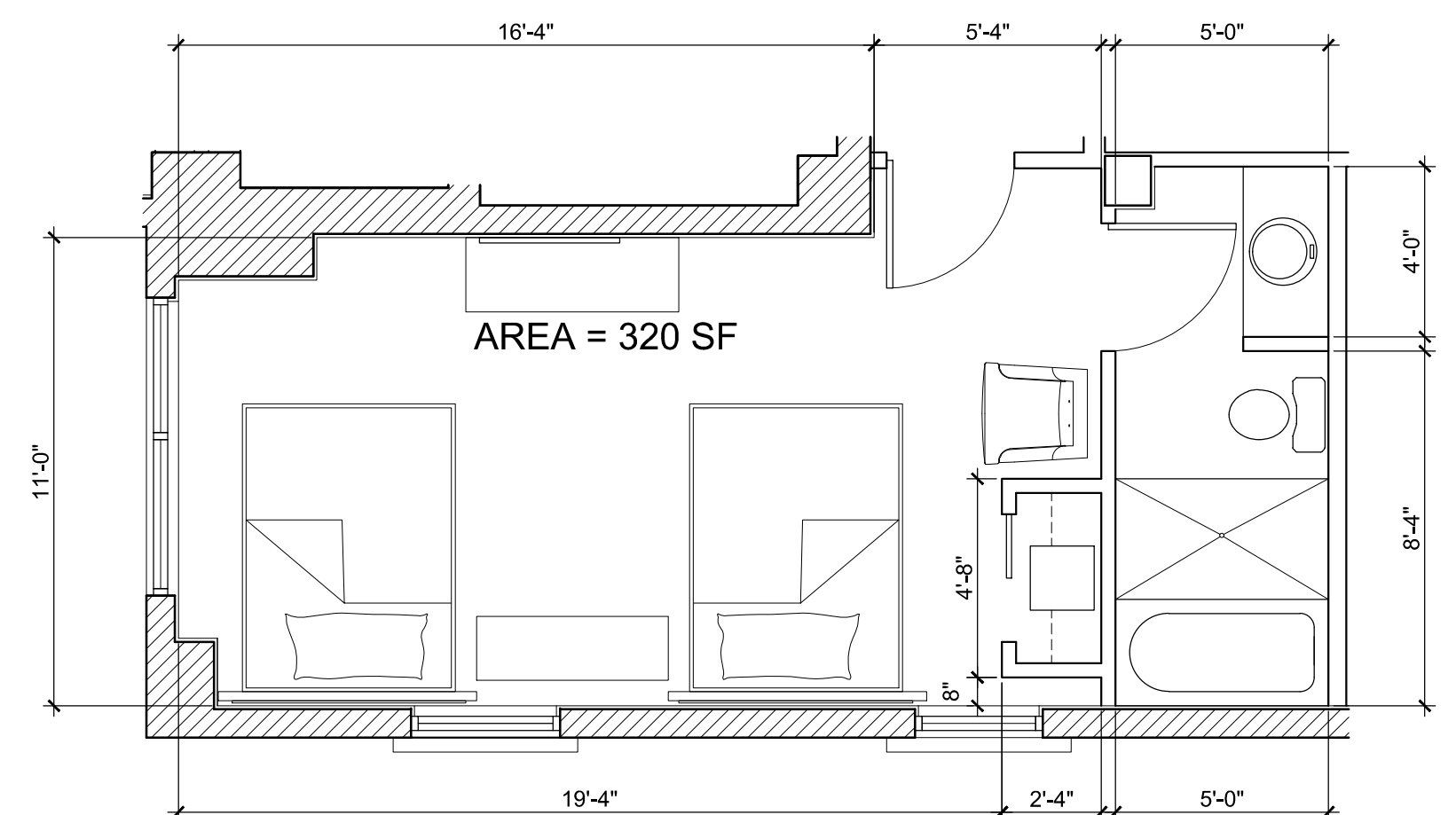
QUEEN SUITE ROOM  
UNIT 308, 408, 508, 608.



KING SUITE ROOM (ADA MOBILITY FEATURES)  
UNIT 204.



QUEEN SUITE ROOM  
UNIT 307, 407, 507, 607.



QUEEN SUITE ROOM  
UNIT 208.

GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33480

BEILINSON  
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. # 309, 310  
M I A M I F L 3 1 3 8, 4 6 8

T 305.559.1250 F 305.551.1740

ROSE + GOMEZ

A R 0 0 1 5 4 1 6

DWG. TITLE  
ENLARGED UNITS

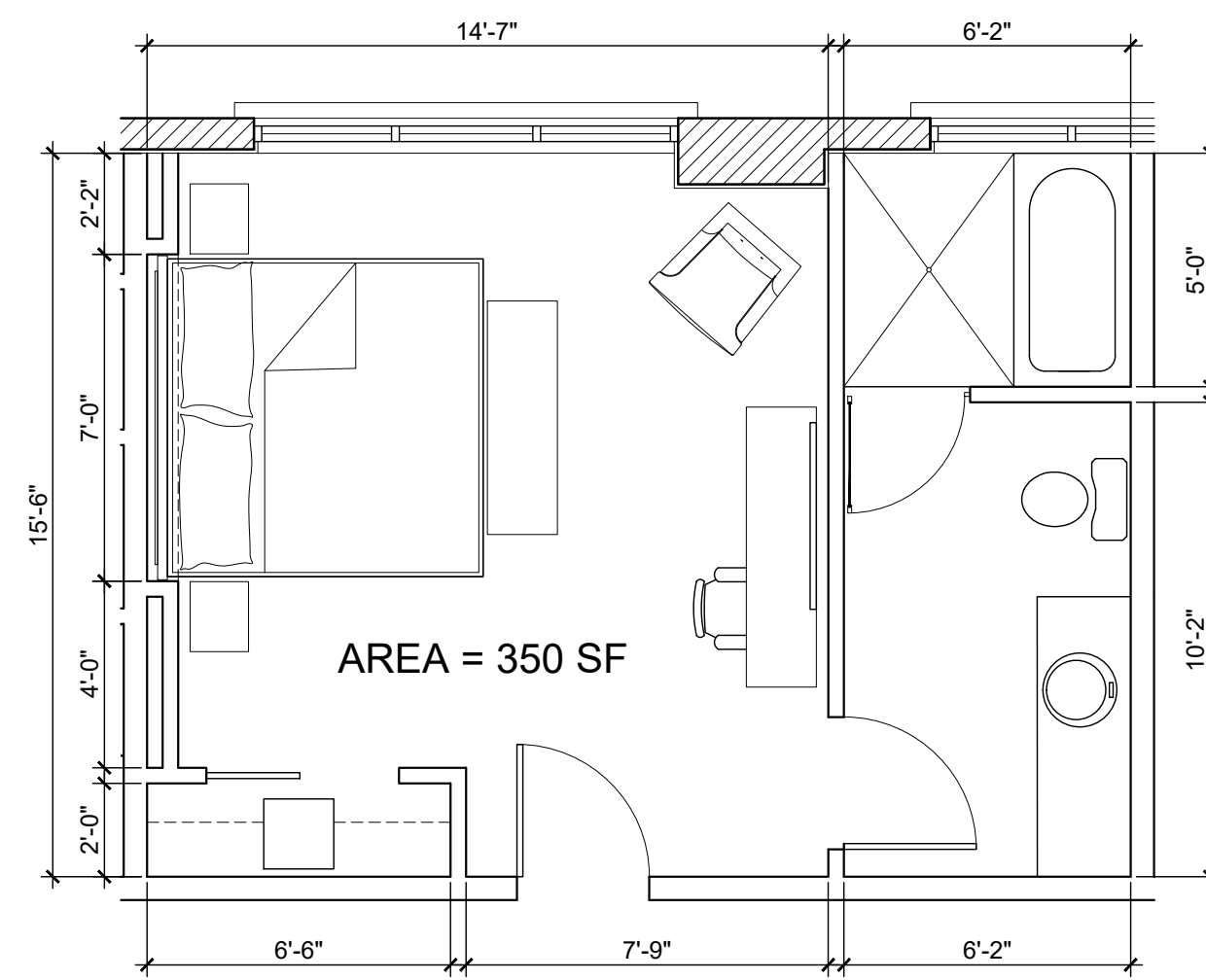
SCALE  
1/4" = 1'-0"

PROJECT NO.  
2020-01

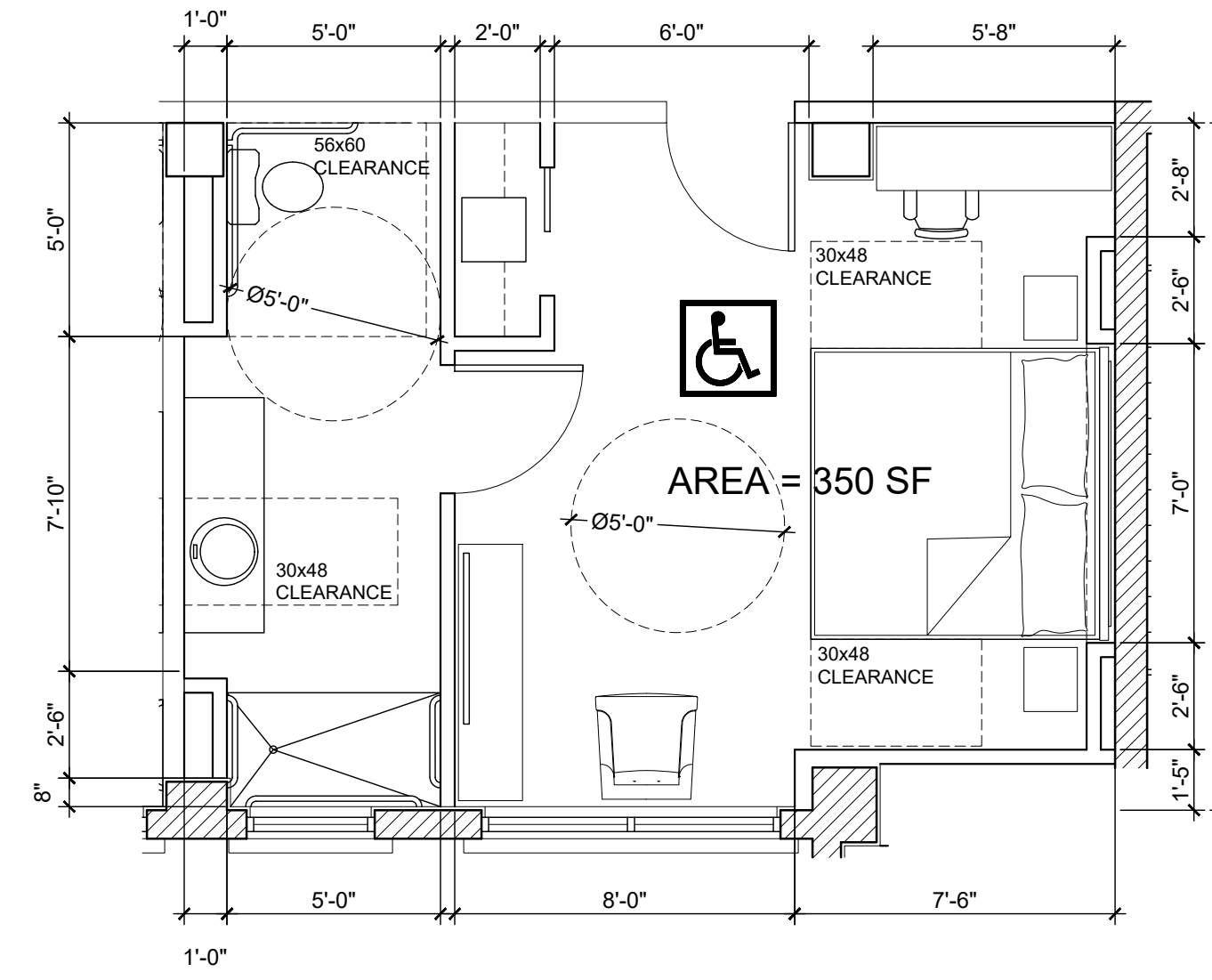
DATE  
11-12-21

SHEET NUMBER  
A404

DATE	REVISION



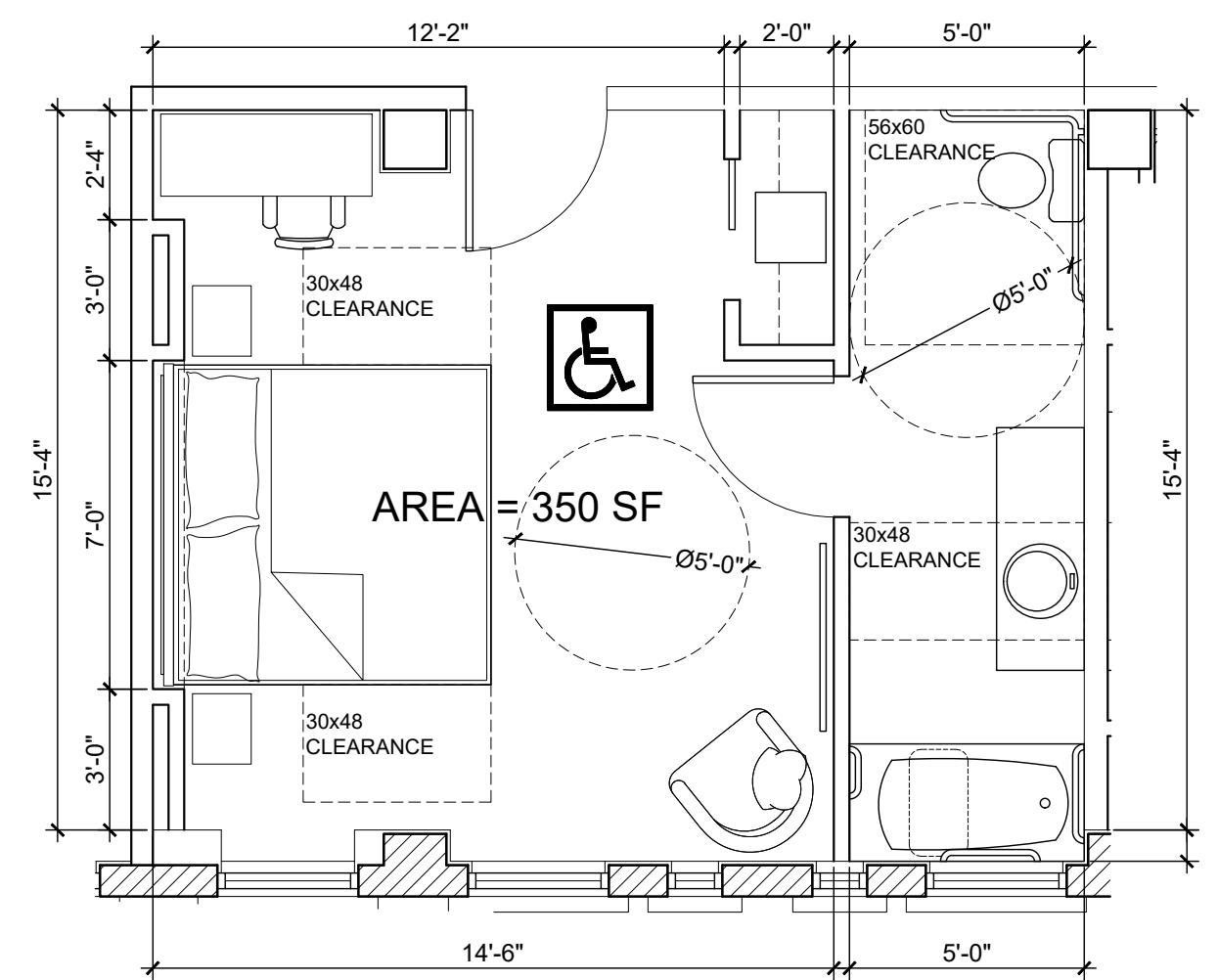
KING SUITE ROOM  
UNITS 310, 312, 410, 412, 510, 512, 610, 612.



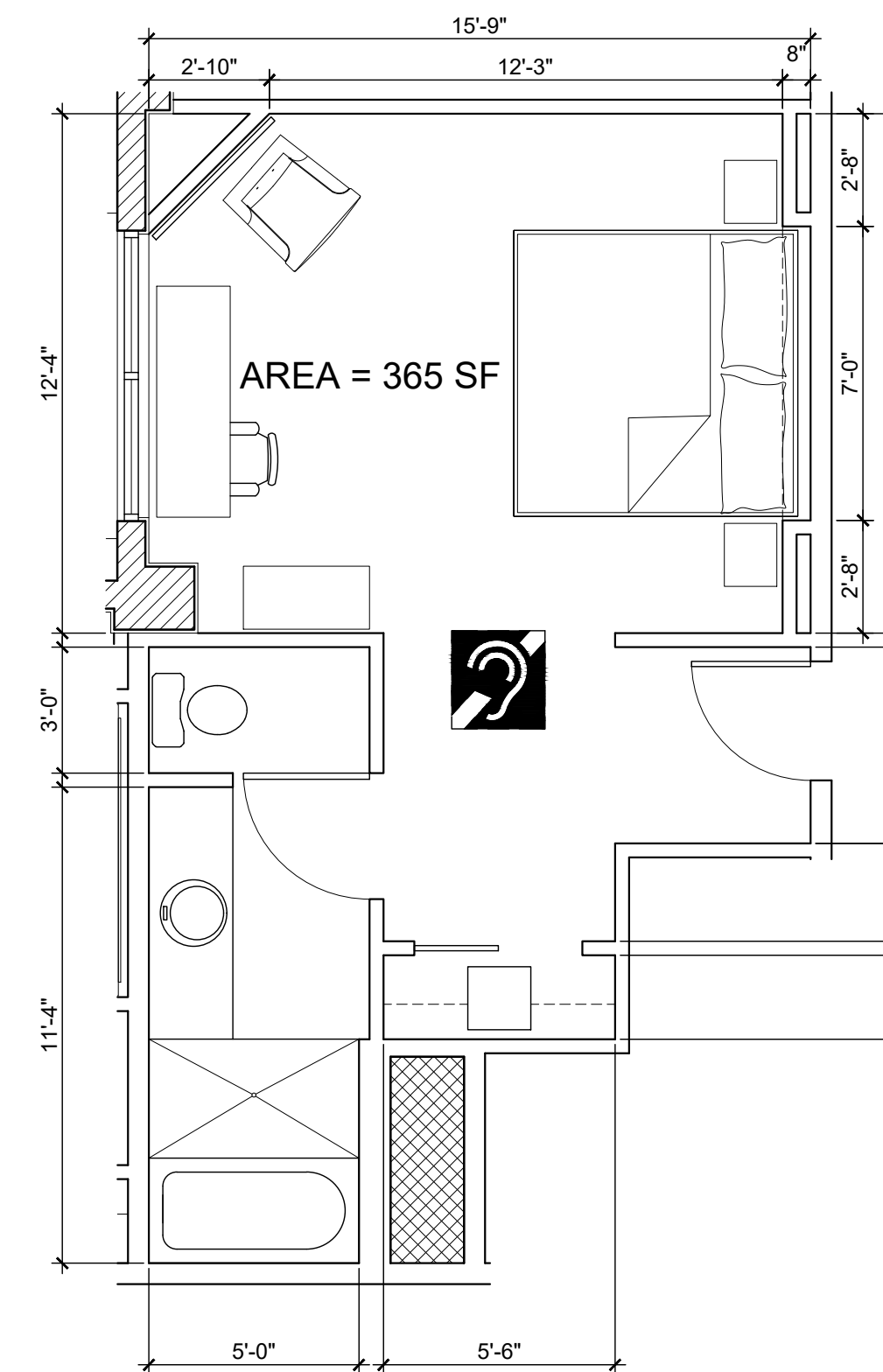
KING SUITE ROOM  
UNITS 309, 409, 509, 609.

LEGEND

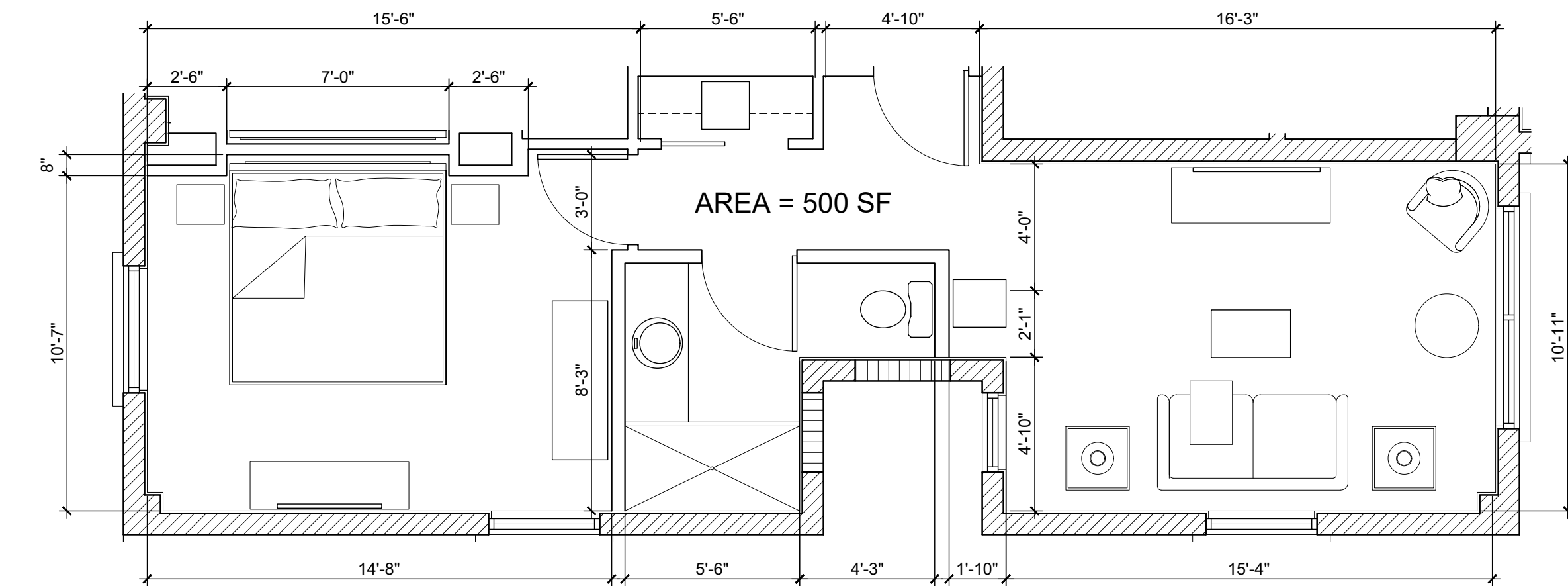
- EXISTING PARTITION/STRUCTURE TO REMAIN.
- NEW PARTITION.
- EXISTING SHAFT TO REMAIN.
- UNIT WITH COMMUNICATION FEATURES.
- UNIT WITH MOBILITY FEATURES.



KING SUITE ROOM  
UNITS 311, 411, 511, 611.



KING SUITE ROOM  
UNITS 304, 404, 504, 604.



KING SUITE ROOM  
UNITS 313, 413, 513, 613.

GULFSTREAM HOTEL

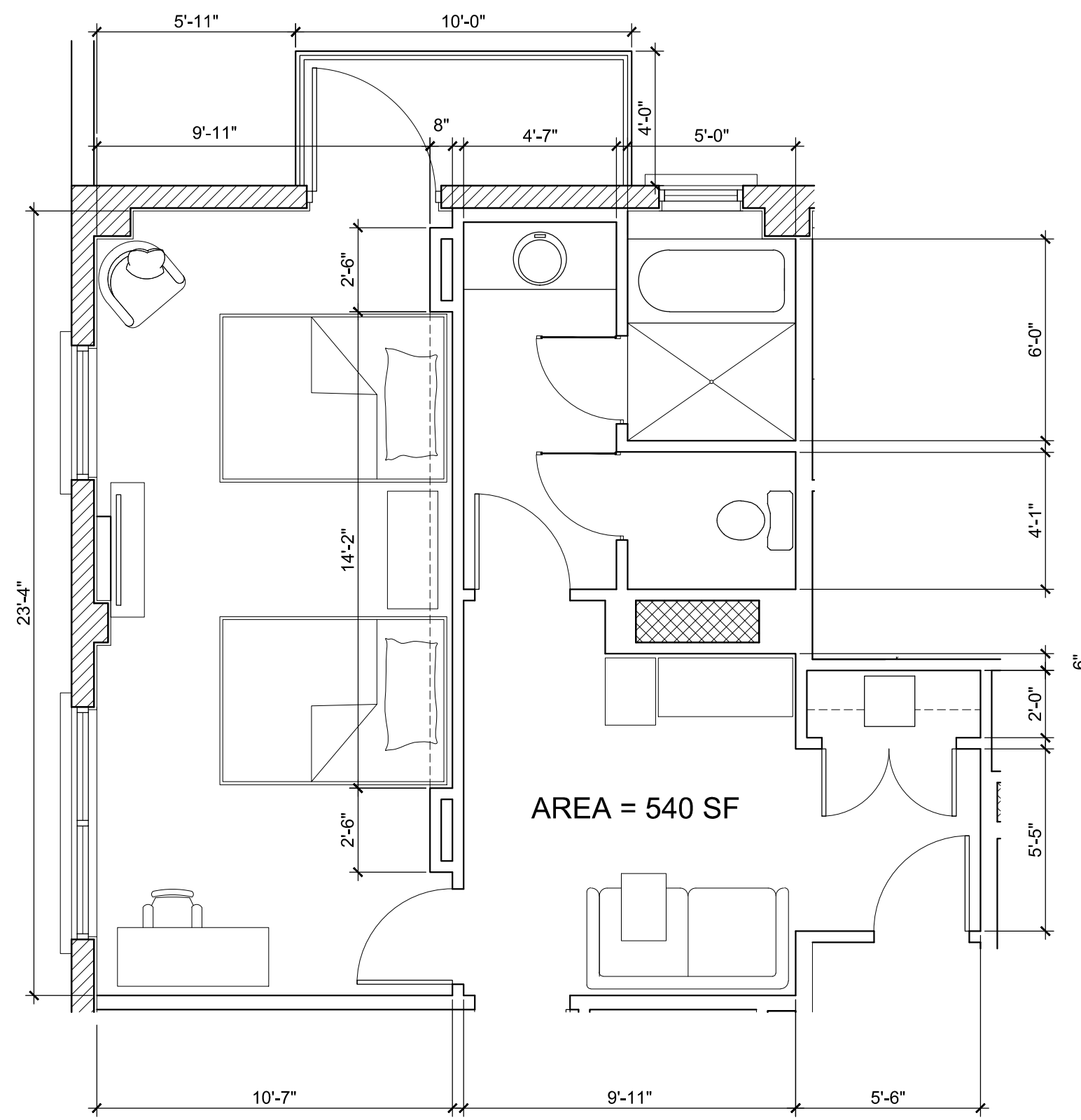
11 LAKE AVENUE  
LAKE WORTH, FL 33460



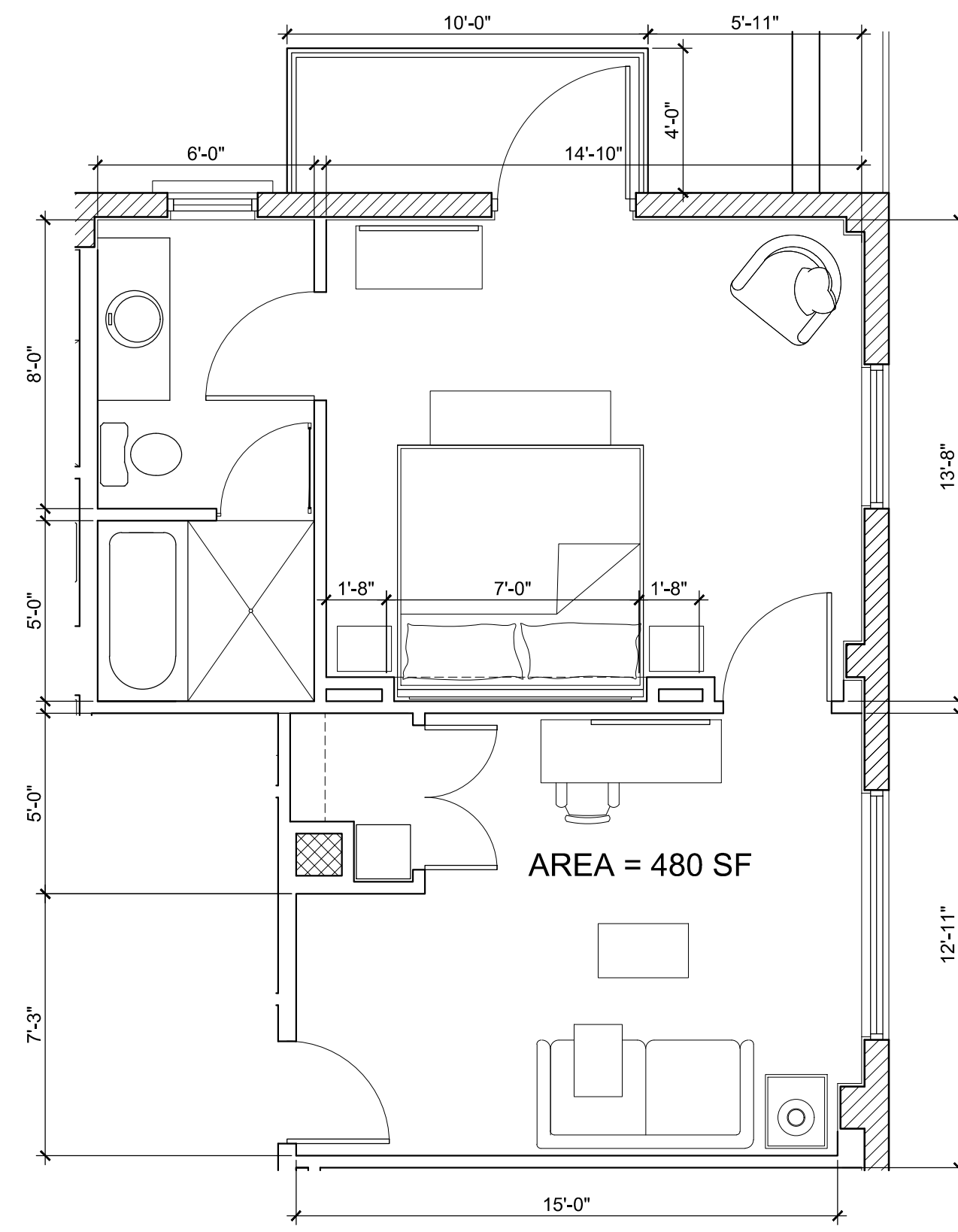
BEILINSON GOMEZ ARCHITECTS P.A. 8101 BISCAYNE BLVD. S. 309-310 MIAMI FL 33138-4668 T 305.559.1250 F 305.551.1746

DWG. TITLE	ENLARGED UNITS
SCALE	1/4" = 1'-0"
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A405
DATE	REVISION

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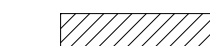
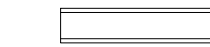
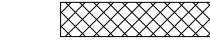




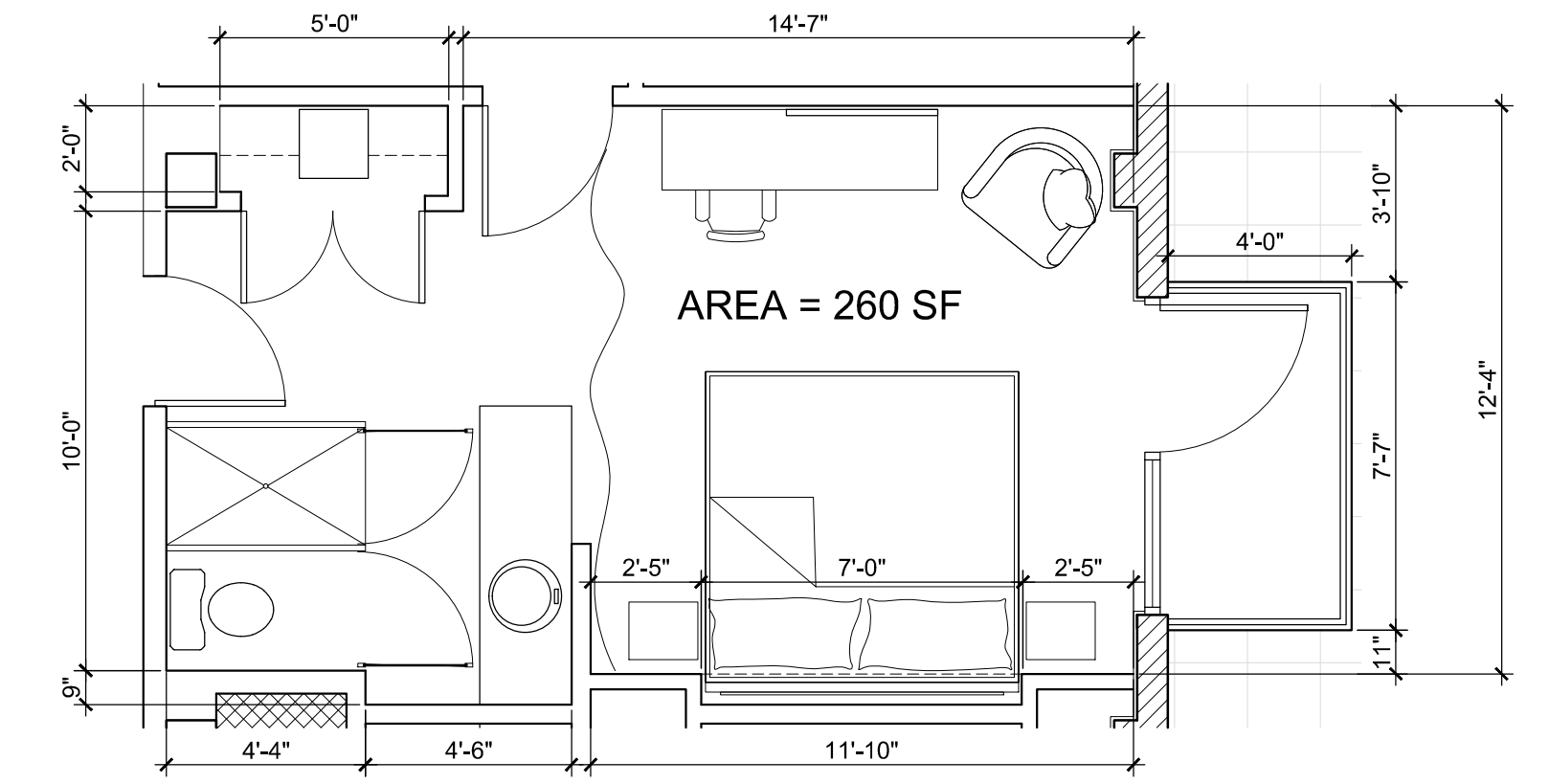
QUEEN SUITE ROOM W/BALCONY  
UNIT 219.



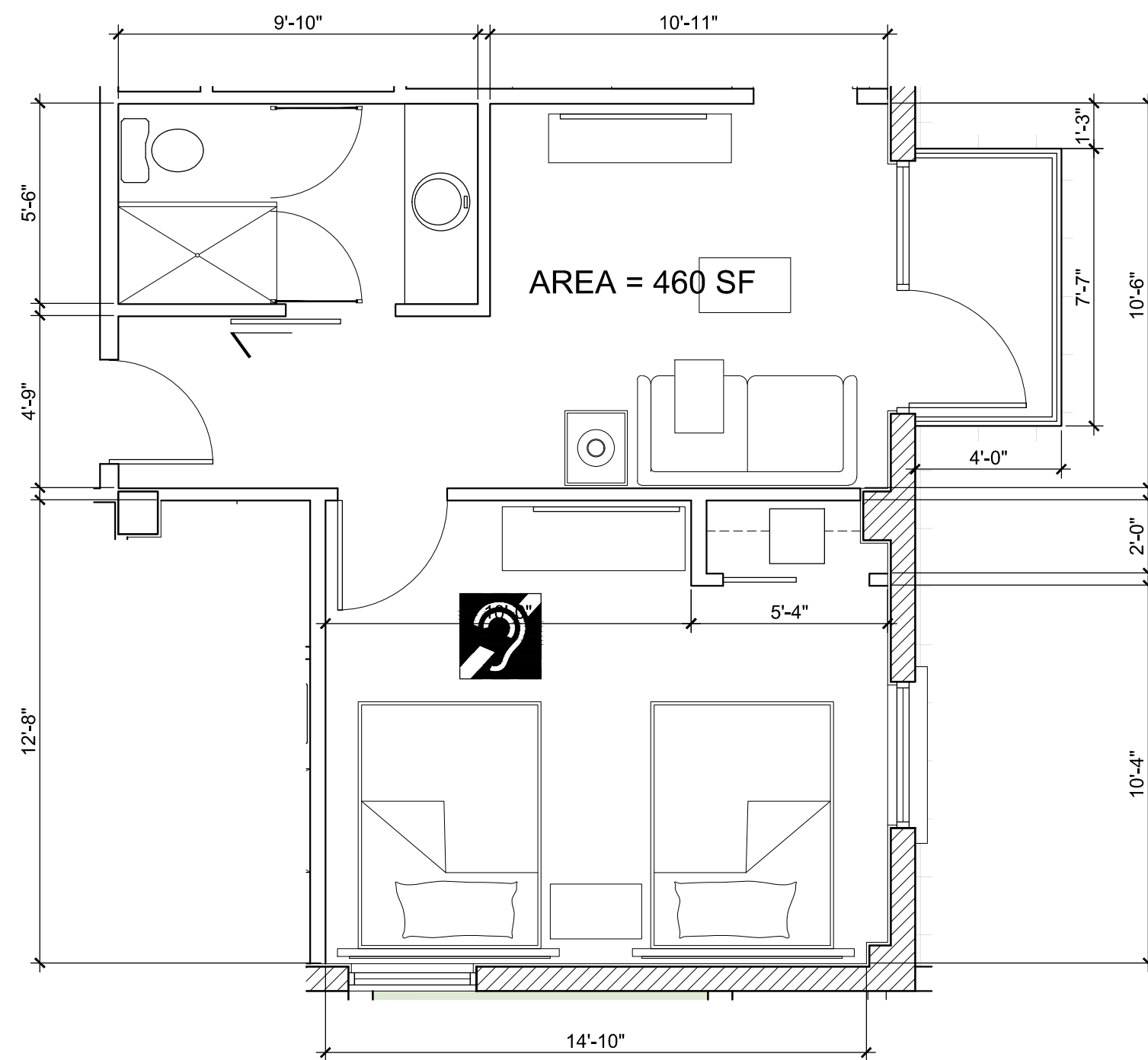
KING SUITE ROOM W/BALCONY  
UNIT 218.

LEGEND

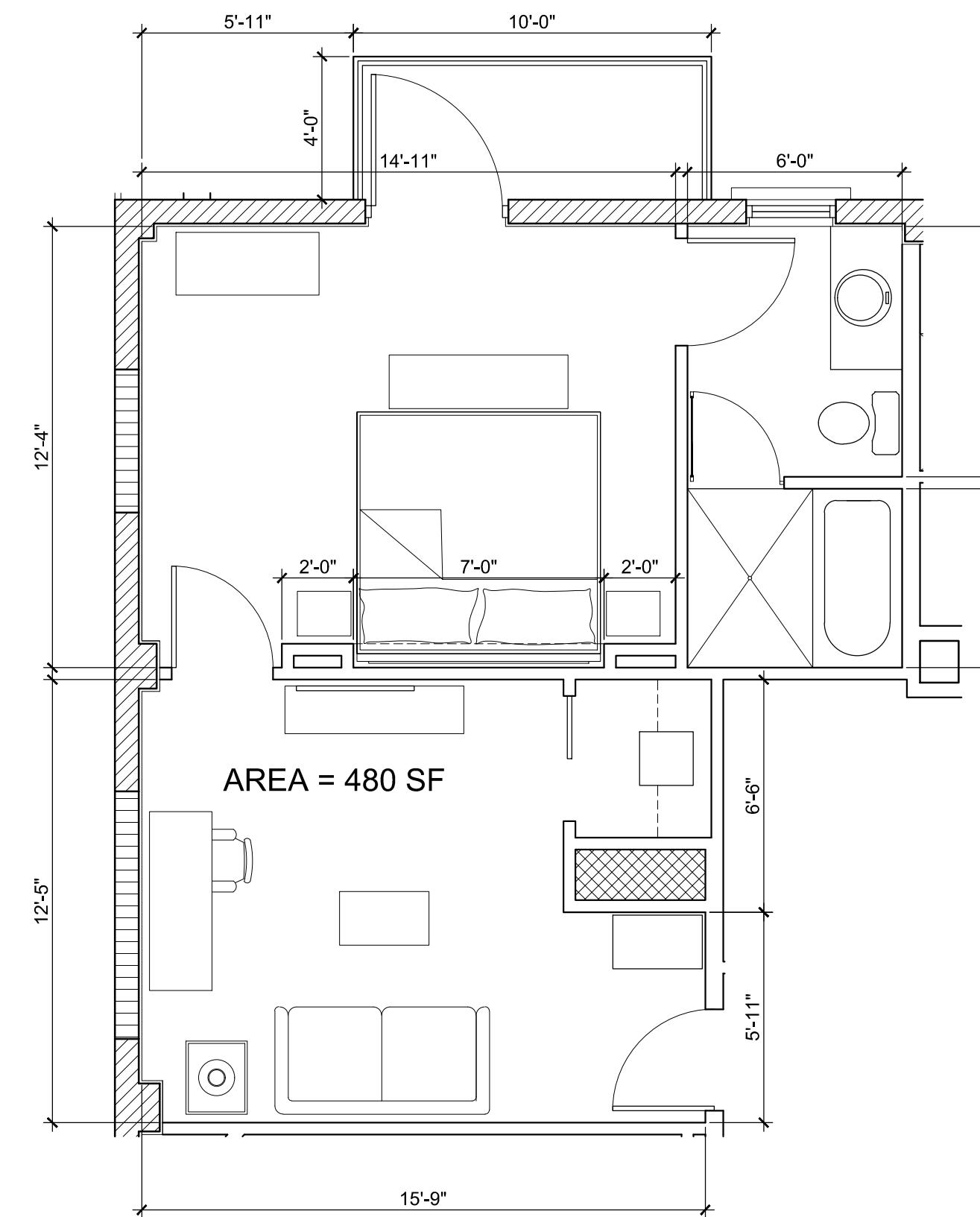
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-  NEW PARTITION.
-  EXISTING SHAFT TO REMAIN.
-  UNIT WITH COMMUNICATION FEATURES.
-  UNIT WITH MOBILITY FEATURES.



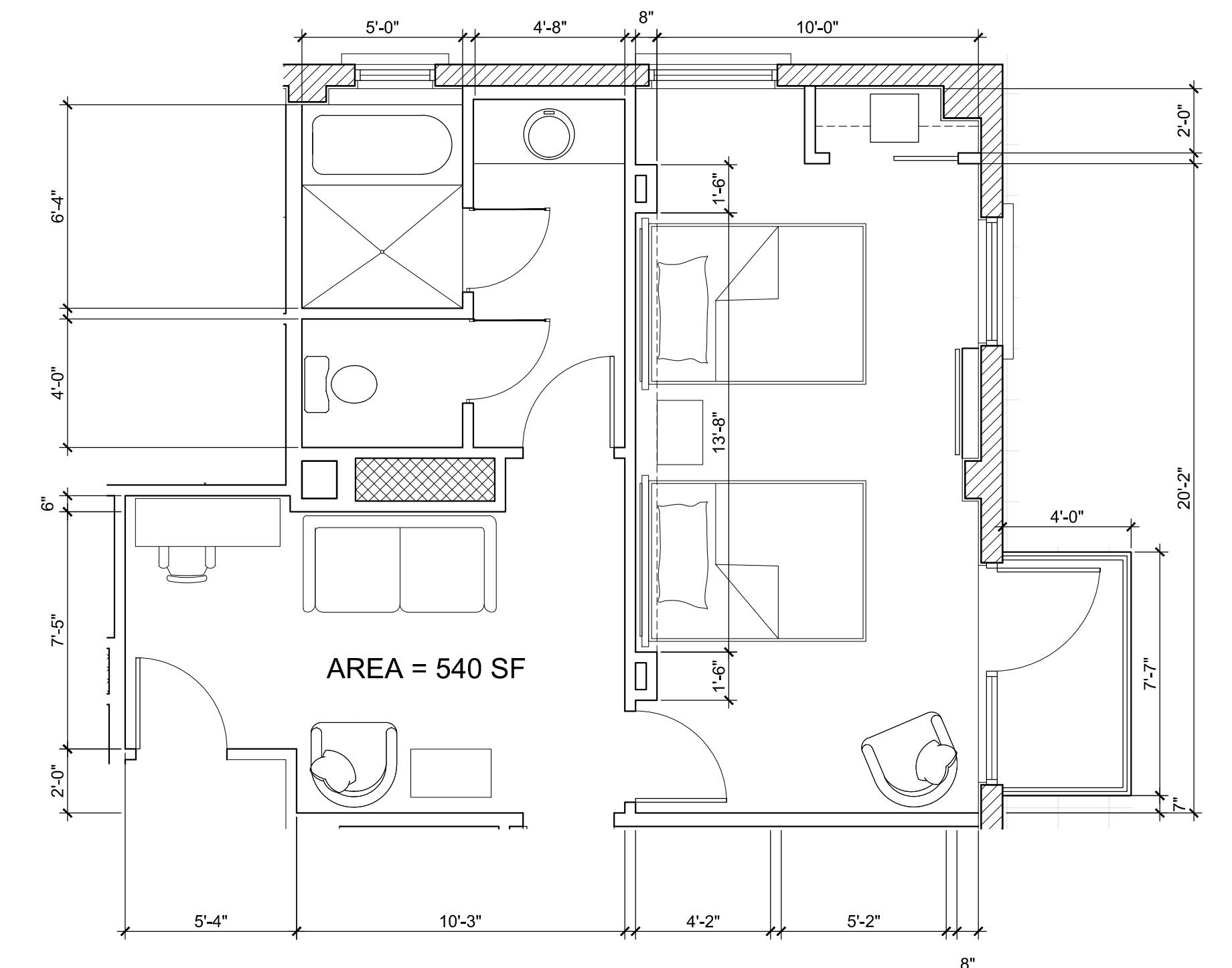
KING ROOM W/BALCONY  
UNIT 203, 205, 206.



QUEEN SUITE ROOM W/BALCONY  
UNIT 207.



KING SUITE ROOM W/BALCONY  
UNIT 202.



QUEEN SUITE ROOM W/BALCONIES  
UNIT 201.

GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33460

BEILINSON  
GOMEZ

ARCHITECTS P.A.  
A A C O U 1 0 6 2

8101 BISCAYNE BLVD. S 305.310  
M I A M I F L 313 8. 4 6 8  
T 305.559.1250 F 305.551.1740

ROSE + GOMEZ  
A R O D 1 5 4 F 6

DWG. TITLE  
ENLARGED UNITS

SCALE  
1/4" = 1'-0"

PROJECT NO.  
2020-01

DATE  
11-12-21

SHEET NUMBER  
A406

DATE REVISION

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DOOR SCHEDULE																								
FLOOR	DR. #	DOOR						HARDWARE						REMARKS	DTL.									
		LOCATION			SIZE			EXISTING TO BE REPLACED	NEW	TYPE	MATERIAL	FINISH	GLASS			LOUVER	ROLL UP	FRAME	LABEL	CLOSER	WEATHER STRIP	THRESHOLD		
ROOM NAME	WIDTH	HEIGHT	THICKNESS	WIDTH	HEIGHT	THICKNESS																		
GROUND FLOOR	101	MULTIPURPOSE ROOM	(2) 3'-0"	8'-0"	2 3/8"	X		13	EXIST	P	X				WOOD			X					SUBMIT SHOP DWGS.	
	102	MEETING ROOM	(2) 3'-0"	8'-0"	2 3/8"	X		13	EXIST	P	X				WOOD			X					SUBMIT SHOP DWGS.	
	103	MEETING ROOM	(2) 1'-10"	8'-0"	2 3/8"	X		14	WOOD	P	X				WOOD			X					SUBMIT SHOP DWGS.	
	104	MEETING ROOM	(2) 1'-10"	8'-0"	2 3/8"	X		14	WOOD	P					WOOD								SUBMIT SHOP DWGS.	
	105	OFFICE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	106	OFFICE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	107	MEETING ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	108	MULTIPURPOSE ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	109	LOBBY WEST ENTRANCE	3'-0"	7'-0"	1 3/4"		X	11	ALUMN	P					METAL								SUBMIT SHOP DWGS.	
	110	MEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	111	WOMEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	112	LAUNDRY ROOM LANDING	(2) 3'-0"	7'-0"	1 3/4"		X	10	H.M.C.	P					A1								180 DEGREE HINGES	
	113	EXISTING STAIR #1	3'-0"	7'-0"	1 3/4"	X		11	H.M.C.	P					A2	2 HR	X							
	114	HOUSE KEEPING OFFICE	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	115	BACK OF HOUSE ENTRANCE	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	116	LUGGAGE ROOM	3'-0"	7'-0"	1 3/4"		X	11	H.M.C.	P					A2									
	117	LOBBY	(2) 3'-0"	8'-0"	2 3/8"	X		13	EXIST	P	X				WOOD				X					
	118	LOBBY	(2) 3'-0"	8'-0"	2 3/8"	X		13	EXIST	P	X				WOOD				X					
	119	LOBBY	(2) 3'-0"	8'-0"	2 3/8"	X		13	EXIST	P	X				WOOD				X					
	120	RESTAURANT	(2) 1'-10"	8'-0"	2 3/8"	X		14	WOOD	P	X				WOOD				X				DOOR TO BE LOCKED	
	121	RESTAURANT	(2) 1'-10"	8'-0"	2 3/8"	X		14	WOOD	P	X				WOOD				X				DOOR TO BE LOCKED	
	122	RESTAURANT	(2) 1'-10"	8'-0"	2 3/8"	X		14	WOOD	P	X				WOOD									
	123	EXISTING STAIRS #3 CLOSET	3'-0"	7'-0"	2 3/8"	X		11	S.W.C.	P					A1	1 HR								
	124	EXISTING STAIRS #2	3'-0"	7'-0"	1 3/4"		X	8	H.M.	P	X				A2	2 HR	X							
	125	SERVER STATION	3'-0"	7'-0"	1 3/4"		X	8	H.M.C.	P					A2									
	126	SERVER STATION	3'-0"	7'-0"	1 3/4"		X	8	H.M.C.	P					A2									
	127	OUTDOOR TERRACE	(2) 1'-11"	8'-0"	2 3/8"	X		13	WOOD	P					WOOD								SUBMIT SHOP DWGS.	
	128	OUTDOOR TERRACE	(2) 1'-11"	8'-0"	2 3/8"	X		13	WOOD	P					WOOD								SUBMIT SHOP DWGS.	
	129	FOYER	(2) 1'-11"	8'-0"	2 3/8"		X	13	WOOD	P					WOOD									
	130	FOYER	(2) 3'-0"	7'-0"	1 3/4"		X	7/7A	H.M.C.	P					D2									
	131	MEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	132	MEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	133	WOMEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	134	WOMEN RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	135	KITCHEN	3'-0"	7'-0"	1 3/4"		X	8	H.M.C.	P					D2									
	136	MDF ROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	137	KITCHEN	3'-0"	7'-0"	1 3/4"		X	8	H.M.C.	P					D2									
	138	WOMEN EMPLOYEE RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	139	WOMEN EMPLOYEE RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	140	MEN EMPLOYEE RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	141	MEN EMPLOYEE RESTROOM	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	142	CHEF OFFICE	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	143	BREAK ROOM	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					D2									
	144	HR OFFICE & STORAGE	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					D2									
	145	LAUNDRY	(2) 3'-0"	7'-0"	1 3/4"		X	7/7A	H.M.C.	P					D2									
	146	STORAGE	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									
	147	B.O.H	8'-0"	7'-4"	1 1/2"		X	5	METAL	P					-									
	148	TRASH ROOM LANDING (N.B.)	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					A2									
	149	TRASH ROOM	8'-0"	7'-4"	1 1/2"		X	5	METAL	P					-									
	150	SERVICE ENTRANCE	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					A2									
	151	CLOSET	3'-0"	7'-0"	1 3/4"		X	4	S.W.C.	P					A1									
	152	MECH. / ELECT. ROOM	10'-0"	7'-4"	1 1/2"		X	5	METAL	P					-									
	153	MAINTENANCE & STORAGE	3'-0"	7'-0"	1 3/4"		X	4	H.M.C.	P					D2									

DOOR SCHEDULE																								
FLOOR	DR. #	DOOR						HARDWARE						REMARKS	DTL.									
		LOCATION			SIZE			EXISTING TO BE REPLACED	NEW	TYPE	MATERIAL	FINISH	GLASS			LOUVER	ROLL UP	FRAME	LABEL	CLOSER	WEATHER STRIP	THRESHOLD		
ROOM NAME	WIDTH	HEIGHT	THICKNESS	WIDTH	HEIGHT	THICKNESS																		
MEZZANINE LEVEL	155	SALES ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	156	SALES ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	157	SALES ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	158	EXISTING STAIR #1	3'-0"	7'-0"	1 3/4"	X		4	H.M.	P					A2	2 HR	X							
	159	SALES ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	160	STORAGE / UTILITY CLOSET	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	161	GM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	162	ADMINISTRATION	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	163	CONTROLLER OFFICE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	164	LOUNGE ROOM	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	165	F & B	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	166	OFFICE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	167	OFFICE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									
	168	EXISTING STAIR #2 LOBBY	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1							X		
	169	EXISTING STAIRS #2	3'-0"	7'-0"	1 3/4"	X		8	H.M.	P	X				A2	2 HR	X							
	170	MAINTENANCE & STORAGE	3'-0"	7'-0"	1 3/4"		X	11	S.W.C.	P					A1									

E. EXISTING DOORS SHALL BE SANDED SMOOTH TO REMOVE ALL SURFACE BLEMISHES, PRIMED & PAINTED TO A LIKE NEW APPEARANCE.

NOTE: ALL HARDWARE TO BE STAINLESS STEEL COMMERCIAL GRADE.

NOTE ON EXISTING WINDOWS AND DOORS: THE EXISTING WINDOWS AND DOORS WILL ALL BE COMPLETELY REPLACED WITH NEW WINDOWS AND DOORS SYMPATHETIC TO THE ORIGINAL WINDOW/ DOOR CONFIGURATIONS BASED ON ORIGINAL PHOTOGRAPHS FROM THE OPENING OF THE HOTEL. WINDOWS AND DOORS WILL BE COMPOSED OF ALUMINUM TO WITHSTAND THE WEATHER TYPICAL OF THE REGION PER CODE REGULATIONS.

△ QUANTITY TO BE VERIFIED BY GENERAL CONTRACTOR.

ALL EXTERIOR DOORS SHALL BE SHOP PRIMED W/ A RUST INHIBITIVE PRIMER & FIELD PAINTED W/ 2 COATS OF RUST INHIBITIVE ALKEND SEMI GLOSS PAINT.

NOTE: FOR ALL DOOR DETAILS REFER TO SHEET A603

NOTE: ALL EXTERIOR HOLLOW METAL DOORS SHALL BE PRIMER ON ALL SURFACES WITH A RUST INHIBITED EPOXY PRIMER PRIOR TO INSTALLATION, AND FINISHED WITH 2 COATS ALLOY ENAMEL.

ALL DIMENSIONS SHALL BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK

NOTE: DOORS ON 3rd FLOOR WILL REPEAT ON FLOORS 4th, 5th, & 6th.

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33460

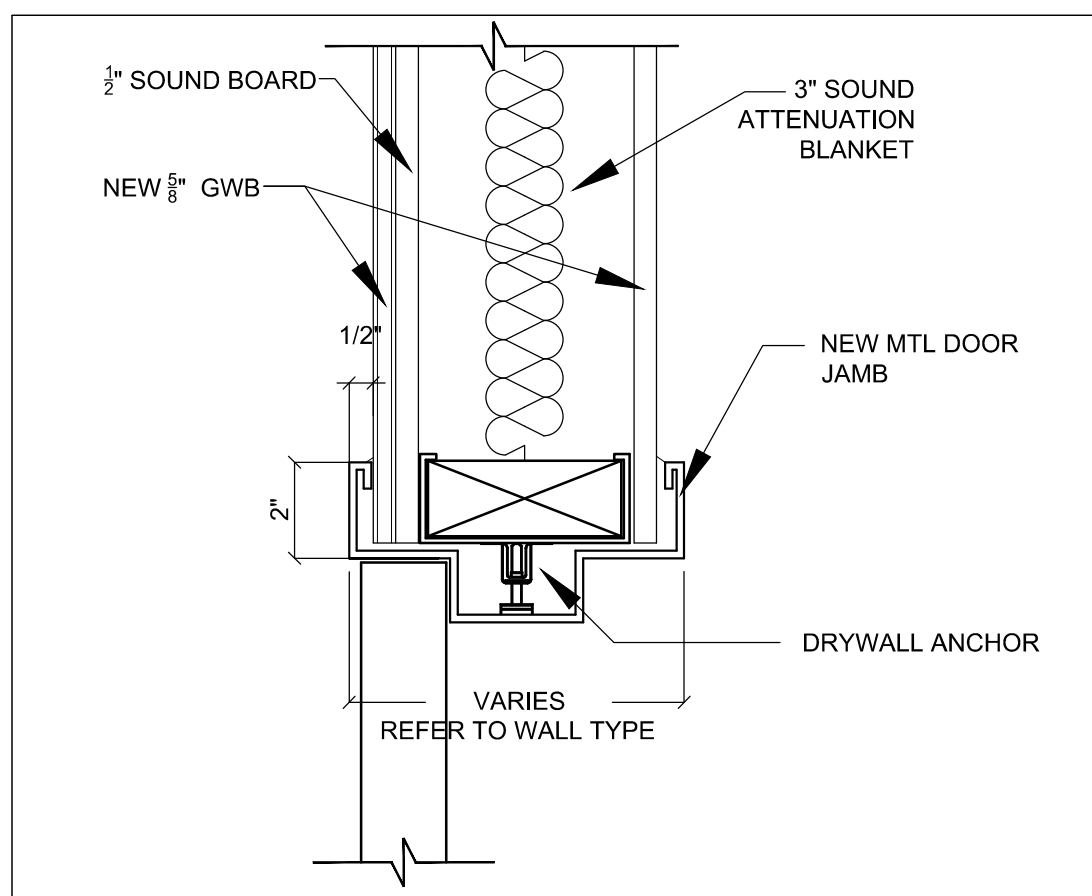


DWG. TITLE  
DOOR SCHEDULE & DETAILS  
SCALE  
PROJECT NO. N.T.S.  
DATE 2020-01  
SHEET NUMBER 11-12-21  
A602

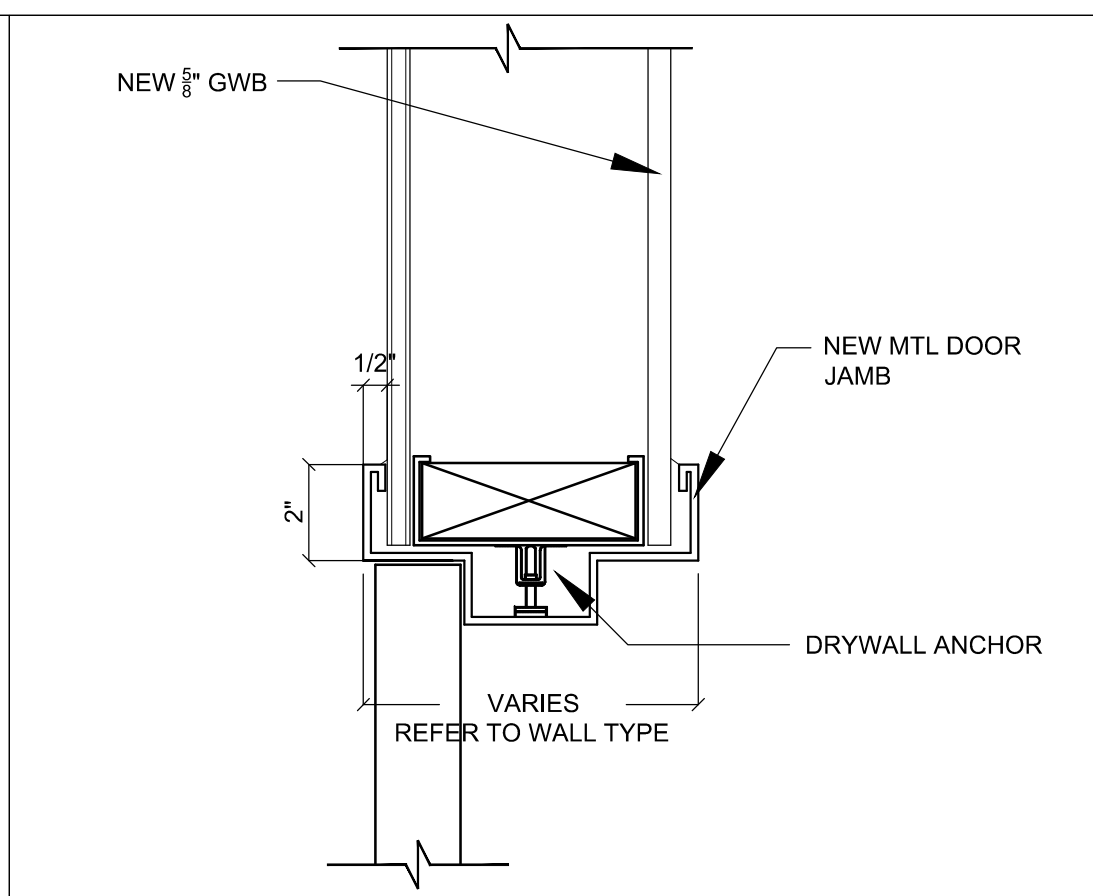


DOOR SCHEDULE																						
FLOOR	DR. #	LOCATION	SIZE		THICKNESS	EXISTING TO BE REPLACED	NEW	TYPE	MATERIAL	FINISH	GLASS	LOUVER	ROLL UP	FRAME	LABEL	HARDWARE			REMARKS	DTL.		
			WIDTH	HEIGHT												CLOSER	WEATHER STRIP	THRESHOLD				
SECOND FLOOR	201	UTILITY ROOM	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					A2							
	202	OUTDOOR TERRACE	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					D2	45 M.						
	203	TRASH ROOM	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					A1							
	204	LAUNDRY CLOSET	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					A1							
	205	ROOM 201 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	206	ROOM 214	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	207	ROOM 214 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					A1							
	208	ROOM 216	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					D2	45 M.						
	209	ROOM 216 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					A1							
	210	ROOM 217	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	211	ROOM 217 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	212	ROOM 219	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	213	ROOM 219 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	214	ROOM 219 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	215	ROOM 219 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	216	ROOM 218 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	217	ROOM 218 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	218	ROOM 218 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	219	ROOM 218	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	220	ROOM 215 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	221	ROOM 215 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	222	ROOM 215	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	223	EXISTING STAIR #1	3'-0"	7'-0"	1 1/2"	X		4	H.M.	P					A2	2 HR	X					
	224	MEZZANINE LOBBY	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	225	OUTDOOR TERRACE	(2) 2'-6"	6'-10"	2 1/2"		X	4	H.M.	P					D2					SUBMIT SHOP DWGS.		
	226	OUTDOOR TERRACE	(2) 2'-6"	6'-10"	2 1/2"		X	4	H.M.	P					D2					SUBMIT SHOP DWGS.		
	227	OUTDOOR TERRACE	(2) 2'-6"	6'-10"	2 1/2"		X	4	H.M.	P					D2					SUBMIT SHOP DWGS.		
	228	OUTDOOR TERRACE	(2) 2'-6"	6'-10"	2 1/2"		X	4	H.M.	P					D2					SUBMIT SHOP DWGS.		
229	MEZZANINE LOBBY	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
230	UTILITY ROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
231	ROOM 204	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
232	ROOM 204 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
233	ROOM 204 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
234	ROOM 202	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
235	ROOM 202 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
236	ROOM 202 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
237	ROOM 202 TERRACE	3'-8"	7'-0"	2 1/2"		X	16	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
238	ROOM 202 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
239	ROOM 201	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
240	ROOM 201 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
241	ROOM 201 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
242	ROOM 201 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
243	ROOM 201 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
244	ROOM 203	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
245	ROOM 203 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
246	ROOM 203 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
247	ROOM 205	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
248	ROOM 205 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
249	ROOM 205 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
250	ROOM 206	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
251	ROOM 206 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								
252	ROOM 206 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
253	ROOM 207	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
254	ROOM 207 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
255	ROOM 207 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
256	ROOM 207 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
257	ROOM 208	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
258	ROOM 208 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
259	OUTDOOR TERRACE	(2) 2'-6"	6'-10"	1 1/2"		X	4	H.M.	P					D2					DOOR TO BE LOCKED. SUBMIT SHOP DWGS.			
260	EXISTING STAIRS #2	3'-0"	7'-0"	1 1/2"	X		8	H.M.	P	X				A2	2 HR	X						
261	ROOM 219 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
262	ROOM 218 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
263	ROOM 201 TERRACE	3'-8"	7'-0"	2 1/2"		X	15	WOOD	P	X			WOOD						SUBMIT SHOP DWGS.			
264	ROOM 217/ROOM 219	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
265	ROOM 214 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1								
266	ROOM 201/ROOM 203	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
267	ROOM 206/ROOM 207	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.							
268	ROOM 207 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2								

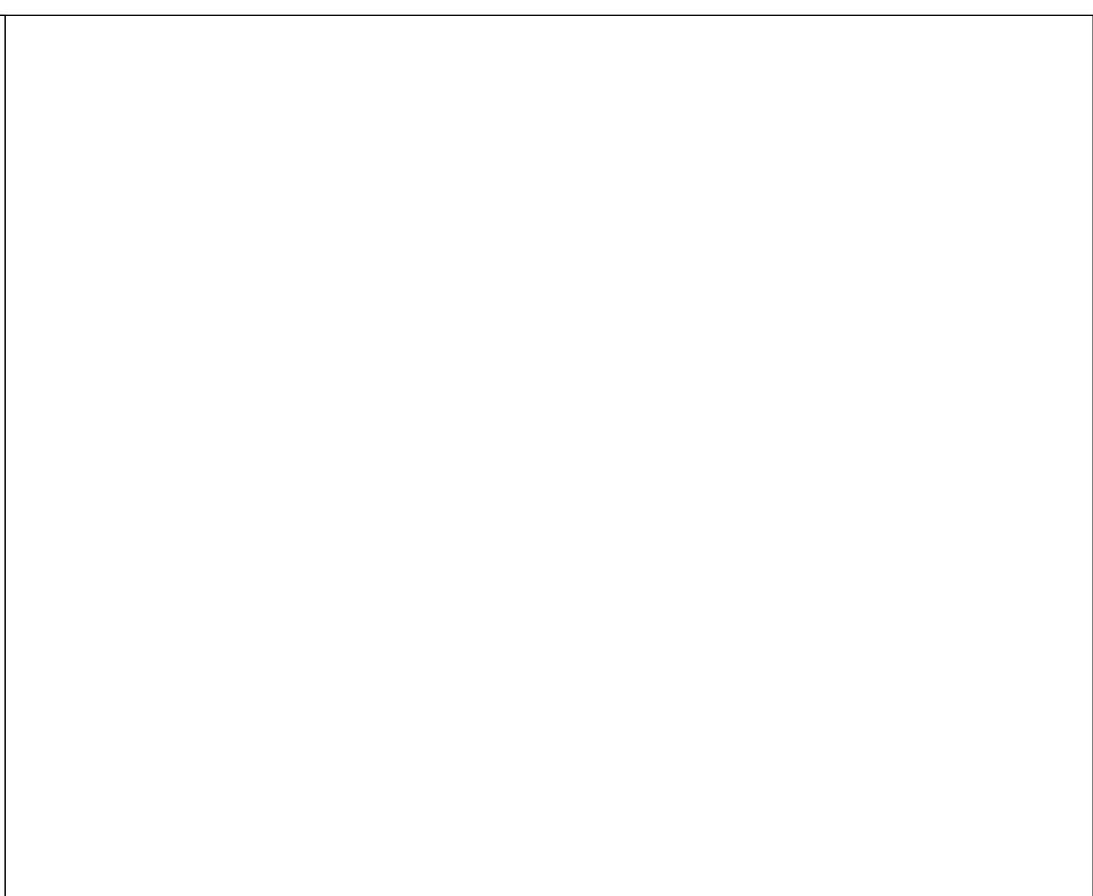
DOOR SCHEDULE																						
FLOOR	DR. #	LOCATION	SIZE		THICKNESS	EXISTING TO BE REPLACED	NEW	TYPE	MATERIAL	FINISH	GLASS	LOUVER	ROLL UP	FRAME	LABEL	HARDWARE			REMARKS	DTL.		
			WIDTH	HEIGHT												CLOSER	WEATHER STRIP	THRESHOLD				
THIRD TO SIXTH FLOOR	301	ROOM 313 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					A1							
	302	ROOM 313	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	303	TRASH ROOM	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					A1							
	304	LAUNDRY CLOSET	3'-0"	7'-0"	1 1/2"		X	4	H.M.	P					A1							
	305	ROOM 314	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	306	ROOM 314 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					A1							
	307	ROOM 314 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	308	ROOM 316	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	309	ROOM 316 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	310	ROOM 317	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	311	ROOM 317 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	312	ROOM 319	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	313	ROOM 319 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	314	ROOM 319 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	315	ROOM 319 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	316	ROOM 318	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	317	ROOM 318 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	318	ROOM 318 BEDROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	319	ROOM 318 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	320	ROOM 315	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	321	ROOM 315 BATHROOM	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1							
	322	ROOM 315 CLOSET	(2) 2'-0"	7'-0"	1 1/2"		X	6	H.M.	P					D2							
	323	EXISTING STAIR #1	3'-0"	7'-0"	1 1/2"	X		4	H.M.	P					A2	2 HR	X					
	324	ROOM 312	3'-0"	7'-0"	1 1/2"		X	11	S.W.C.	P					A1	45 M.						
	325	ROOM																				



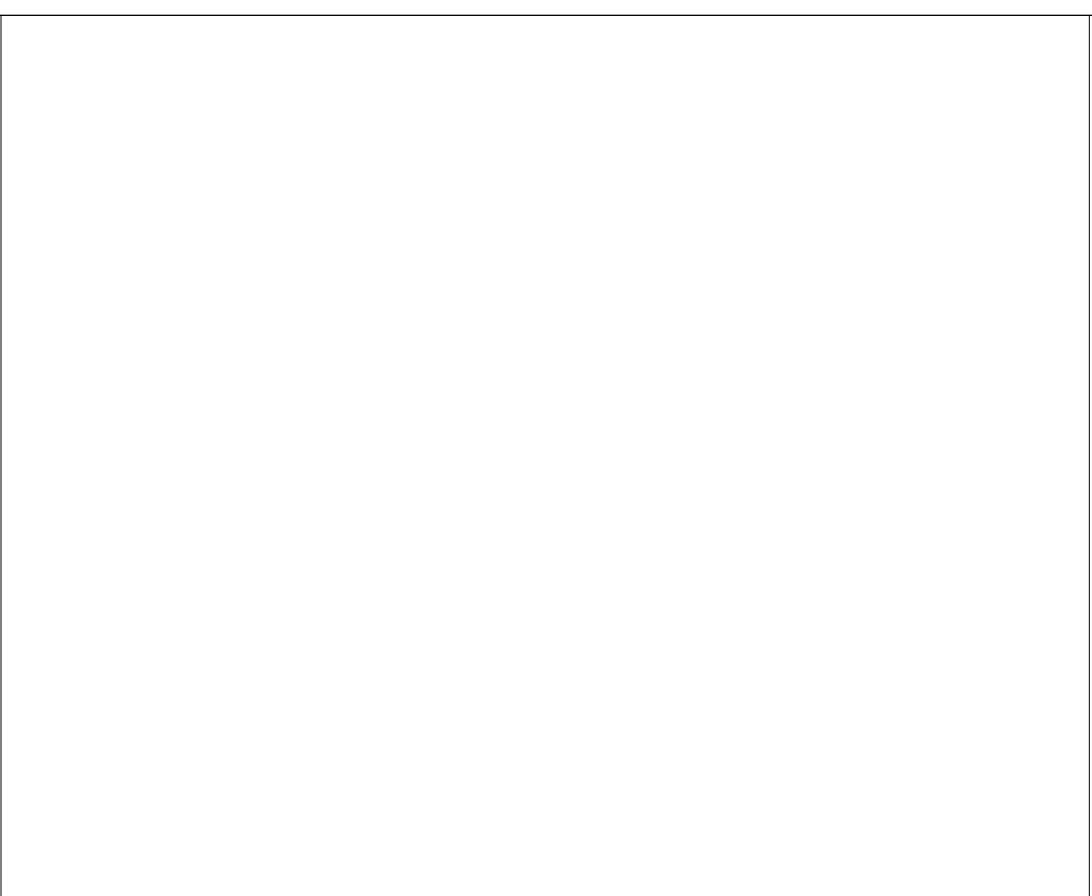
**D1 HEAD/JAMB DETAIL (METAL FRAME)** SCALE:



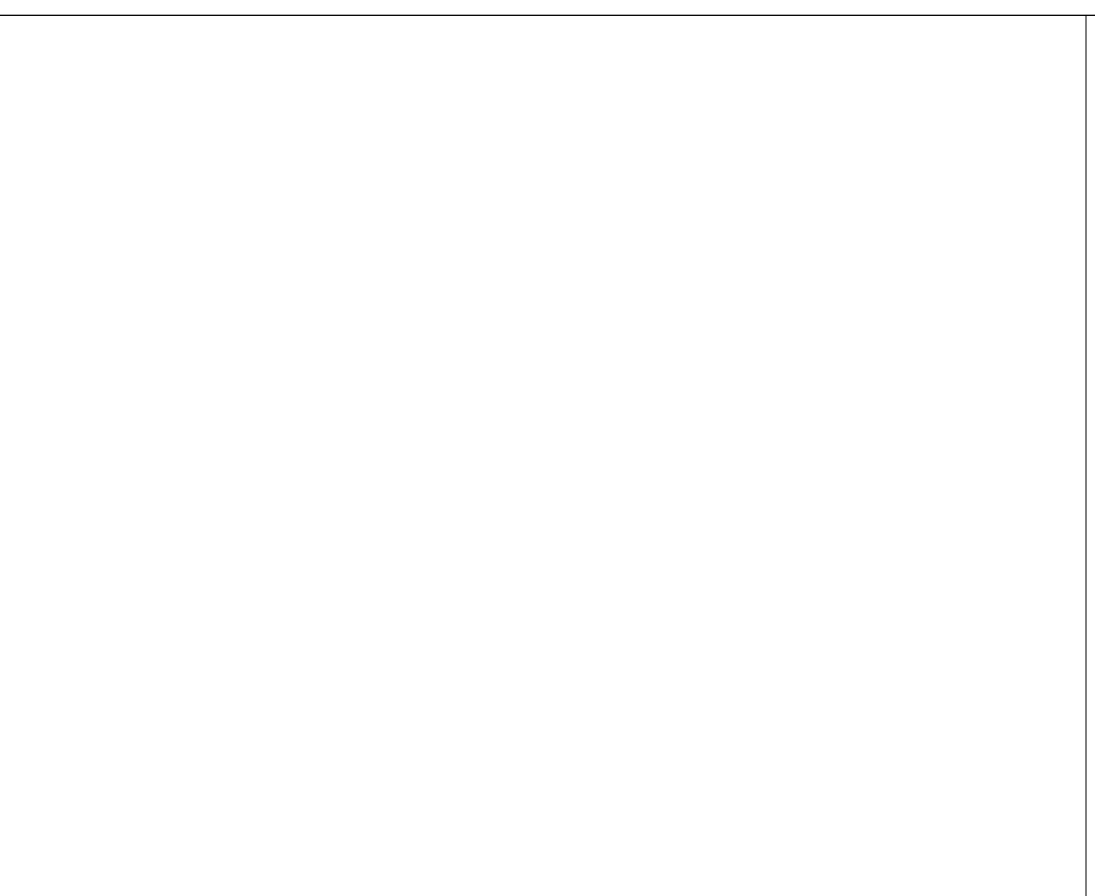
**D2 HEAD/JAMB DETAIL (METAL FRAME)** SCALE:



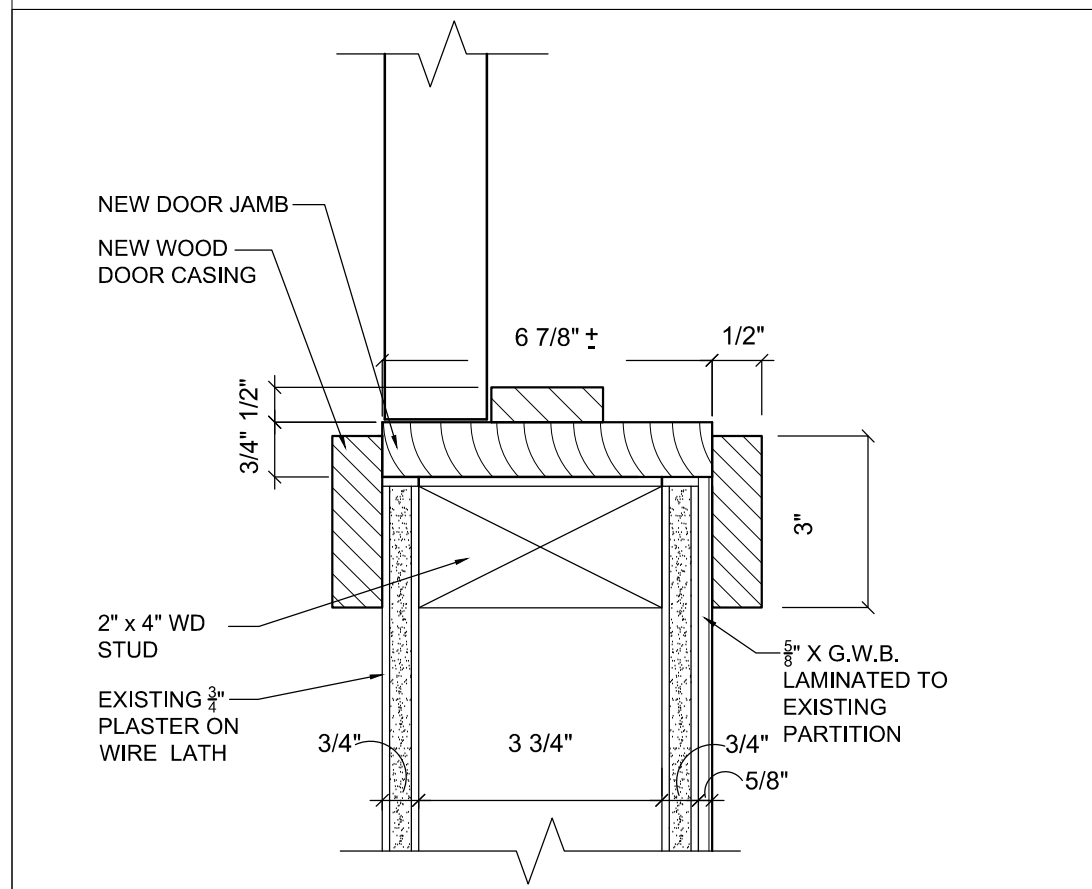
**D3 TEXT** SCALE:



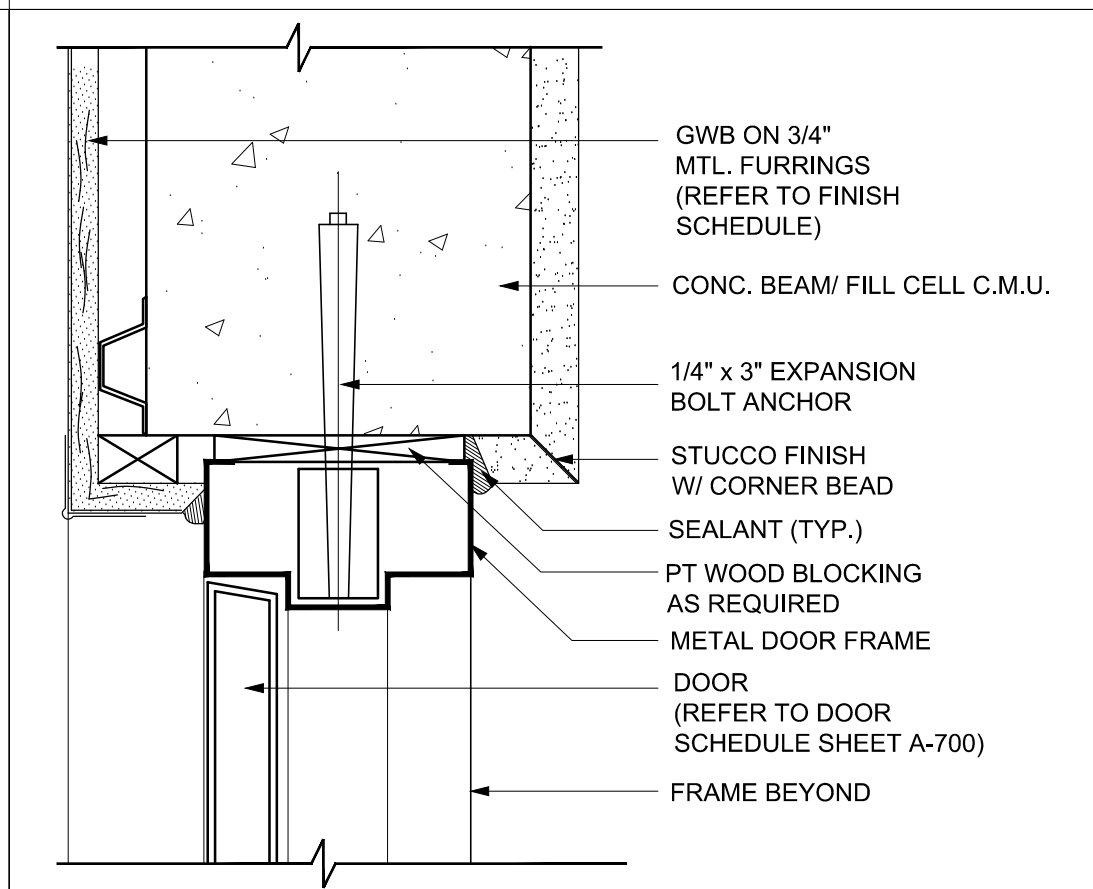
**D4 TEXT** SCALE:



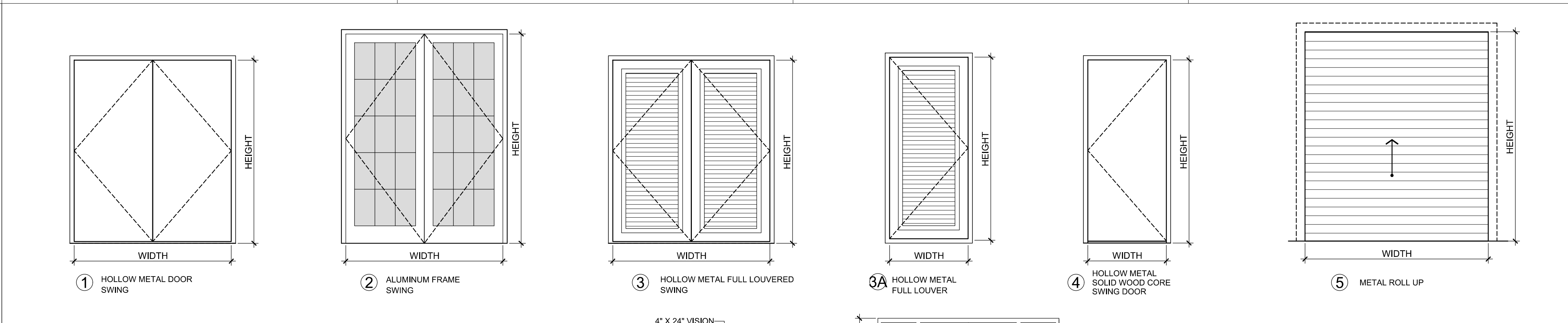
**D5 TEXT** SCALE:



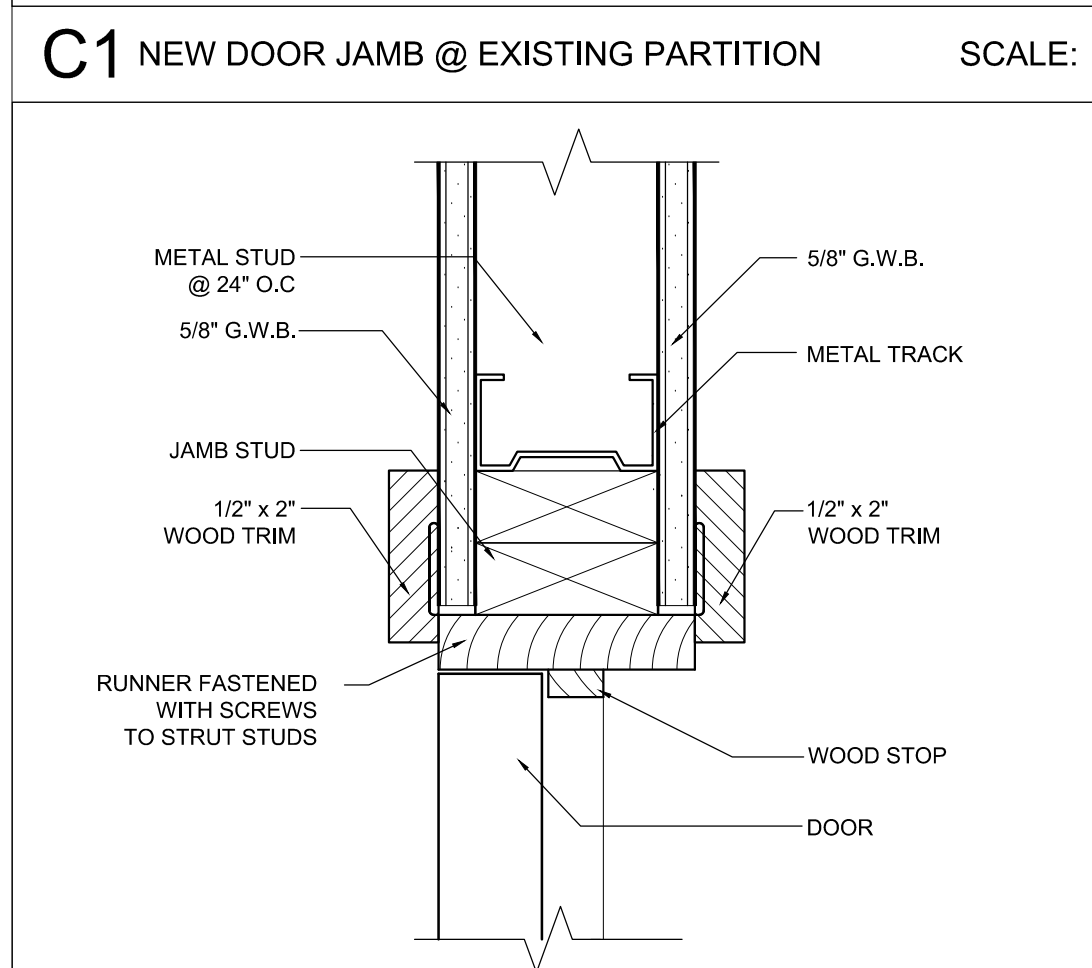
**C1 NEW DOOR JAMB @ EXISTING PARTITION** SCALE:



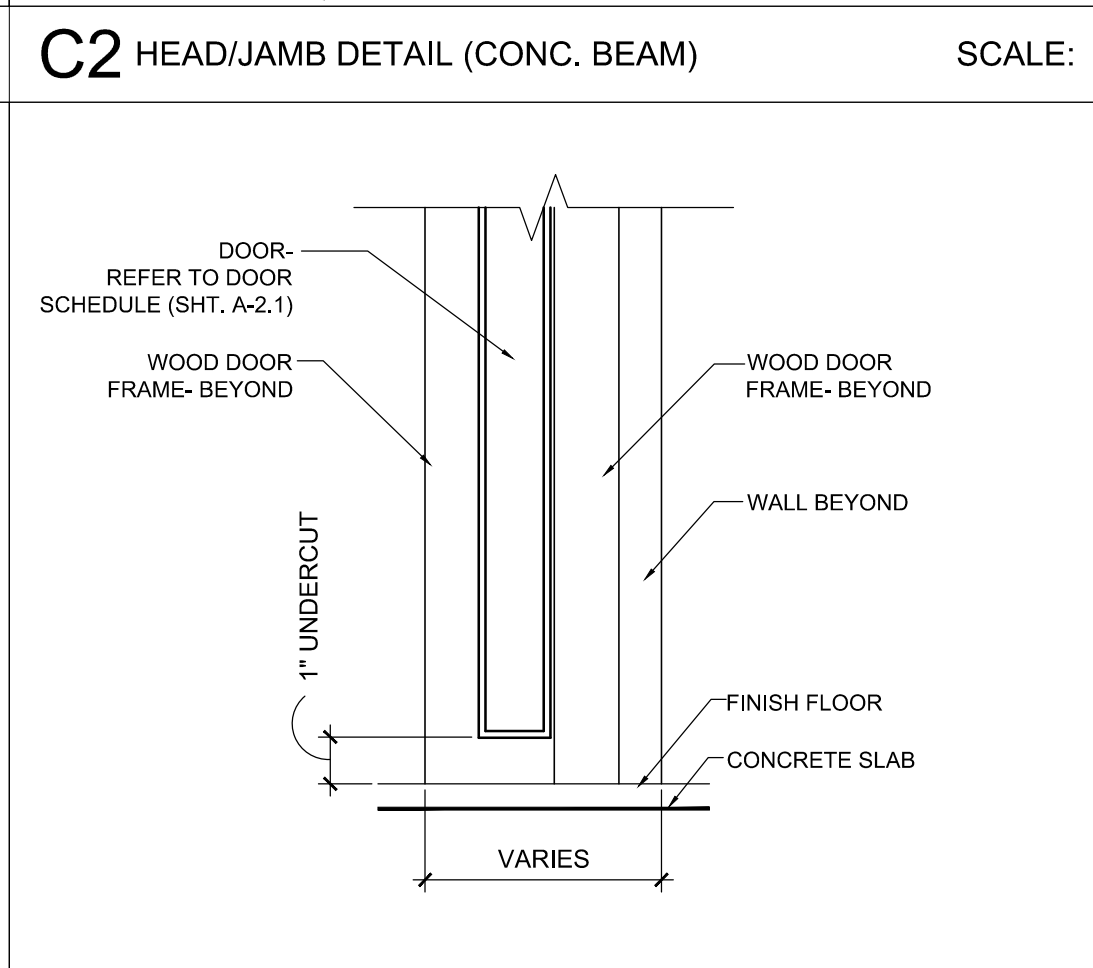
**C2 HEAD/JAMB DETAIL (CONC. BEAM)** SCALE:



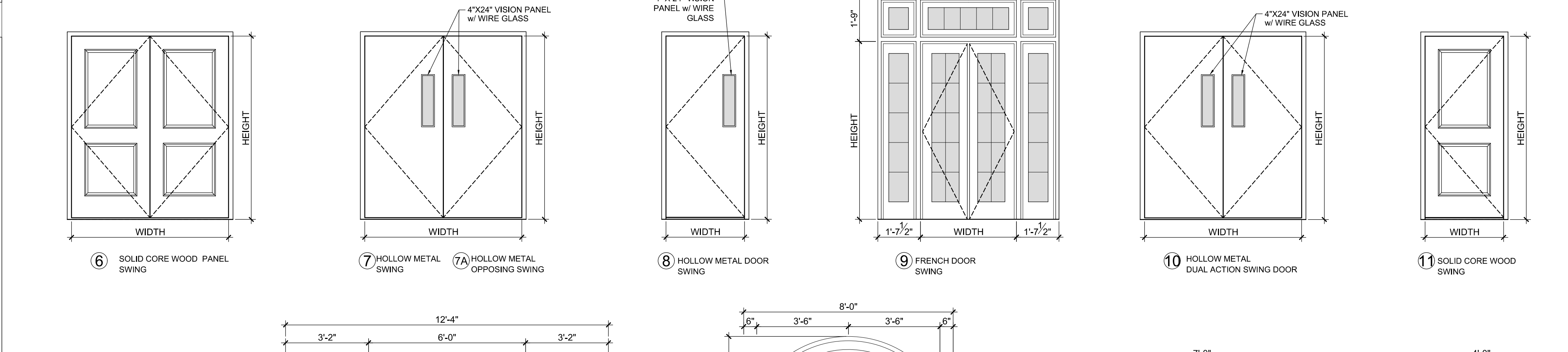
**D3 TEXT** SCALE:



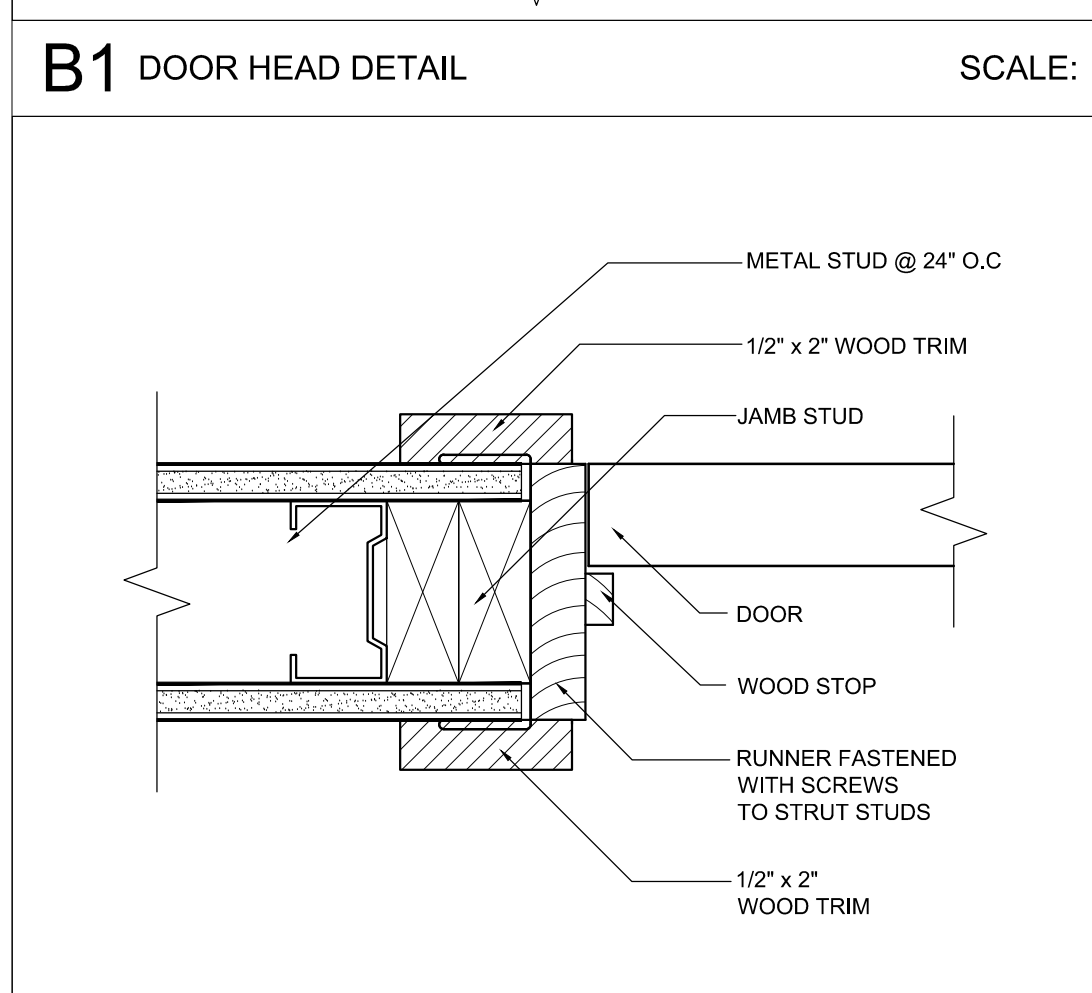
**B1 DOOR HEAD DETAIL** SCALE:



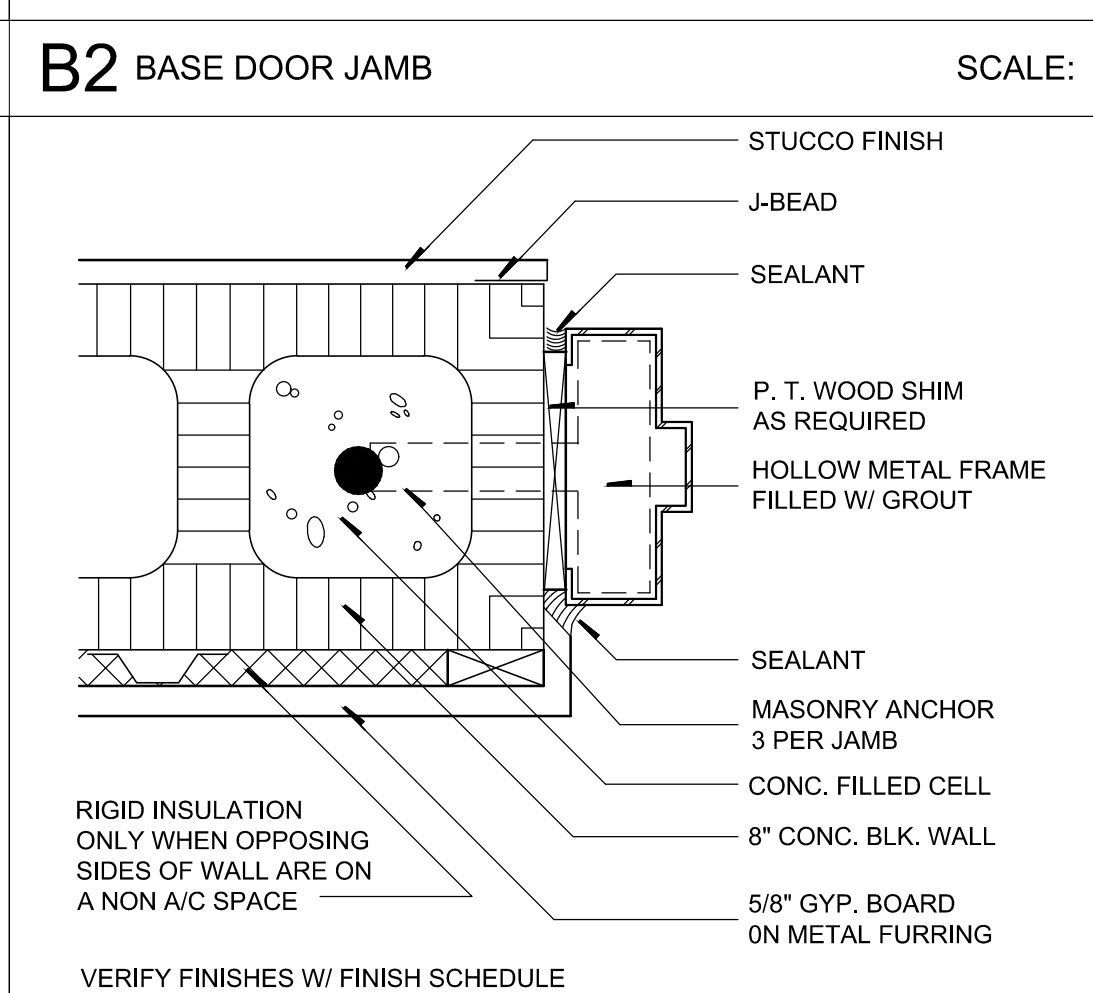
**B2 BASE DOOR JAMB** SCALE:



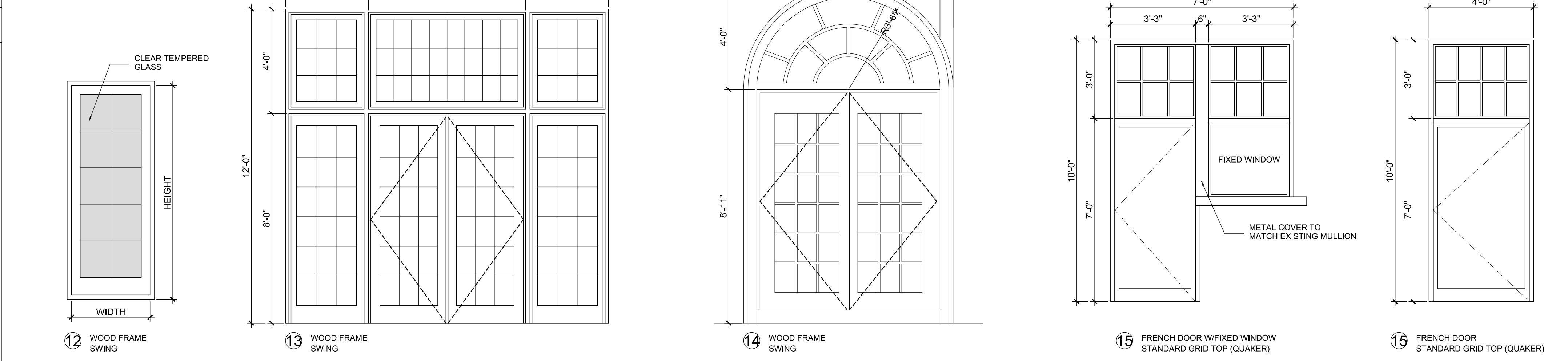
**D3 TEXT** SCALE:



**A1 NEW DOOR JAMB** SCALE:



**A2 DOOR FRAME DETAIL (METAL FRAME)** SCALE:



**A3 DOOR TYPES ELEVATION** SCALE: 3/8" = 1'-0"

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 33480



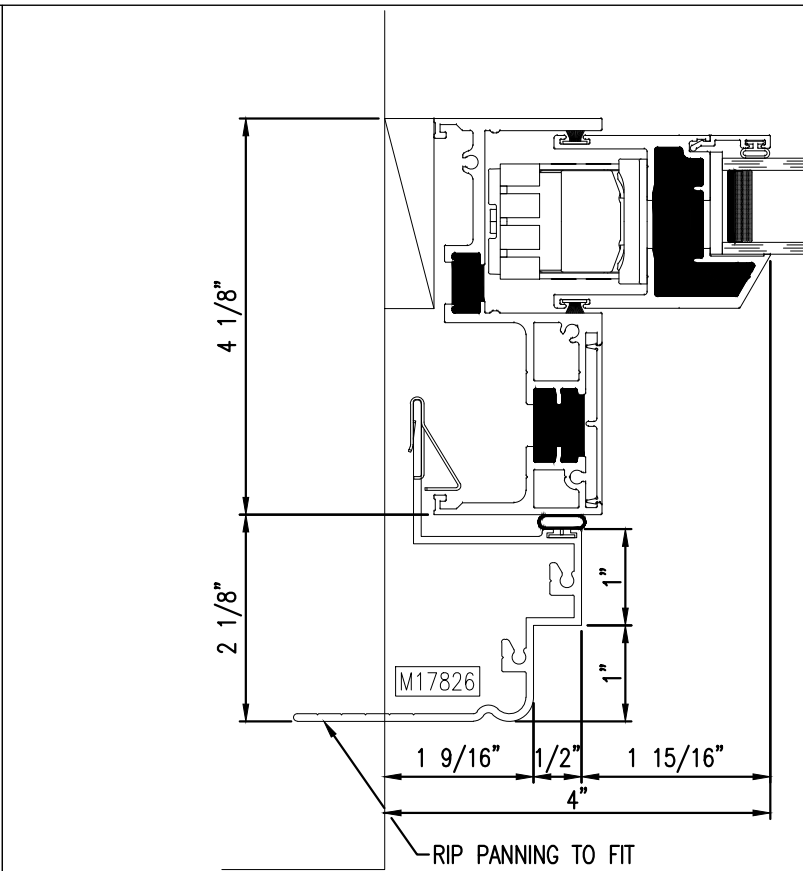
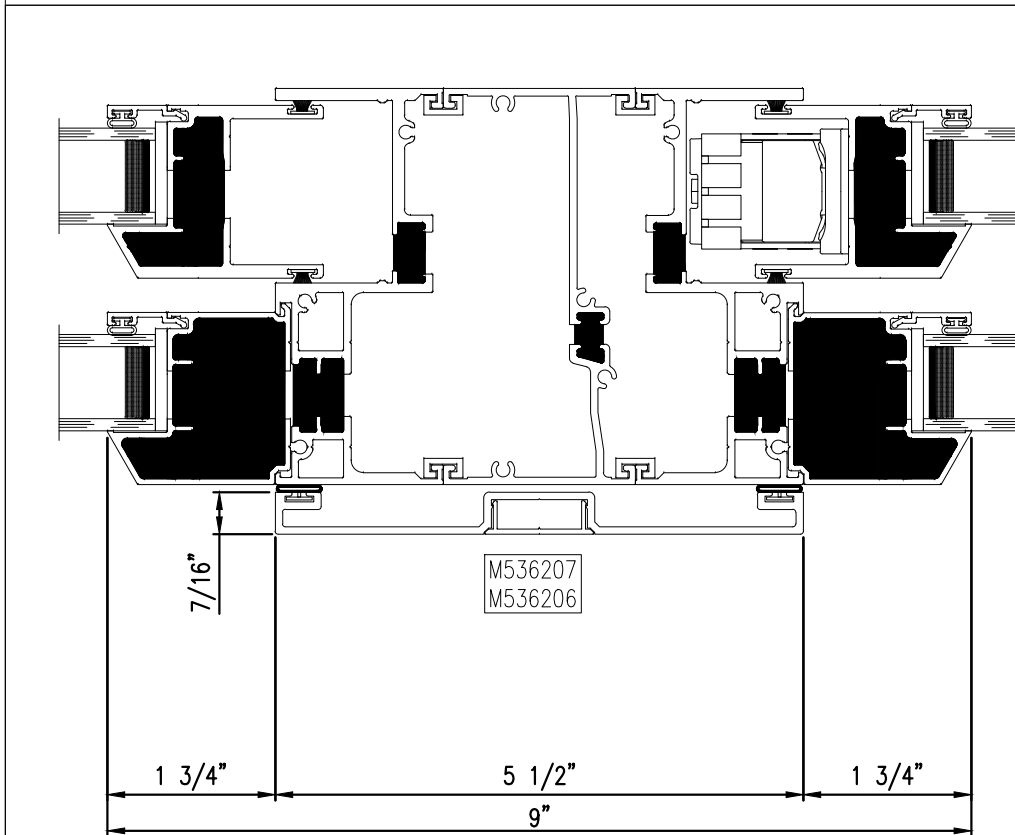
DWG. TITLE	DOOR JAMB & DETAILS
SCALE	AS SHOWN
PROJECT NO.	2020-01
DATE	11-12-21
SHEET NUMBER	A604

WINDOW / FRAME SCHEDULE										
TAG NUMBER	WINDOW			TYPE	GLASS FINISH EGRESS WINDOW	FRAME			MANUFACTURE	REMARKS
	SIZE					MATERIAL	FINISH	COLOR		
	WIDTH	HEIGHT	THICKNESS							
01	4'-0"	6'-0"	A.P.M.	SINGLE HUNG, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
02	3'-0"	6'-0"	A.P.M.	SINGLE HUNG, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
03	7'-0"	6'-0"	A.P.M.	DOUBLE HUNG, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
03A	4'-6"	6'-0"	A.P.M.	DOUBLE HUNG, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
04	4'-0"	4'-0"	A.P.M.	FIXED, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
05	9'-0"	8'-6"	A.P.M.	FIXED	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
06	9'-0"	6'-0"	A.P.M.	TRIPLE HUNG, GRID ON TOP	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
07	7'-0"	9'-0"	A.P.M.	FIXED	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
08	6'-8"	10'-6"	A.P.M.	FIXED	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.
09	7'-0"	14'-0"	A.P.M.	FIXED	CLEAR	ALUM.	A.P.M.	BALLET WHITE	QUAKER	SUBMIT SHOP DWGS. AND NOA.

NOTES:  
 - MUNTIN AND MULLIONS COLOR & MATERIALS ARE TO MATCH NEW WINDOWS. COLOR BALLET WHITE  
 FOR PROFILES, REFER TO DETAILS IN THIS SHEET  
 - GLASS FINISH FOR ALL WINDOWS LOCATED IN UNIT BATHROOMS TO BE FROSTED GLASS.

C1 WINDOW SCHEDULE

SCALE: N.T.S.

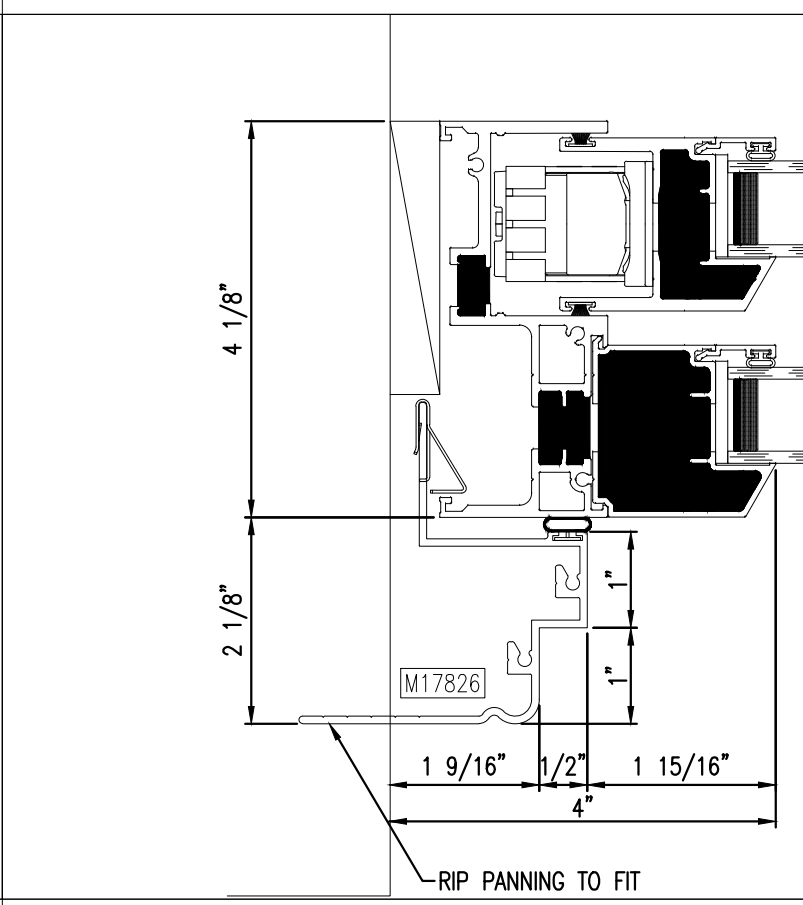
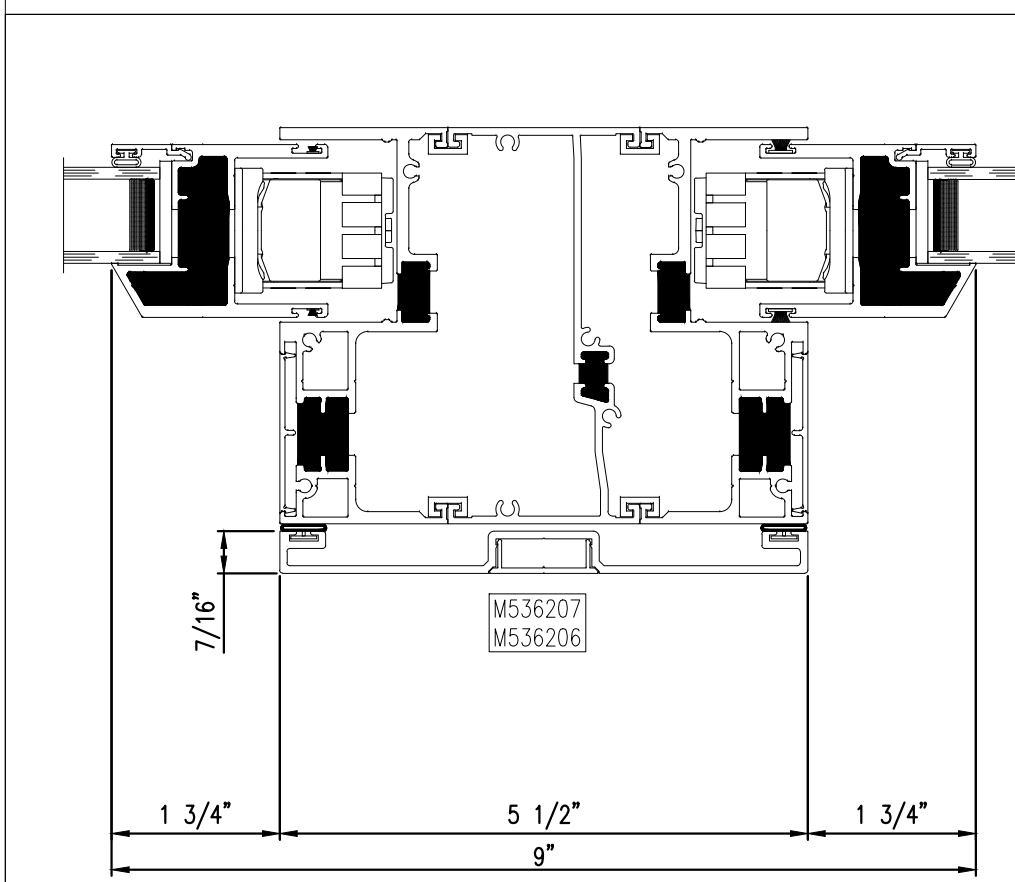


B1 MULLION DETAIL

SCALE: 6" = 1'-0"

B2 FRAME DETAIL

SCALE: 6" = 1'-0"



A1 MULLION DETAIL

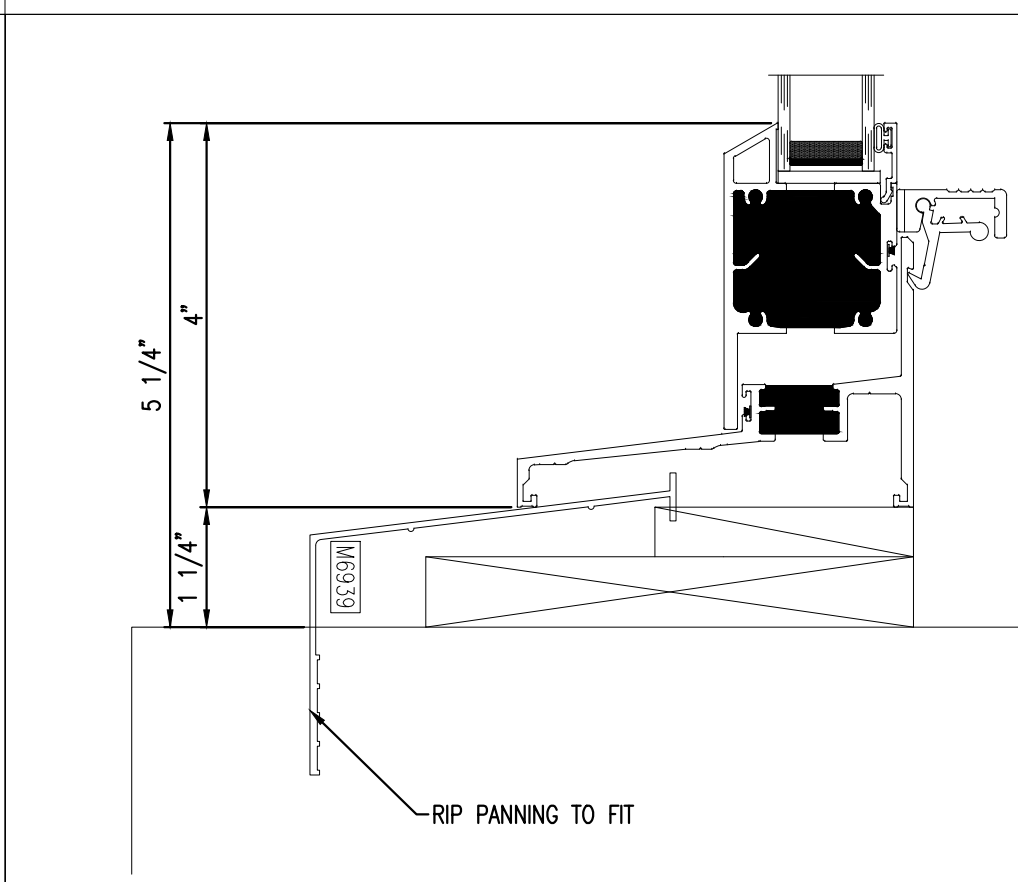
SCALE: 6" = 1'-0"

A2 FRAME DETAIL

SCALE: 6" = 1'-0"

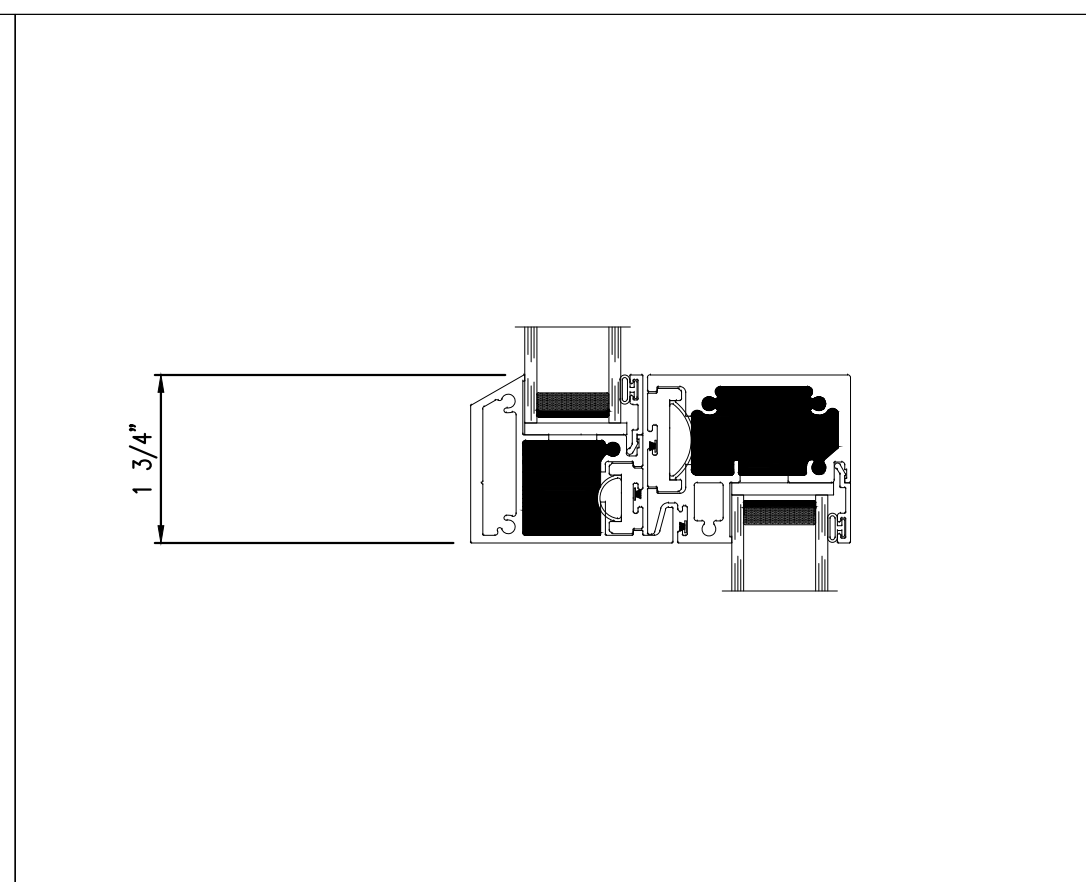
B3 WINDOW TYPES ELEVATION

SCALE: 3/8" = 1'-0"



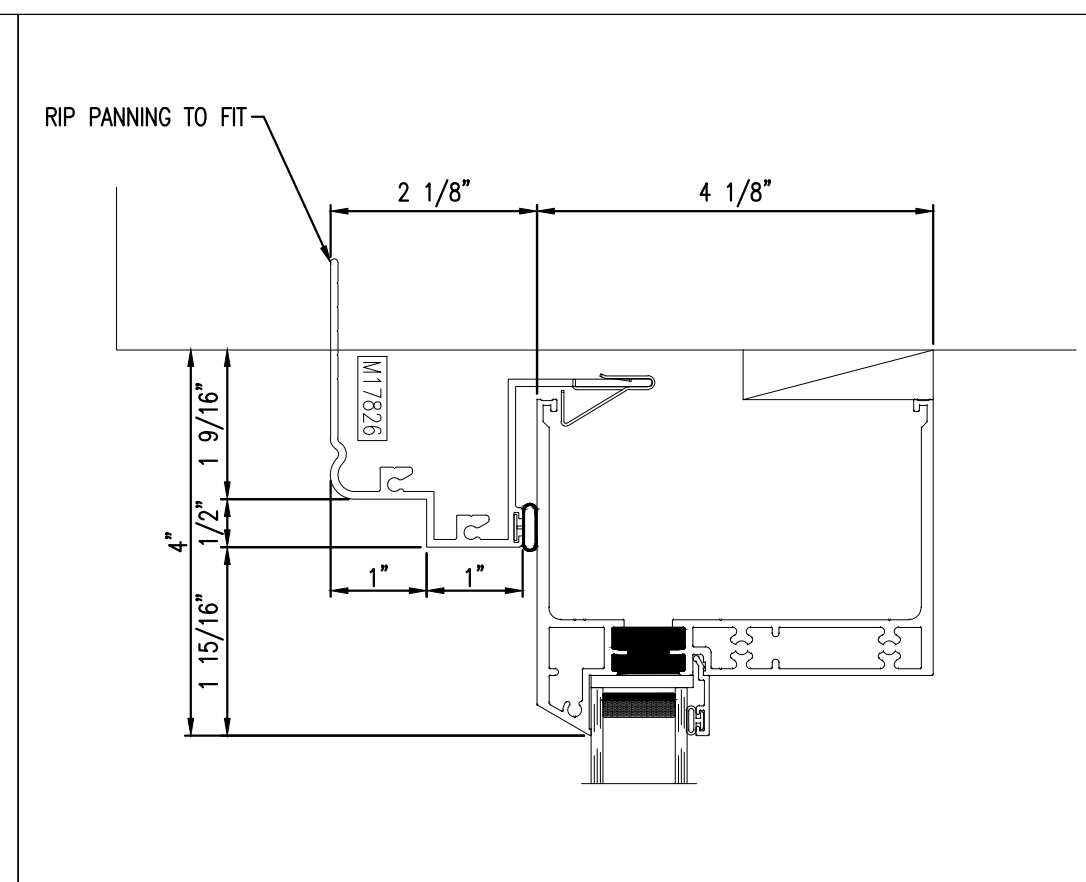
A3 BOTTOM WINDOW DETAIL

SCALE: 6" = 1'-0"



A4 WINDOW DETAIL

SCALE: 6" = 1'-0"



A5 TOP WINDOW DETAIL

SCALE: 6" = 1'-0"

A6 NOTES

SCALE: N.T.S.

GULFSTREAM HOTEL

11 LAKE AVENUE  
LAKE WORTH, FL 33480



DWG. TITLE	GLAZING SCHEDULE & DETAILS
SCALE	AS SHOWN
PROJECT NO.	
DATE	2020-01
SHEET NUMBER	11-12-21
DATE	REVISION

# SITE PLAN DRAWINGS FOR GULFSTREAM HOTEL

**1 LAKE AVENUE  
LAKE WORTH, FLORIDA**

## GENERAL NOTES

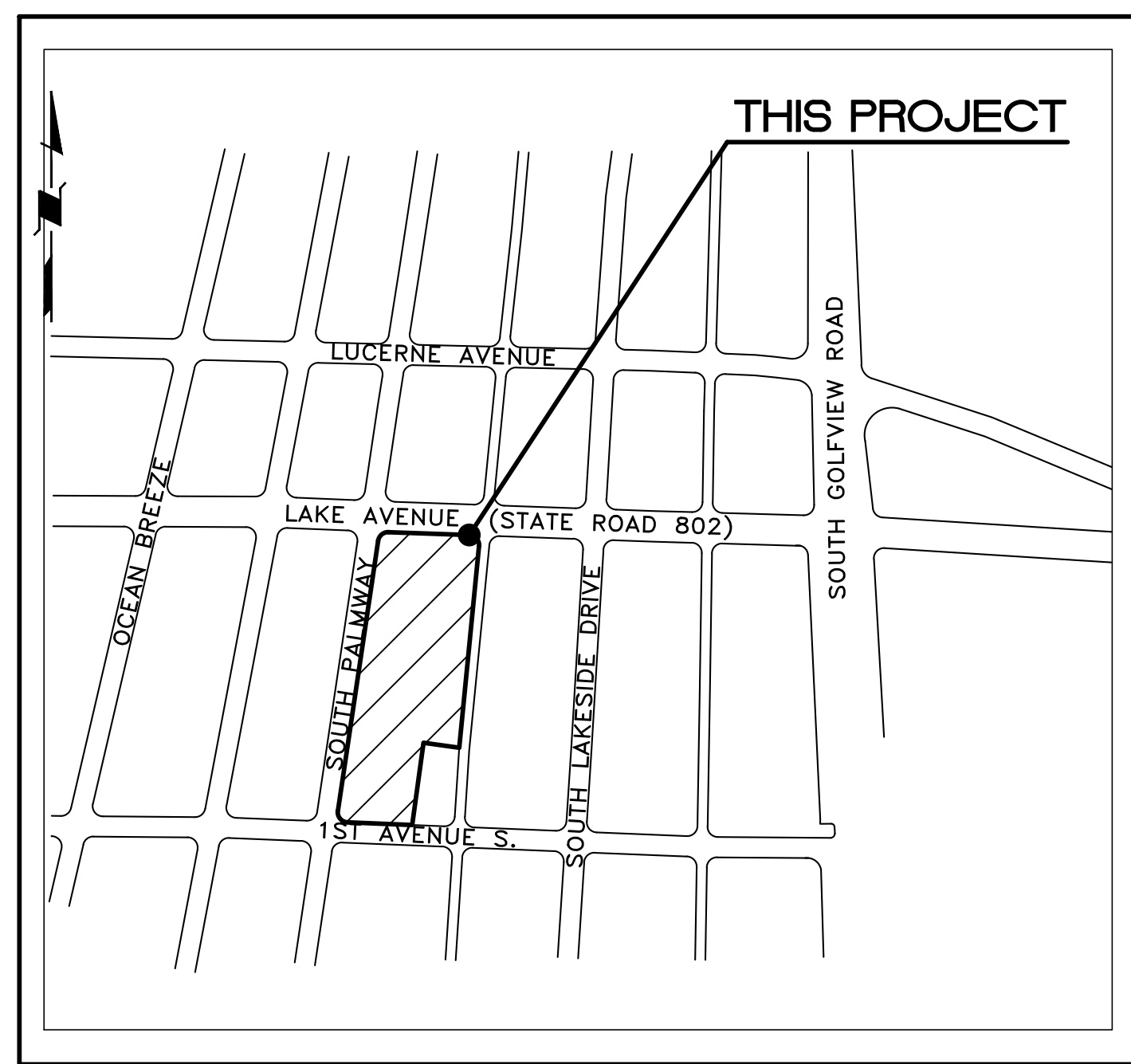
1. THE ISSUANCE OF ANY PERMITS SHALL COMPLY WITH ALL PROVISIONS OF THE LAKE WORTH MUNICIPAL CODE AND ALL OTHER APPLICABLE STANDARDS INCLUDING BUT NOT LIMITED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND THE CITY OF LAKE WORTH PUBLIC WORKS CONSTRUCTION STANDARDS AND POLICY AND PROCEDURE MANUAL.
2. ELEVATIONS SHOWN HEREON ARE BASED ON PALM BEACH COUNTY BENCHMARK "K 402", HAVING AN ELEVATION OF 15.699 NAVD 1988. ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVD 1988, UNLESS NOTED OTHERWISE.
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
5. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
6. EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
7. REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
9. FLOOD INFORMATION IS AS FOLLOWS: COMMUNITY NUMBER 120213, PANEL NUMBER 0781F, DATE OF FIRM INDEX 10-05-2017, ZONE AE, BASE FLOOD ELEVATION 6.0'.
10. BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY PERIMETER SURVEYING & MAPPING, BOCA RATON, FLORIDA, DATED JUNE 12, 2015, LAST UPDATED DECEMBER 19, 2019.

## UTILITY DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
2. THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
3. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.

## DEMOLITION NOTES

1. EXISTING CONDITIONS SHOWN BASED UPON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO INITIATING WORK. SEE SURVEY PREPARED BY PERIMETER SURVEYING & MAPPING, BOCA RATON, FLORIDA, DATED JUNE 12, 2015, LAST UPDATED DECEMBER 19, 2019.
2. ALL EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES.
3. UNLESS OTHERWISE NOTED, ALL EXISTING IMPROVEMENTS WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO STRUCTURES, FOUNDATIONS, SLABS, PAVEMENTS, DRAINAGE FACILITIES, SITE LIGHTING FACILITIES, AND UTILITY FACILITIES, SHALL BE REMOVED IN THEIR ENTIRETY. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. ALL EXISTING BUILDING STRUCTURES SHALL BE REMOVED INCLUDING FOUNDATIONS, UNDERGROUND PIPING, GREASE TRAPS, ETC.
5. ASPHALTIC PAVEMENT DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
6. LIMEROCK SUBBASE SHALL BE SCARIFIED TO ITS FULL DEPTH. REMOVED LIMEROCK SUBBASE MAY BE USED FOR ON-SITE FILL AND SUBGRADE, BUT IN NO CASE SHALL REMOVED LIMEROCK SUBBASE BE USED AS SUBBASE FOR NEW ROADWAYS, DRIVEWAYS, OR PARKING AREAS.
7. ALL EXISTING DRAINAGE IMPROVEMENTS SHALL BE REMOVED, INCLUDING STRUCTURES, PIPES, FRENCH DRAINS, ETC, UNLESS OTHERWISE NOTED.
8. ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, POWER & TELEPHONE SHALL BE TERMINATED AT PROPERTY LINES AND REMOVED WITHIN THE DEMOLITION LIMITS. CONTRACTOR SHALL COORDINATE WITH EACH AFFECTED UTILITY COMPANY.
9. ALL DEMOLITION DEBRIS, EQUIPMENT AND APPURTENANCES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF OFF-SITE IN AN APPROVED MANNER, UNLESS OTHERWISE DESIGNATED BY THE OWNER.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL HAUL ROUTES, TO AND FROM THE SITE, FROM ALL REQUIRED AGENCIES/MUNICIPALITIES.



SECTION 21      TOWNSHIP 44 SOUTH      RANGE 43 EAST  
PARCEL ID: 38-43-44-21-15-033-0090

### LOCATION MAP N.T.S.

### LEGAL DESCRIPTION

PARCEL 1  
LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND  
LOTS 7 AND 8, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND  
LOTS 1 THROUGH 6, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND  
PARCEL 2  
THAT CERTAIN 10 FOOT WIDE STRIP OF LAND LYING WEST OF AND ADJACENT TO THE FOLLOWING DESCRIBED PARCEL:

LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

### STRIPING AND SIGNAGE NOTES

1. ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS APPLIED TO ASPHALTIC PAVEMENT SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FDOT SECTION 711.
2. ALL ON-SITE STRIPING APPLIED TO CONCRETE PAVEMENT SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT SECTION 917.
3. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
4. SIGN POSTS SHALL BE STEEL CHANNEL IN ACCORDANCE WITH MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-A-WAY.
5. STOP SIGNS SHALL BE MOUNTED WITH 7' CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
6. PROVIDE REFLECTIVE PAVEMENT MARKERS, AS REQUIRED BY MIAMI-DADE COUNTY/CITY OF MIAMI PUBLIC WORKS DEPARTMENTS.

## STANDARD FDOT NOTES

1. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FDOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. THE APPLICANT'S ENGINEER WHO IS RESPONSIBLE FOR CONSTRUCTION INSPECTION SHALL INSURE THAT THE MAINTENANCE OF TRAFFIC PLAN (M.O.T.) FOR THIS PROJECT WILL COMPLY WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) DESIGN STANDARD INDEX 612, 613 AND 660.
3. IF THE PERMITTED WORK IS ON A ROADWAY THAT HAS BEEN SELECTED AS A HURRICANE OR DISASTER EVACUATION ROUTE. THE APPLICANT, AT THE PRE-CONSTRUCTION CONFERENCE, IS REQUIRED TO PRESENT, AS A PART OF THE WORK PLAN, AN EMERGENCY FUNCTIONAL RESTORATION PLAN TO ADDRESS EVENTUALITIES SUCH AS HURRICANES.
4. THE CONTRACTOR MUST CALL THE APPROPRIATE COUNTY TRAFFIC ENGINEERING DIVISION HAVING JURISDICTION OVER THE PROJECT AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE FDOT RIGHT-OF-WAY TO DETERMINE THE LOCATION OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLES.
5. THE LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION DURING CONSTRUCTION. RELOCATION OF UTILITIES SHALL BE COORDINATED WITH UTILITY COMPANIES AFTER IDENTIFICATION OF CONFLICT BY CONTRACTOR. CONTRACTOR WILL NOTIFY ENGINEER IN ADVANCE BEFORE ANY RELOCATION.
6. BEFORE PERMIT APPROVAL AND CONSTRUCTION OF THIS PROJECT, THE APPLICANT MUST CONTACT THE FLORIDA DEPARTMENT OF TRANSPORTATION LOCAL MAINTENANCE OFFICE TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE TELEPHONE NUMBER IS 772-465-7070 OR 1-800-300-8236.
7. THE APPLICANT, AT THE EARLIEST CONVENIENT TIME, SHALL NOTIFY, IN WRITING, ALL RIGHT-OF-WAY USERS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
8. ALL CURB CUT RAMPS MUST FACE IN THE DIRECTION OF PEDESTRIAN TRAVEL. SPECIFY THE ALPHANUMERIC IDENTIFICATION FOR THE CURB CUT RAMPS PER STANDARD INDEX 304. A COPY OF THE APPROPRIATE DETAIL(S) MUST BE SHOWN ON THE PLANS.
9. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF THE STATE ROAD SHALL BE BACKFILLED IN ACCORDANCE WITH STANDARD INDEX 600 OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR'S EXPENSE.
10. ALL M.O.T. LANE CLOSURE SIGNS SHALL BE COVERED WHEN LANES ARE NOT CLOSED. NO LANES ARE TO BE CLOSED BEFORE 9:00 AM AND ALL LANES ARE TO BE OPENED BY 4:00 PM.
11. THE LOCAL MEDIA SHALL BE CONTACTED A WEEK PRIOR TO ANY LANE CLOSURES ON THE STATE ROAD SYSTEM IF IT WILL OCCUR DURING PEAK HOURS OR OVER THE SPAN OF MORE THAN ONE DAY. CONTACT BARBARA KELLEHER, FDOT PUBLIC INFORMATION OFFICE AT 954-777-4090 FOR GUIDANCE ON WHO TO CONTACT. PROVIDE A COPY OF THE PRESS RELEASE TO: FLORIDA DEPARTMENT OF TRANSPORTATION PUBLIC INFORMATION OFFICE, 3400 WEST COMMERCIAL BOULEVARD, FORT LAUDERDALE, FLORIDA 33309.
12. THE PAVEMENT SPECIFICATION SHOULD READ: MATCH EXISTING TYPE AND DEPTH OF ASPHALT TO 3/4" MAXIMUM, INCLUDING FRICTION COURSE.
13. FLAGGERS MUST BE PRESENT DURING THE INGRESS AND EGRESS OF CONSTRUCTION VEHICLES TO AND FROM THE PROJECT SITE. WARNING SIGNS MUST BE ERECTED ADVISING MOTORIST OF TRUCKS ENTERING THE HIGHWAY.
14. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS (600 SERIES) AND THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), REVISIONS ONE AND TWO DATED DECEMBER 2007.

## INDEX OF DRAWINGS

DWG. NO.	TITLE
C-1	LOCATION MAP AND NOTES
C-2	LAYOUT PLAN AND NOTES
C-3	PAVING-GRADING-DRAINAGE/WATER-SEWER PLAN
C-4	SITE DETAILS
C-5	DRAINAGE DETAILS
SWPPP-1	STORMWATER POLLUTION PREVENTION PLAN
SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN

BEILINSON  
GOMEZ

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NELSON H. ORTIZ  
LICENSE  
No 57556  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

4/4/2022

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: PROJECT NO.: 2021-7044      NELSON H. ORTIZ      PE-57556 (CIVIL)

PRELIMINARY - NOT FOR CONSTRUCTION

**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION
2 03/25/22	CITY COMMENTS
1 03/01/22	CITY COMMENTS

DWG. TITLE	
LOCATION MAP AND NOTES	
SCALE	AS SHOWN
PROJECT NO.	2020-01
DATE	01-14-2022
SHEET NUMBER	<b>C-1</b>

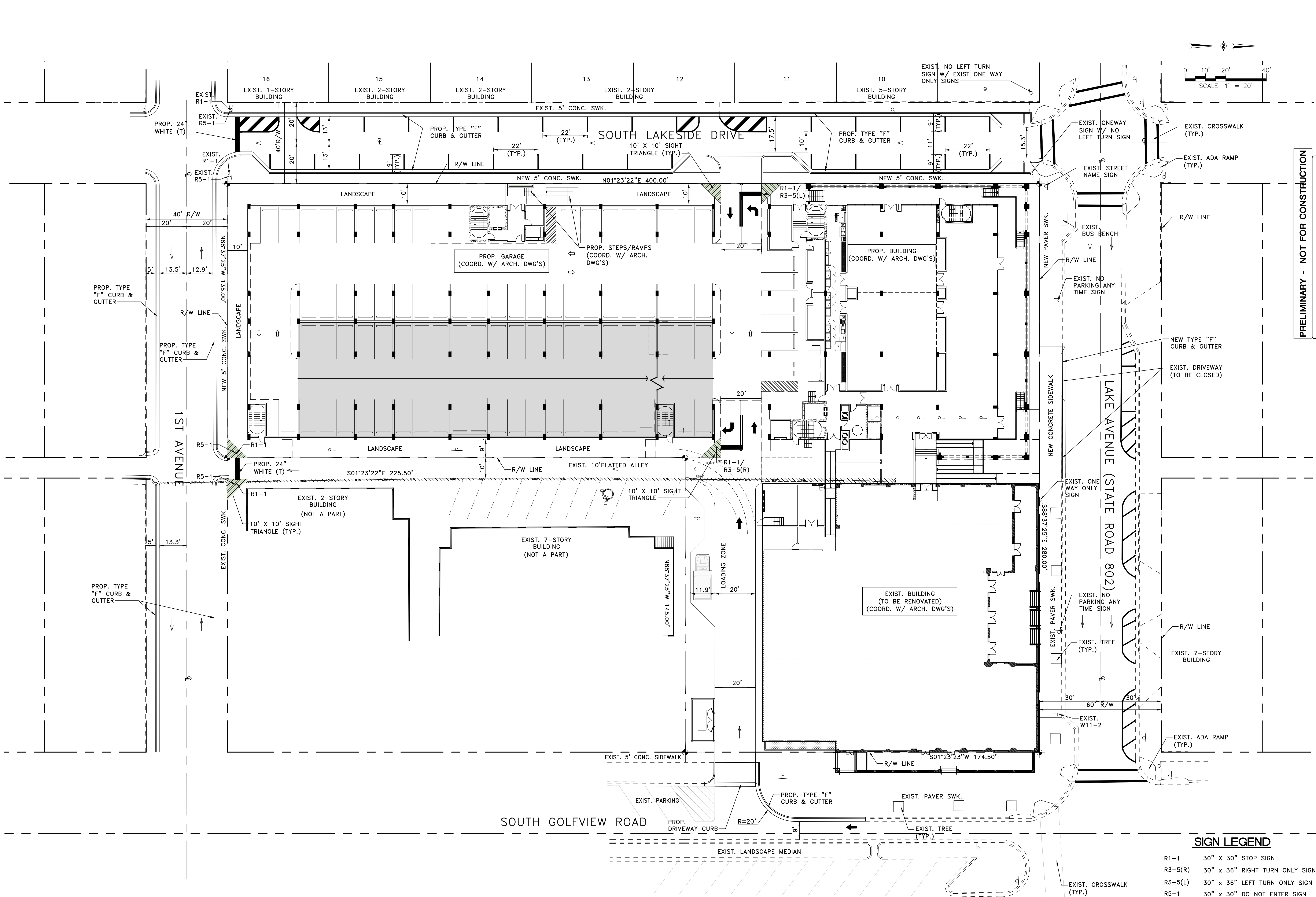
COPYRIGHT 2016. ALL RIGHTS RESERVED. THESE DRAWINGS AND DOCUMENTS ARE INSTRUMENTS OF SERVICE. THE PROPERTY OF BEILINSON GOMEZ ARCHITECTS PA. ANY REPRODUCTION OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF BEILINSON GOMEZ ARCHITECTS PA. IS PROHIBITED. FOR INFORMATION ON THE CURRENT STATUS OF THIS PROJECT, CONTACT BEILINSON GOMEZ ARCHITECTS PA. AT 305-659-1250.

PRELIMINARY - NOT FOR CONSTRUCTION

**GULFSTREAM HOTEL**  
 11 LAKE AVENUE  
 LAKE WORTH, FL 334610

NO.	DATE	REVISION
2	03/25/22	CITY COMMENTS
1	03/01/22	CITY COMMENTS

DWG. TITLE	LAYOUT PLAN
SCALE	AS SHOWN
PROJECT NO.	2020-01
DATE	01-14-2022
SHEET NUMBER	C-2



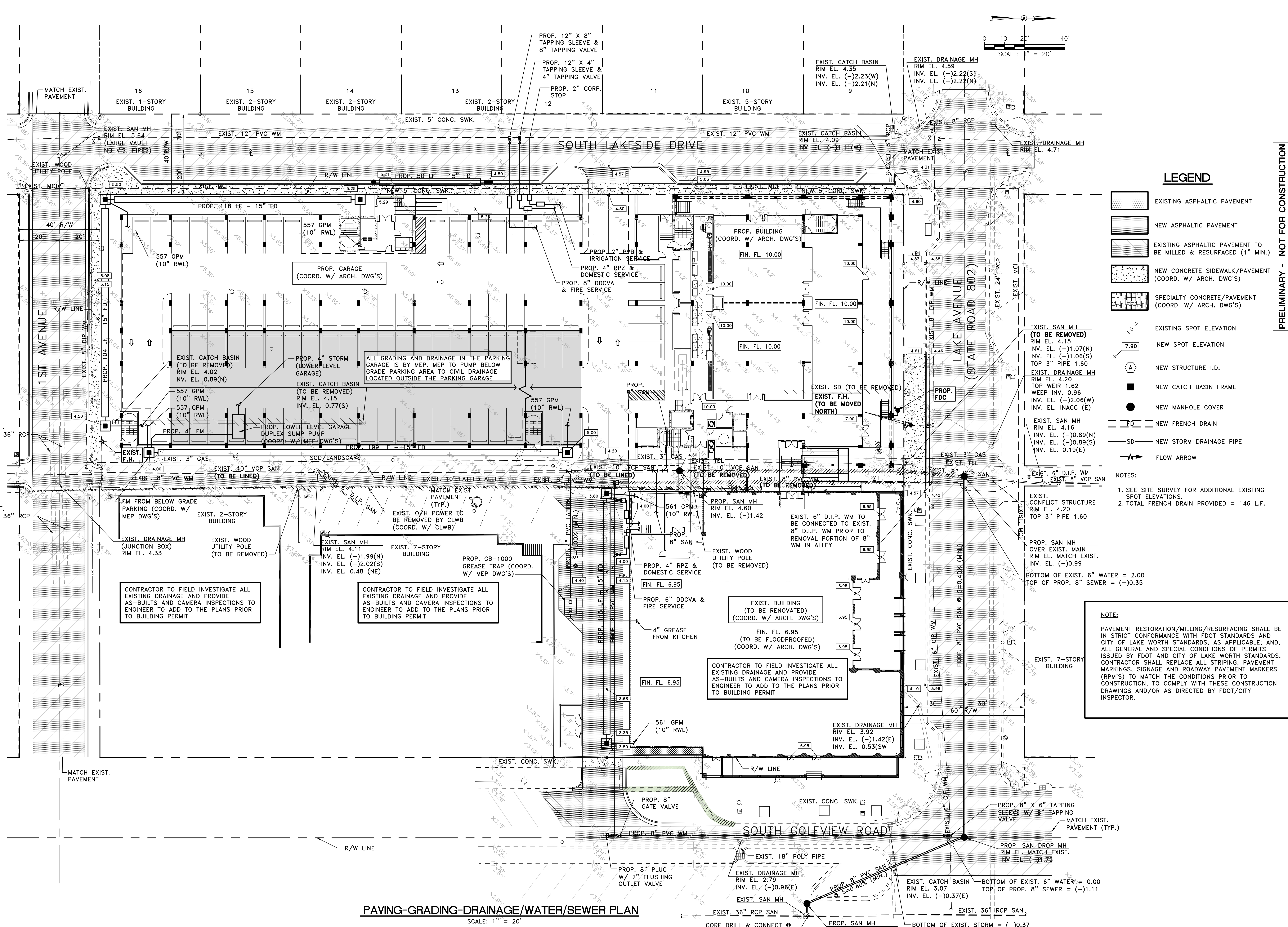
**SIGN LEGEND**

R1-1	30" X 30" STOP SIGN
R3-5(R)	30" X 36" RIGHT TURN ONLY SIGN
R3-5(L)	30" X 36" LEFT TURN ONLY SIGN
R5-1	30" X 30" DO NOT ENTER SIGN
W11-2	PEDESTRIAN CROSSING SIGN
W16-7P	ANGLED ARROW SIGN

**LAYOUT PLAN**  
 SCALE: 1" = 20'

PRELIMINARY - NOT FOR CONSTRUCTION

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610



**LEGEND**

- EXISTING ASPHALTIC PAVEMENT
- NEW ASPHALTIC PAVEMENT
- 
- NEW CONCRETE SIDEWALK/PAVEMENT (COORD. W/ ARCH. DWG'S)
- SPECIALTY CONCRETE/PAVEMENT (COORD. W/ ARCH. DWG'S)
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW STRUCTURE I.D.
- NEW CATCH BASIN FRAME
- NEW MANHOLE COVER
- NEW FRENCH DRAIN
- NEW STORM DRAINAGE PIPE
- FLOW ARROW

- NOTES:
- SEE SITE SURVEY FOR ADDITIONAL EXISTING SPOT ELEVATIONS.
  - TOTAL FRENCH DRAIN PROVIDED = 146 L.F.

**NOTE:**

PAVEMENT RESTORATION/MILLING/RESURFACING SHALL BE IN STRICT CONFORMANCE WITH FDOT STANDARDS AND CITY OF LAKE WORTH STANDARDS, AS APPLICABLE; AND, ALL GENERAL AND SPECIAL CONDITIONS OF PERMITS ISSUED BY FDOT AND CITY OF LAKE WORTH STANDARDS. CONTRACTOR SHALL REPLACE ALL STRIPING, PAVEMENT MARKINGS, SIGNAGE AND ROADWAY PAVEMENT MARKERS (RPM'S) TO MATCH THE CONDITIONS PRIOR TO CONSTRUCTION, TO COMPLY WITH THESE CONSTRUCTION DRAWINGS AND/OR AS DIRECTED BY FDOT/CITY INSPECTOR.

CONTRACTOR TO FIELD INVESTIGATE ALL EXISTING DRAINAGE AND PROVIDE AS-BUILTS AND CAMERA INSPECTIONS TO ENGINEER TO ADD TO THE PLANS PRIOR TO BUILDING PERMIT

CONTRACTOR TO FIELD INVESTIGATE ALL EXISTING DRAINAGE AND PROVIDE AS-BUILTS AND CAMERA INSPECTIONS TO ENGINEER TO ADD TO THE PLANS PRIOR TO BUILDING PERMIT

CONTRACTOR TO FIELD INVESTIGATE ALL EXISTING DRAINAGE AND PROVIDE AS-BUILTS AND CAMERA INSPECTIONS TO ENGINEER TO ADD TO THE PLANS PRIOR TO BUILDING PERMIT

**PAVING-GRADING-DRAINAGE/WATER/SEWER PLAN**

SCALE: 1" = 20'

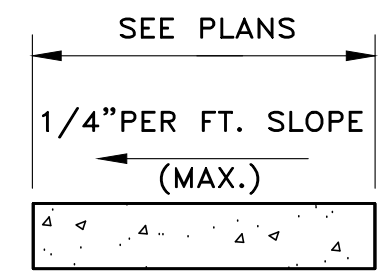
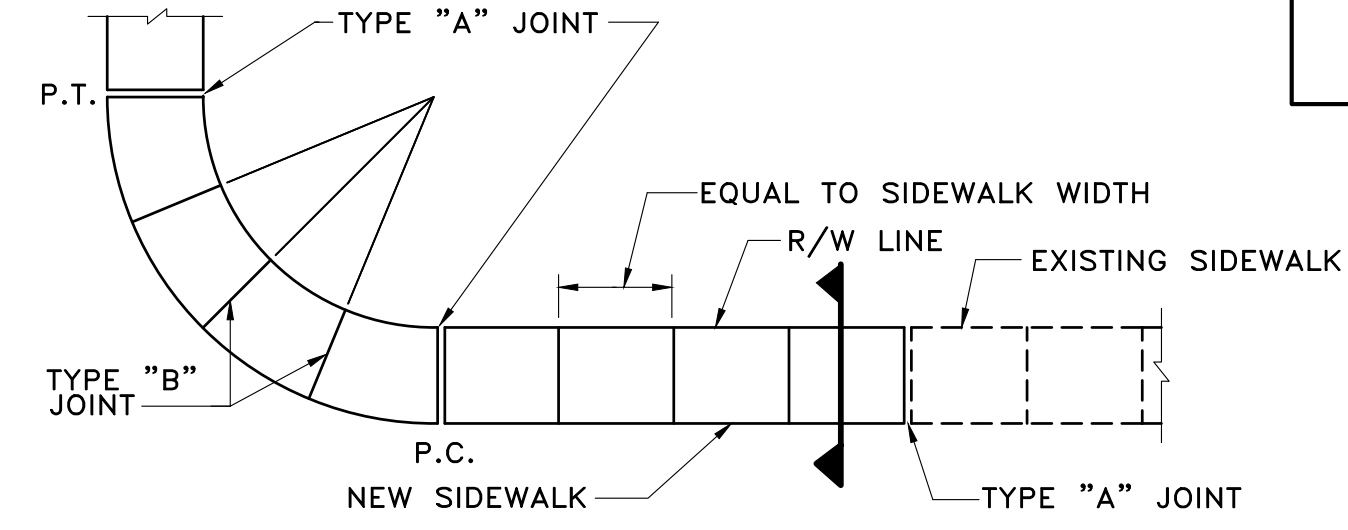
DATE	REVISION
2 03/25/22	CITY COMMENTS
1 03/01/22	CITY COMMENTS

DWG. TITLE	AS SHOWN
PROJECT NO.	2020-01
DATE	01-14-2022
SHEET NUMBER	C-3

PRELIMINARY - NOT FOR CONSTRUCTION

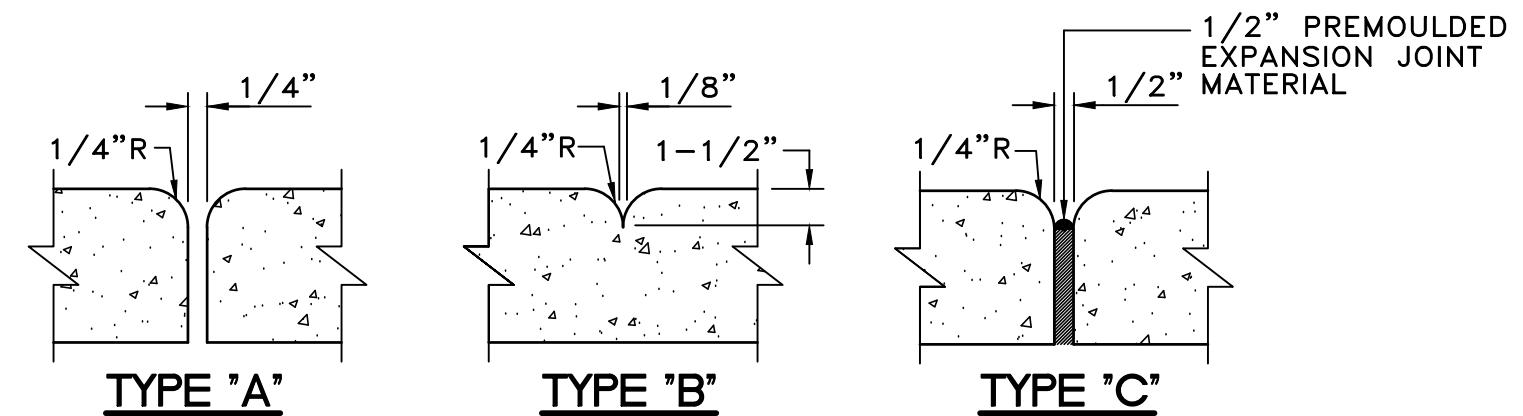
TABLE OF SIDEWALK THICKNESS 'T'	
LOCATION	"T"
RESIDENTIAL AND INTERIOR AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES ALSO, EVERY 50 FEET OF CONTINUOUS SIDEWALK



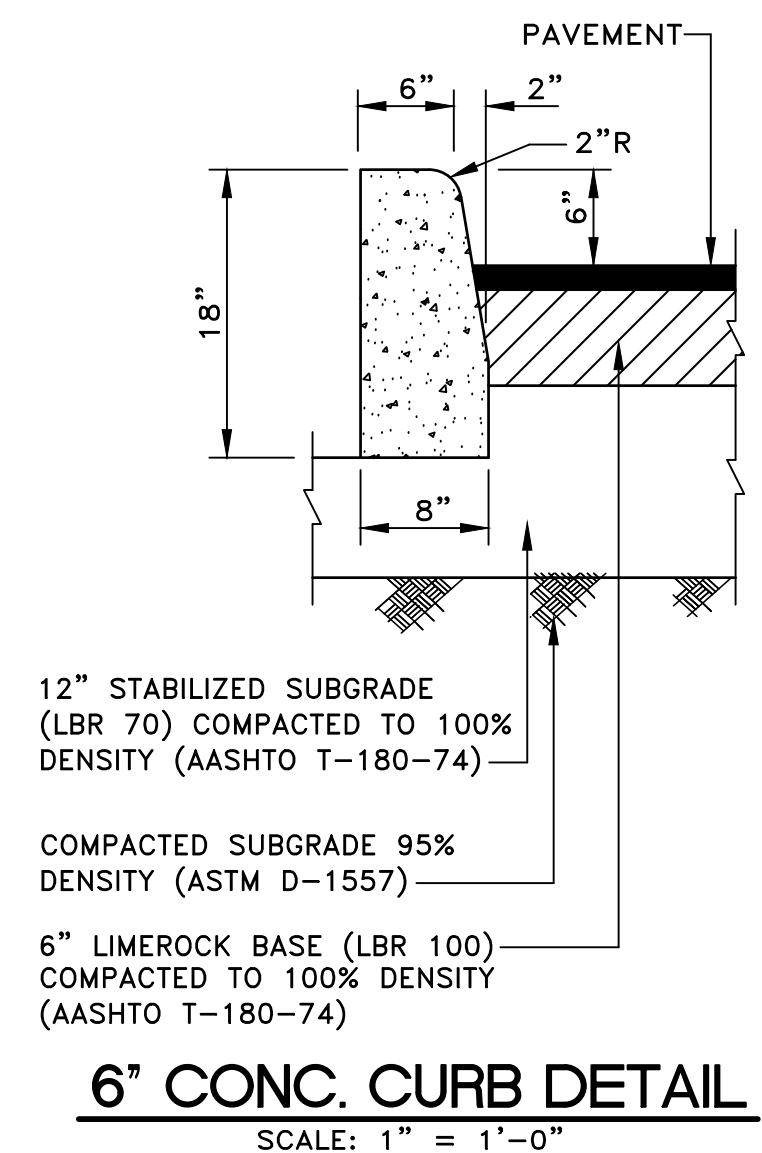
**SIDEWALK PLAN**

**SECTION**

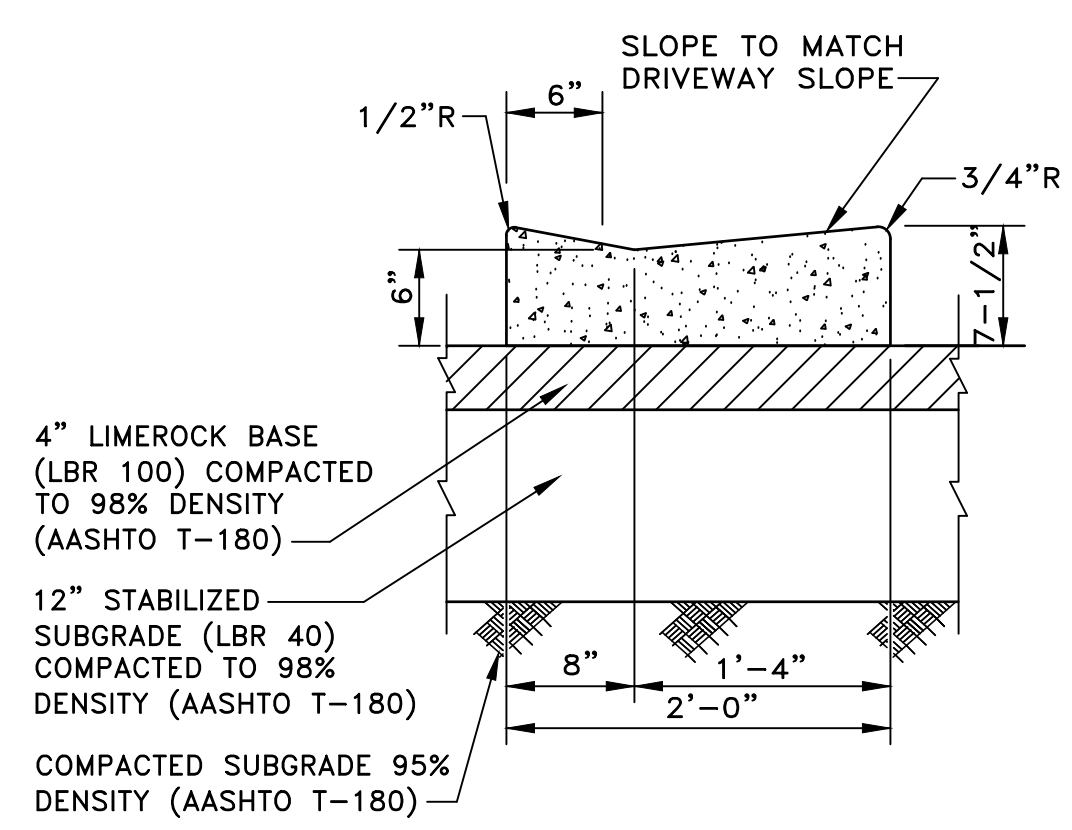


**SIDEWALK JOINTS**

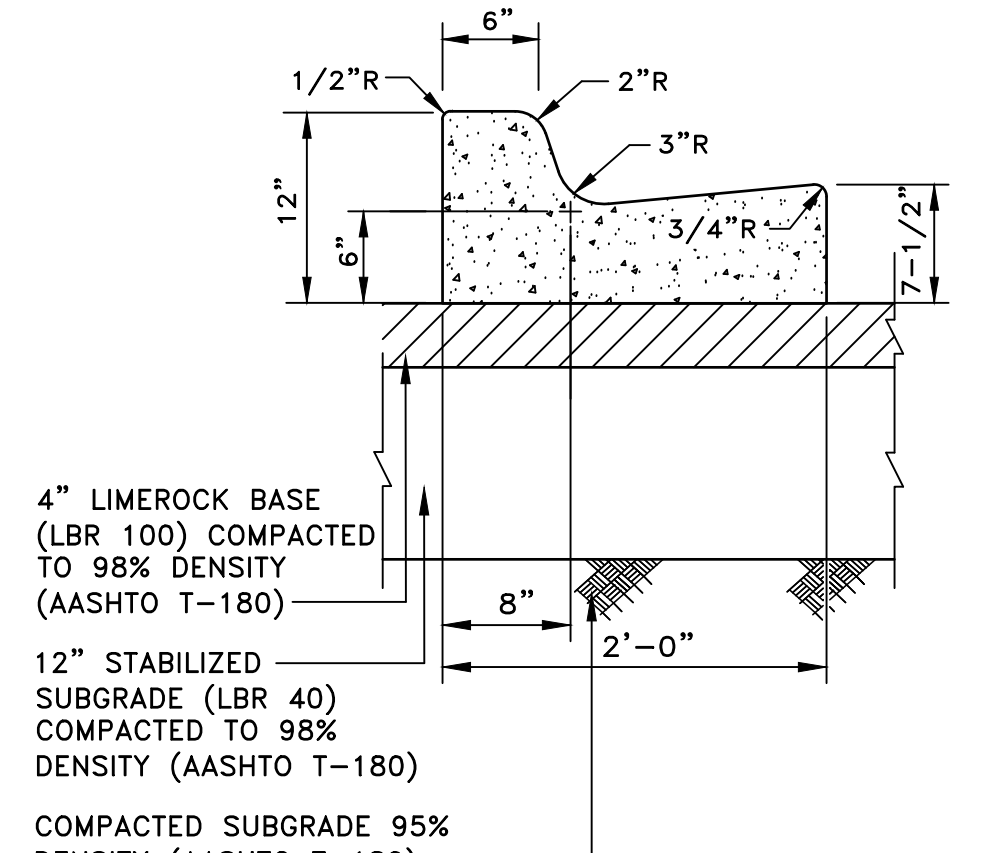
**STANDARD SIDEWALK CONSTRUCTION**  
N.T.S.



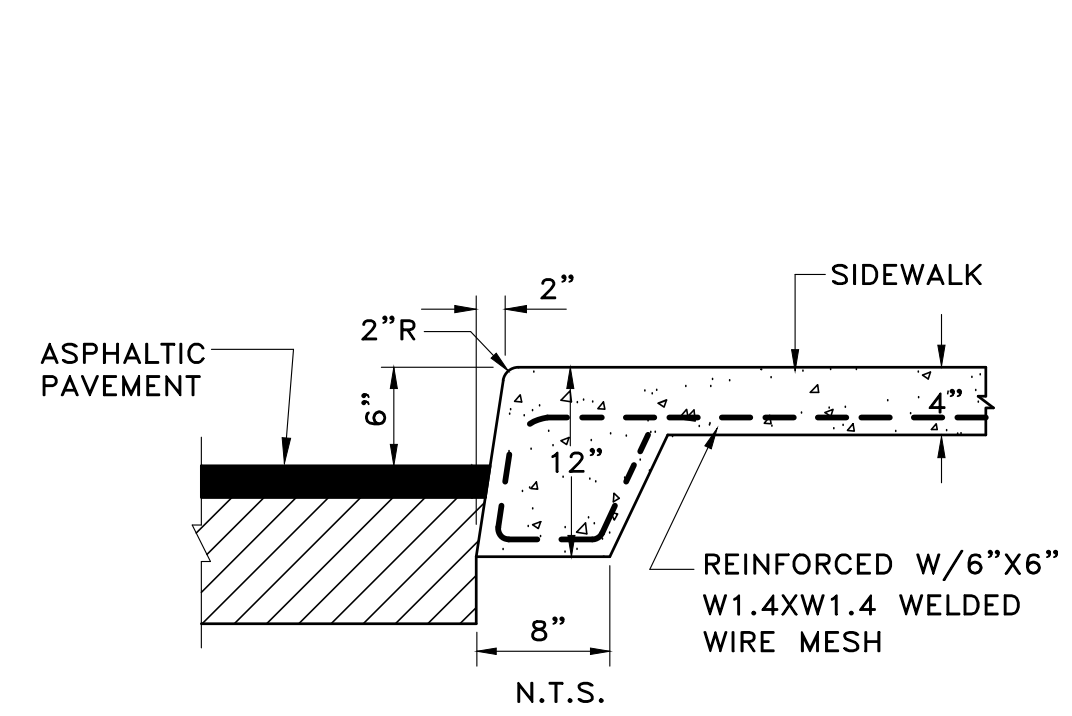
**6" CONC. CURB DETAIL**  
SCALE: 1" = 1'-0"



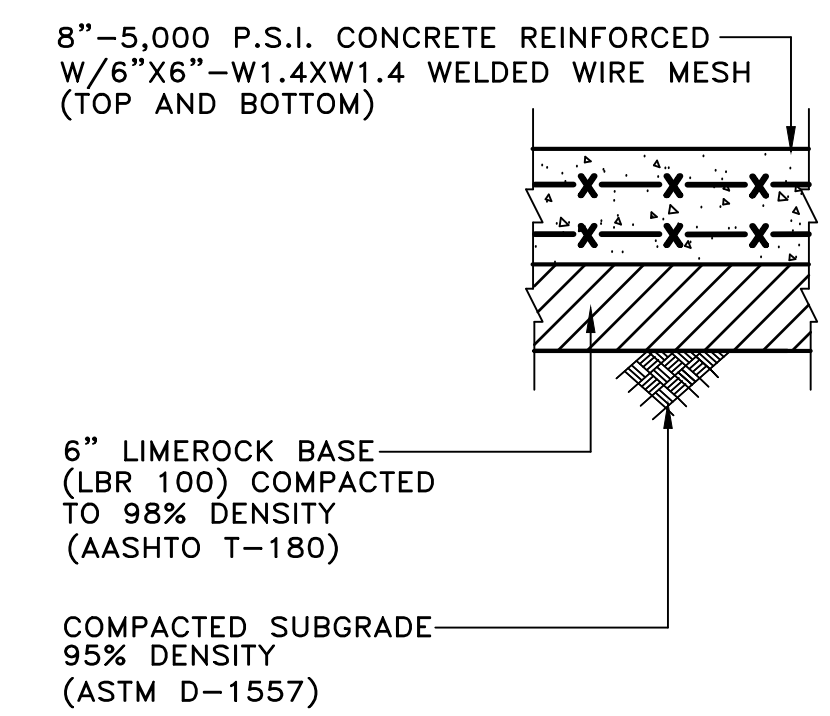
**DRIVEWAY CURB**  
SCALE: 1" = 1'-0"



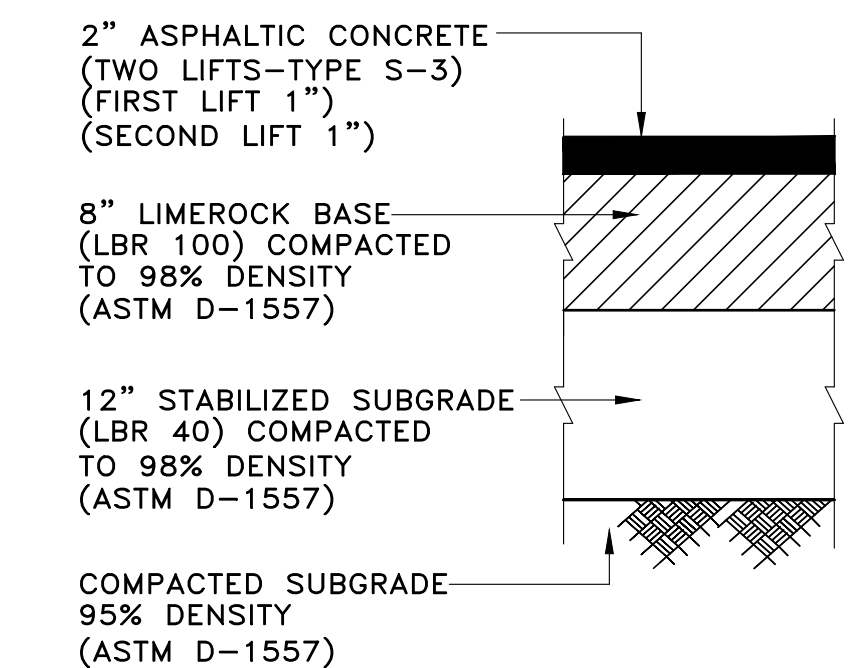
**TYPE 'F' CURB AND GUTTER**  
(IN PUBLIC RIGHT-OF-WAY) N.T.S.



**TURNDOWN SIDEWALK DETAIL**  
N.T.S.



**CONCRETE PAVEMENT**  
(ON-SITE) N.T.S.



**ASPHALTIC PAVEMENT**  
N.T.S.

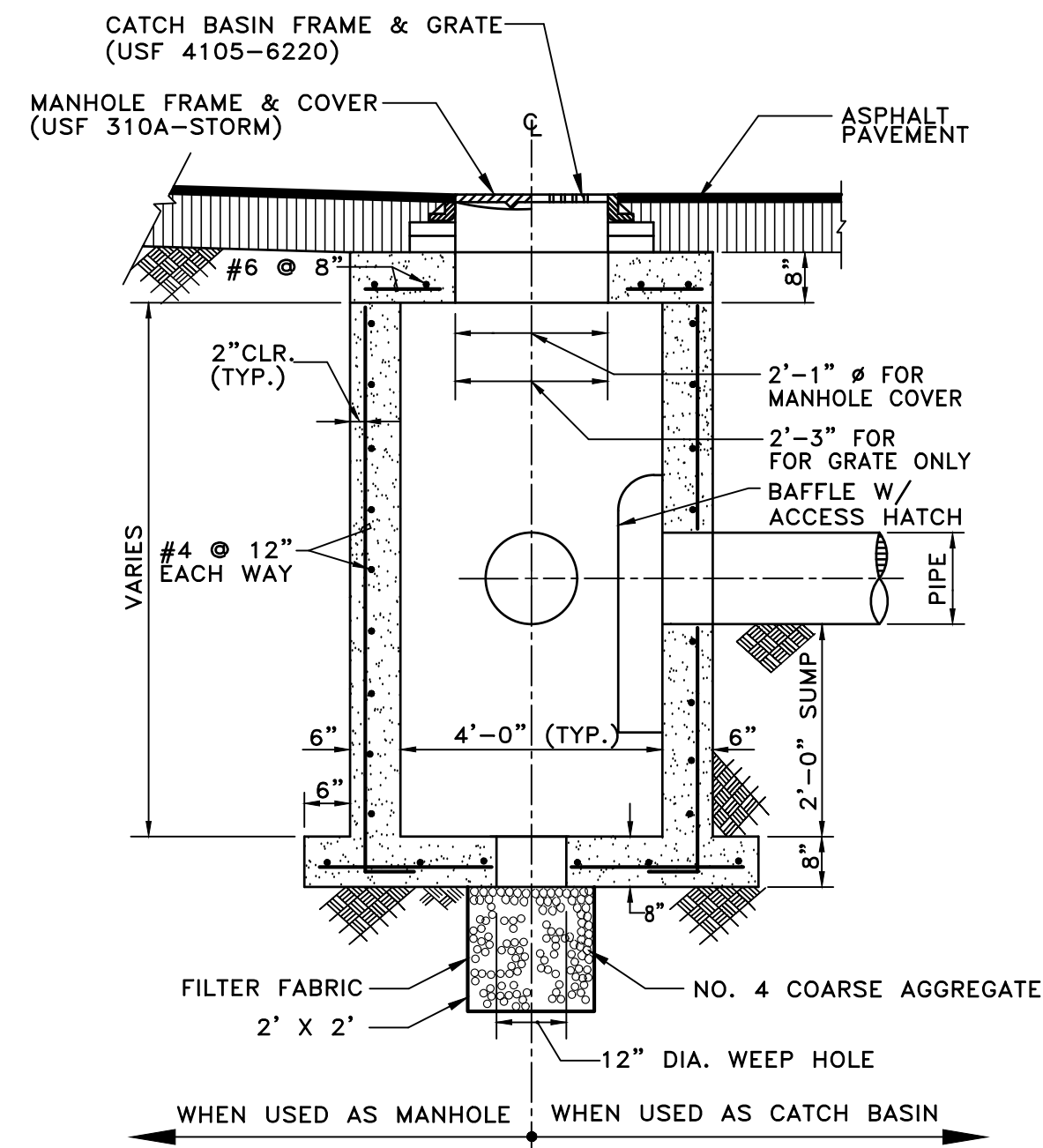
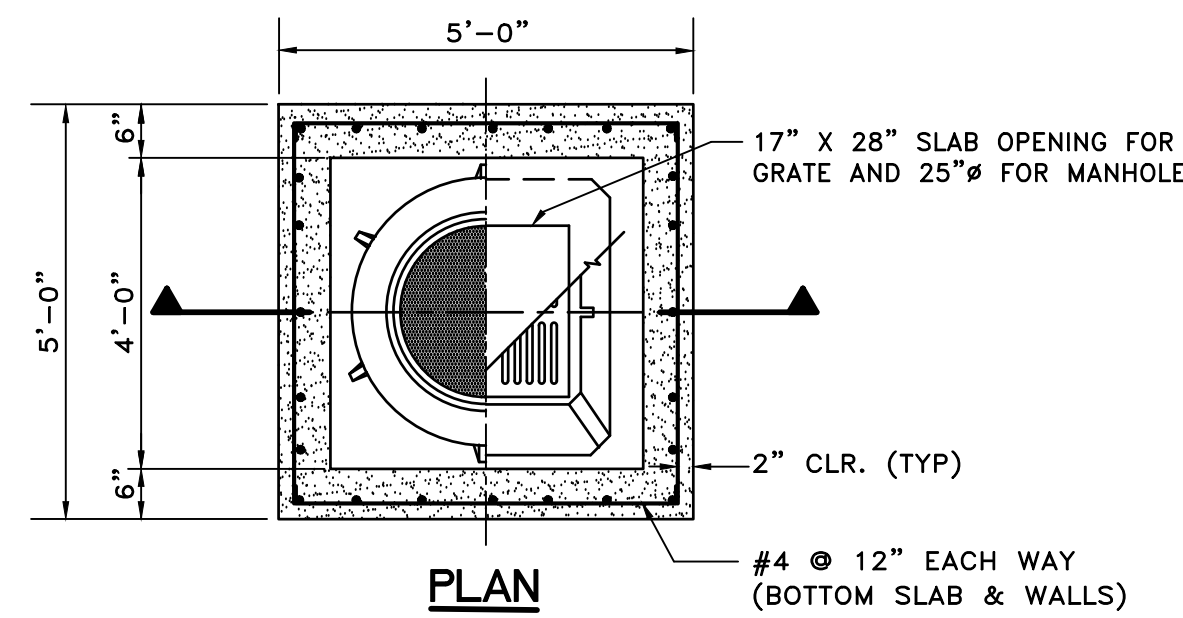
**GULFSTREAM HOTEL**  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

2	03/25/22	CITY COMMENTS
1	03/01/22	CITY COMMENTS
Δ	DATE	REVISION

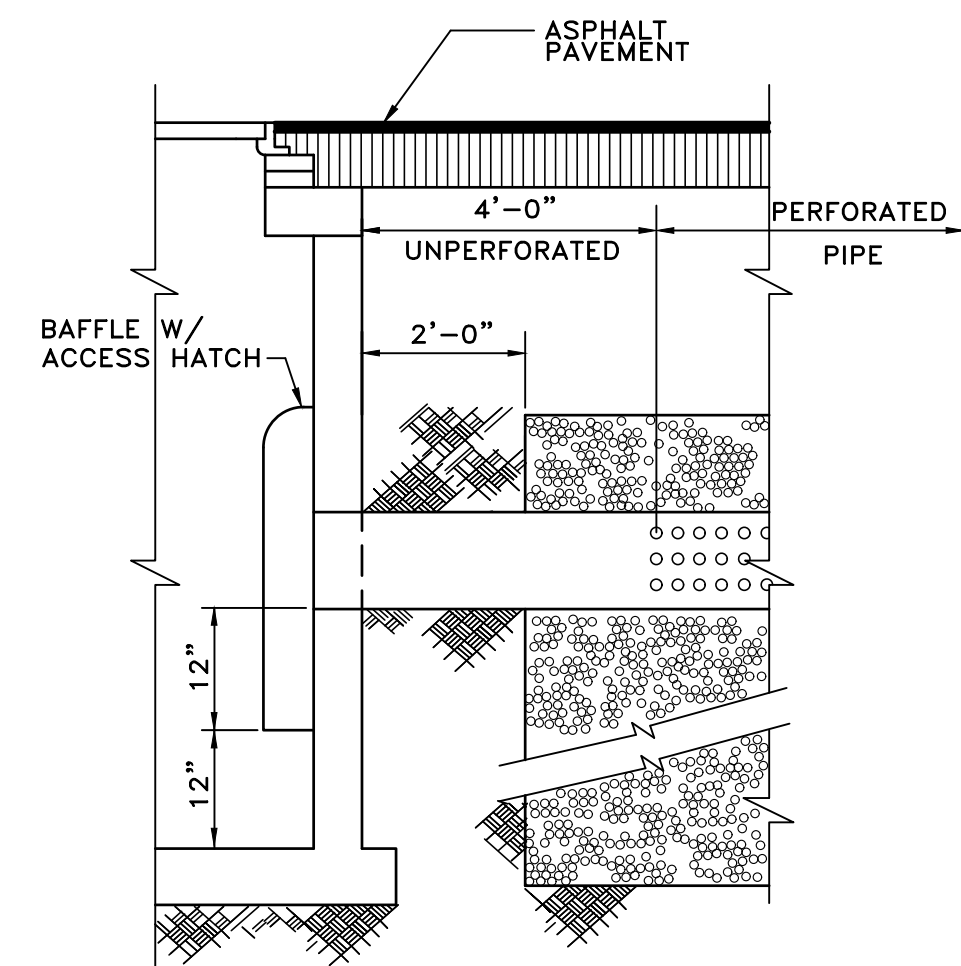
DWG. TITLE  
**SITE DETAILS**  
 SCALE  
 AS SHOWN  
 PROJECT NO.  
 2020-01  
 DATE  
 01-14-2022  
 SHEET NUMBER  
**C-4**

**PAVING-GRADING-DRAINAGE NOTES**

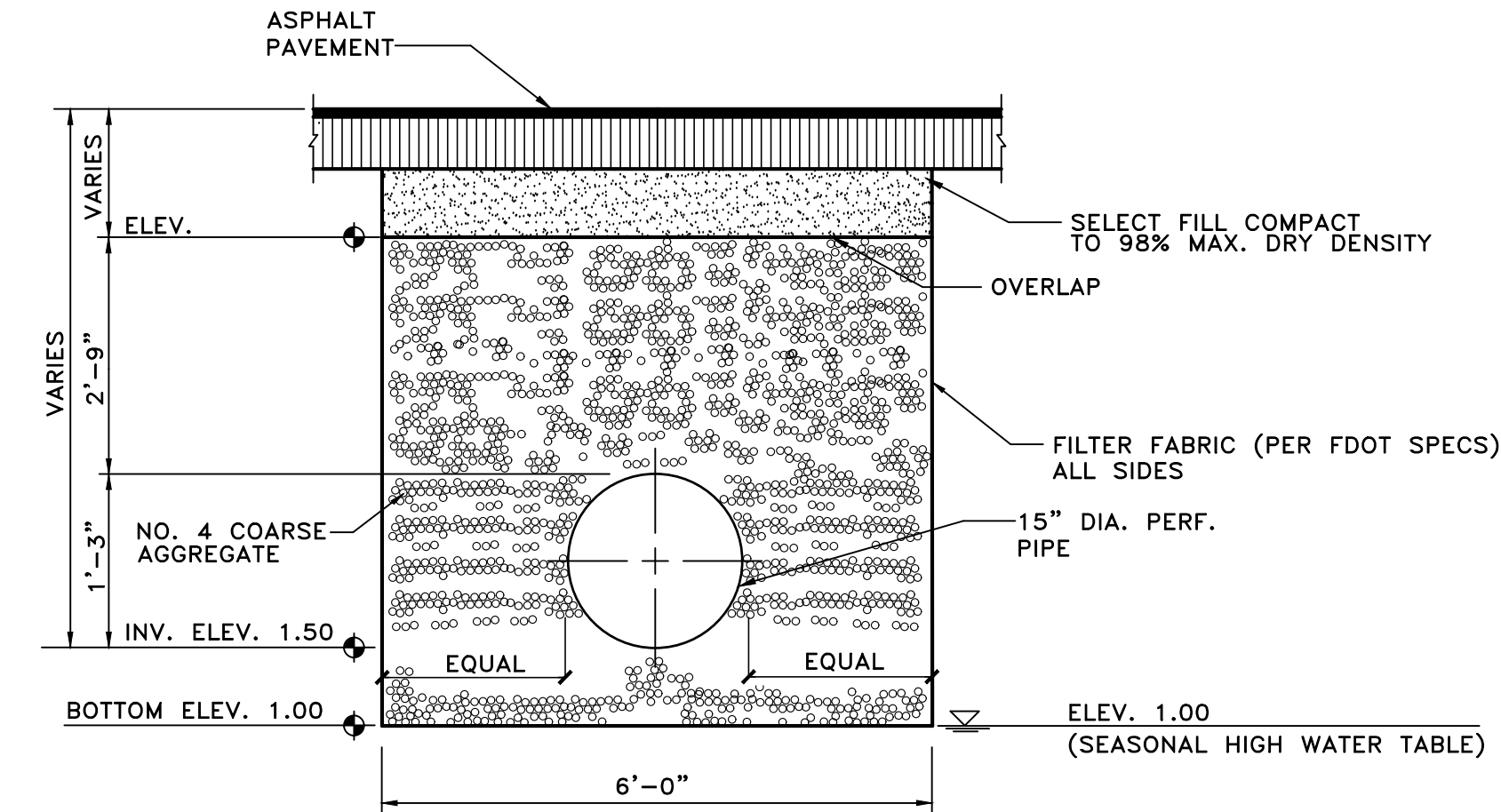
- ELEVATION SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.)
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES, SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF LAKE WORTH STANDARDS.
- TRENCH DRAIN TO BE CONCRETE TROUGH AND GRATES SHALL BE USF GRATE NO. 6505-6141 (14" X 24") OR EQUAL. PROVIDE NUMBER OF GRATE SEGMENTS REQUIRED TO ACCOMMODATE LENGTH OF TRENCH INDICATED.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE HIGH DENSITY CORRUGATED POLYETHYLENE, UNLESS OTHERWISE NOTED.
- ON-SITE ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND TYPE S-3 ASPHALTIC CONCRETE.
- CONCRETE CURB AND SIDEWALK SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A STEEL TROWELLED WITH MEDIUM BROOMED FINISH, UNLESS OTHERWISE DIRECTED.



**CATCH BASIN/MANHOLE DETAIL**  
N.T.S.



**FRENCH DRAIN CONNECTION DETAIL**  
N.T.S.



**FRENCH DRAIN SECTION**  
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

**GRaEF**  
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NELSON H. ORTIZ  
LICENSE  
No 57556  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

4/4/2022  
THIS ITEM HAS BEEN DIGITALLY SIGNED  
AND SEALED BY NELSON H. ORTIZ, P.E.  
ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE  
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AND THE SIGNATURE MUST BE VERIFIED  
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FOR THE FIRM: NELSON H. ORTIZ  
PROJECT NO. 2021-7044 PE-07556 (CIVIL)

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

NO.	DATE	REVISION
2	03/25/22	CITY COMMENTS
1	03/01/22	CITY COMMENTS

DWG. TITLE	DRAINAGE DETAILS
SCALE	AS SHOWN
PROJECT NO.	2020-01
DATE	01-14-2022
SHEET NUMBER	C-5



# STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

## A. GENERAL NOTES

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FDOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDEP'S NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS:  
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
  - IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR 122.26(b)(14) AND STATE WATER QUALITY STANDARDS.
  - SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
  - HAZARDOUS MATERIAL SPILL CONTROL PLAN.
  - STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
  - BRIDGE CONSTRUCTION METHOD AND SEQUENCING (IF APPLICABLE).
  - DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDEP.
- ANY DAMAGED OR INEFFECTIVE BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAG INSTALLATION IS AS MENTIONED IN EROSION CONTROL PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS AS NECESSARY.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP.
- COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION ID4" FDOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

## B. SITE DESCRIPTION

### 1. CONSTRUCTION ACTIVITY:

DRAINAGE AND UTILITY INSTALLATION, BUILDING CONSTRUCTION, LAND DEVELOPMENT.

#### PROJECT LIMITS:

LAKE AVENUE ON THE NORTH; SOUTH LAKE SIDE ON THE WEST; 1st AVENUE SOUTH ON THE SOUTH; AND, SOUTH GOLFVIEW ROAD ON THE EAST.

#### PROJECT DESCRIPTION:

LAND DEVELOPMENT AT THE GULFSTREAM HOTEL PROJECT WILL INCLUDE CONSTRUCTION OF A NEW BUILDING, RENOVATION OF AN EXISTING BUILDING WITH A GARAGE PARKING. THE PROPOSED DRAINAGE SYSTEM WILL BE DRAINAGE WELLS AND EXFILTRATION TRENCHES.

### 2. MAJOR SOIL DISTURBING ACTIVITIES:

CLEARING AND GRUBBING, EXCAVATION FOR STORMWATER FACILITIES, AND OTHER UTILITIES, PLACEMENT OF FILL FOUNDATIONS.

### 3. TOTAL PROJECT AREA: 1.49 ACRES TOTAL AREA TO BE DISTURBED: 1.49 ACRES

### 4. LOCATIONS OF DRAINAGE AREAS AND OUTFALLS:

SEE ATTACHED PLAN.

### 5. THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM. RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE THE INTRACOASTAL WATERWAY AT LATITUDE AND LONGITUDE 26°36'53.32" N/80°02'49.15" W.

### 6. AREA OF DISCHARGE FOR THIS PROJECT IS 1.49 ACRES = 64,904 SF

### 7. SOILS ARE CLASSIFIED AS ST. LUCIE-PAOLA-URBAN LAND COMPLEX AND URBAN LAND. QUALITY OF DISCHARGE IS LIMEROCK FILL AND SAND.

### 8. LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 26°36'55.38" N/80°02'57.47" W AND LATITUDE AND LONGITUDE OF THE INTRACOASTAL WATERWAY IS 26°36'53.32" N/80°02'49.15" W.

## C. CONTROLS

NARRATIVE -- SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.

CONSTRUCTION OF THE GULFSTREAM HOTEL PROJECT AND ASSOCIATED DRAINAGE SYSTEM WILL INCLUDE EXFILTRATION TRENCHES AND DRAINAGE WELLS, TO BE BOUNDED BY LAKE AVENUE ON THE NORTH; SOUTH LAKESIDE DRIVE ON THE WEST; 1st AVENUE SOUTH ON THE SOUTH; AND, SOUTH GOLFVIEW ROAD ON THE EAST.

PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.

TEMPORARY STABILIZATION:  
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOD OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.

PERMANENT STABILIZATION:  
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.

### 1. EROSION AND SEDIMENT CONTROLS:

- (1) STABILIZATION PRACTICES:
- TEMPORARY SODDING
  - TEMPORARY GRASSING
  - PERMANENT SODDING, SEEDING OR SEED & MULCH
  - TEMPORARY MULCHING
  - ARTIFICIAL COVERING
  - BUFFER ZONES
  - PRESERVATION OF NATURAL RESOURCES

OTHER:

- (2) STRUCTURAL PRACTICES:
- SAND BAGGING
  - SILT FENCES
  - ROCK BAGS
  - BERMS
  - DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
  - PIPE SLOPE DRAINS
  - FLUMES
  - ROCK BEDDING AT CONSTRUCTION EXIT
  - TIMBER BEDDING AT CONSTRUCTION EXIT
  - DITCH LINER
  - SEDIMENT TRAPS (DURING DE-WATERING)
  - SEDIMENT BASINS
  - STORM INLET SEDIMENT TRAP
  - STONE OUTLET STRUCTURES
  - CURBS AND CUTTERS
  - STORM SEWERS
  - VELOCITY CONTROL DEVICES
  - TURBIDITY BARRIER
  - RIP RAP

### 2. DESCRIPTION OF STORM WATER MANAGEMENT:

THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF CATCH BASINS, GUTTER DRAINS, AND STORM SEWERS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES AND DRAINAGE WELLS THAT TREAT THE WATER QUALITY AND WATER QUANTITY REQUIREMENTS.

### 3. OTHER CONTROLS

(1) WASTE DISPOSAL:  
IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.

- (2) OFFSITE VEHICLE TRACKING:
- HAUL ROADS DAMPENED FOR DUST CONTROL
  - LOADED HAUL TRUCKS TO BE COVERED WITH TARPAULIN
  - EXCESS DIRT ON ROAD REMOVED DAILY
  - STABILIZED CONSTRUCTION ENTRANCE

OTHER:

(3) SANITARY WASTE:  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

(4) FERTILIZERS AND PESTICIDES:  
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.

(5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING) THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO PALM BEACH COUNTY HEALTH DEPARTMENT. THE CONSTRUCTION OF THE FOUNDATIONS FOR THIS PROJECT MAY REQUIRE DEWATERING. THE DEWATERING SYSTEM WILL BE FILTERED USING A WELL POINT SYSTEM IN ACCORDANCE WITH PERMIT REQUIREMENTS.

REMARKS:  
IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION THE PALM BEACH COUNTY HEALTH DEPARTMENT SHALL BE CONTACTED AT THEIR HOTLINE: (561) 837-5900.

### 4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS: SOUTH FLORIDA WATER MANAGEMENT DISTRICT, CITY OF LAKE WORTH, AND FLORIDA DEPARTMENT OF TRANSPORTATION.

## D. MAINTENANCE

ITEM:  
SILT FENCE

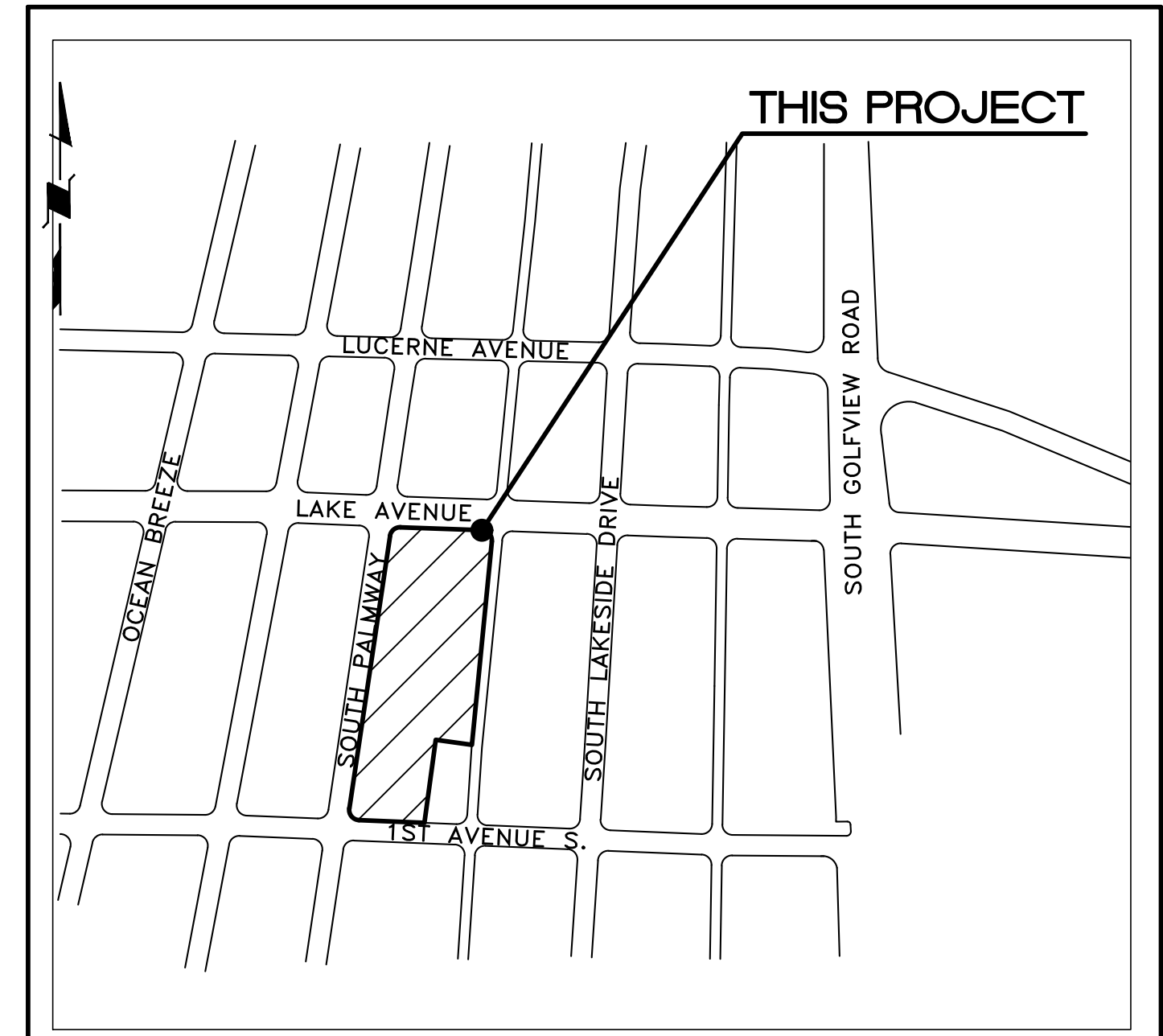
MAINTENANCE:  
ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.  
IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.

CONSTRUCTION ENTRANCE GRAVEL BED

WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, REWORK BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.

## E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS, A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.



SECTION 27 TOWNSHIP 44 SOUTH RANGE 43 EAST

## LOCATION MAP

N.T.S.

## LEGAL DESCRIPTION

PARCEL 1  
LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

LOTS 7 AND 8, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

LOTS 1 THROUGH 6, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

AND

PARCEL 2  
THAT CERTAIN 10 FOOT WIDE STRIP OF LAND LYING WEST OF AND ADJACENT TO THE FOLLOWING DESCRIBED PARCEL:

LOTS 9, 10, 11 AND THE NORTHERLY 24.50 FEET OF LOT 12, BLOCK 33, "THE PALM BEACH FARMS CO. PLAT NO.2, LUCERNE TOWNSITE", ACCORDING TO THE PLAT HEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 29 THROUGH 40, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID LAND LYING IN THE LUCERNE TOWNSITE, PALM BEACH COUNTY, FLORIDA.

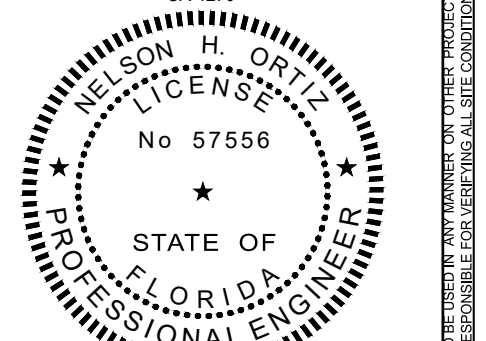
BEILINSON  
GOMEZ

ARCHITECTS

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GräEF

3400 SOUTH DADELAND BLVD. SUITE 801  
MIAMI, FLORIDA 33156 305 / 378 5555



4/4/2022  
THIS ITEM HAS BEEN DIGITALLY SIGNED  
AND SEALED BY NELSON H. ORTIZ, P.E.  
ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE  
NOT CONSIDERED SIGNED AND SEALED  
AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ  
PROJECT NO.: 2021-7044 PE-57556 (CIVIL)

PRELIMINARY - NOT FOR CONSTRUCTION

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

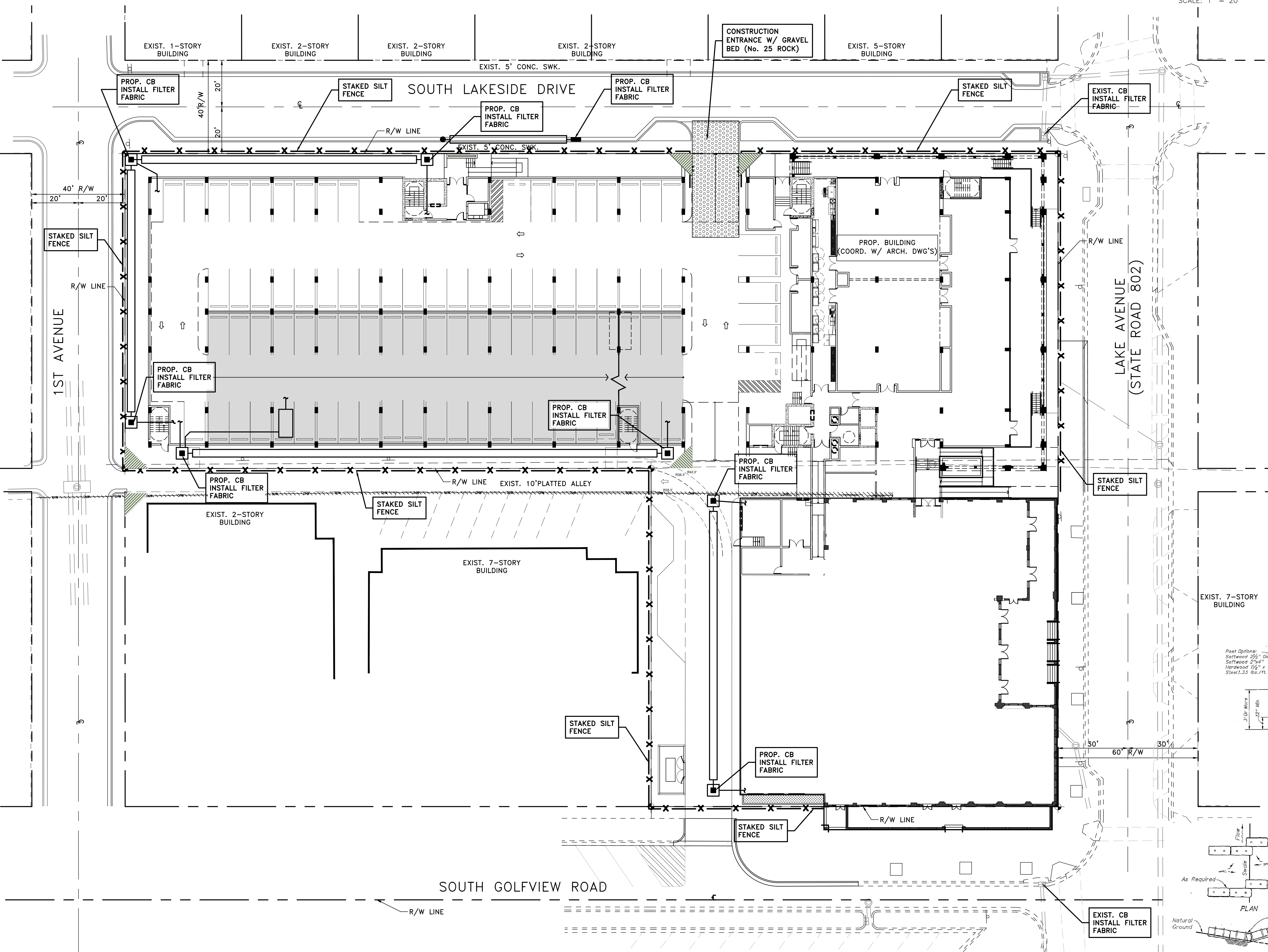
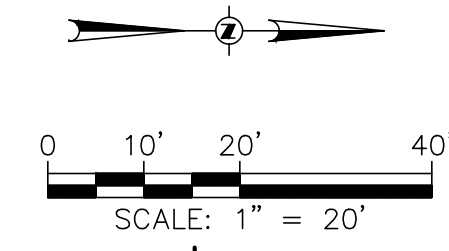
2	03/25/22	CITY COMMENTS
1	03/01/22	CITY COMMENTS
Δ	DATE	REVISION

DWG. TITLE  
STORMWATER  
POLLUTION  
PREVENTION NOTES  
SCALE  
AS SHOWN  
PROJECT NO.  
2020-01  
DATE  
01-14-2022  
SHEET NUMBER  
SWPPP-1

PRELIMINARY - NOT FOR CONSTRUCTION

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

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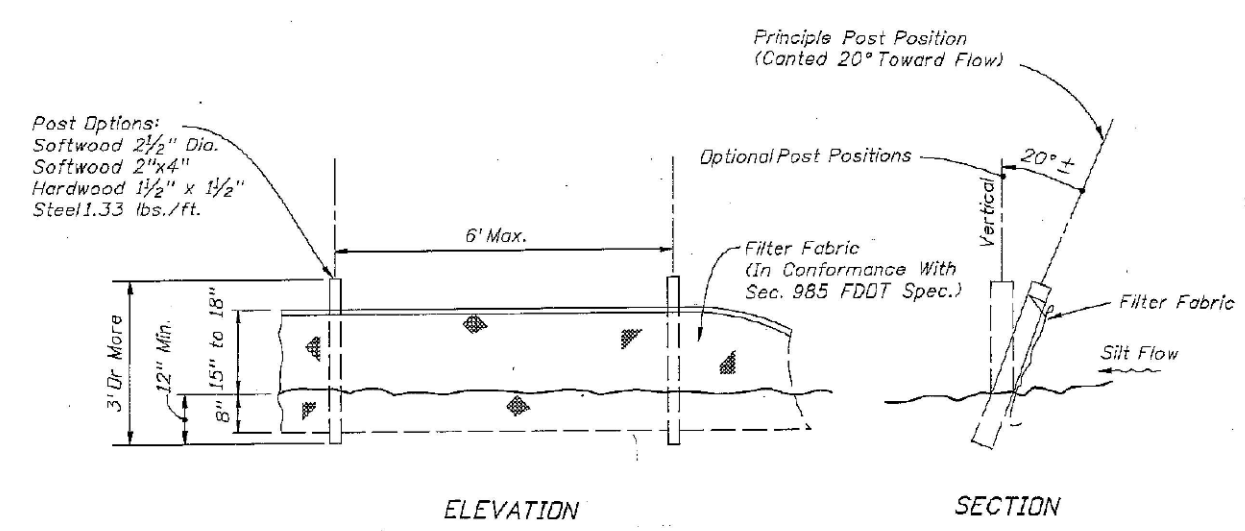


**LEGEND**

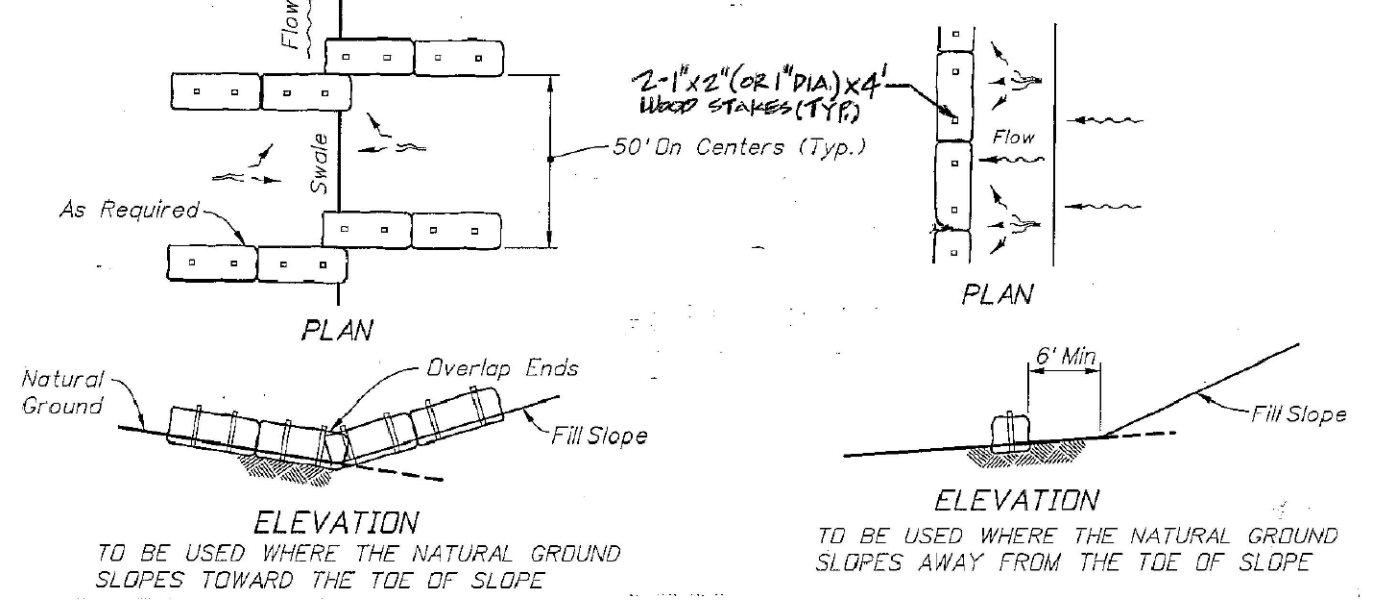
- GRAVEL BED (No. 25 ROCK)
- STAKED SILT FENCE

**NOTES:**

1. INSTALLATION OF STAKED SILT FENCE SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102.
2. INSTALLATION OF HAY BALES SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102.
3. PLACEMENT OF ROCK BAGS (IF USED) SHALL BE IN ACCORDANCE WITH FDOT INDEX No. 102.



**TYPE III SILT FENCE DETAIL**  
(FDOT INDEX 102) N.T.S.



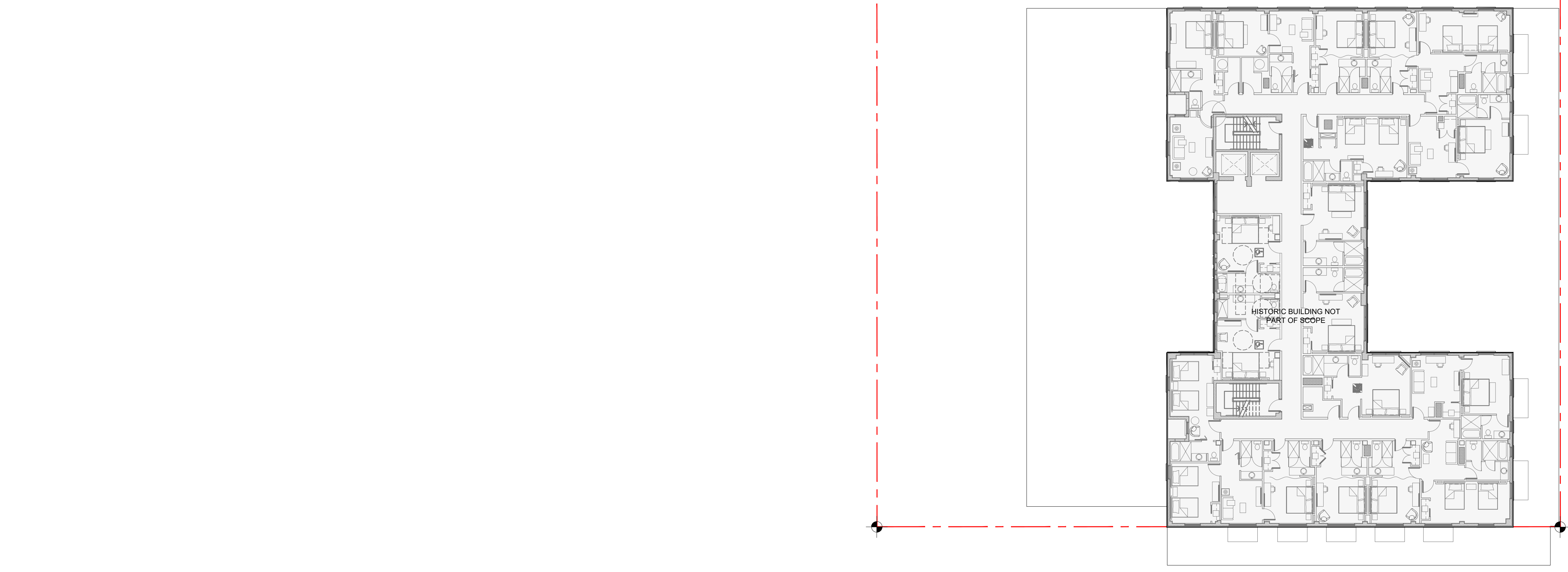
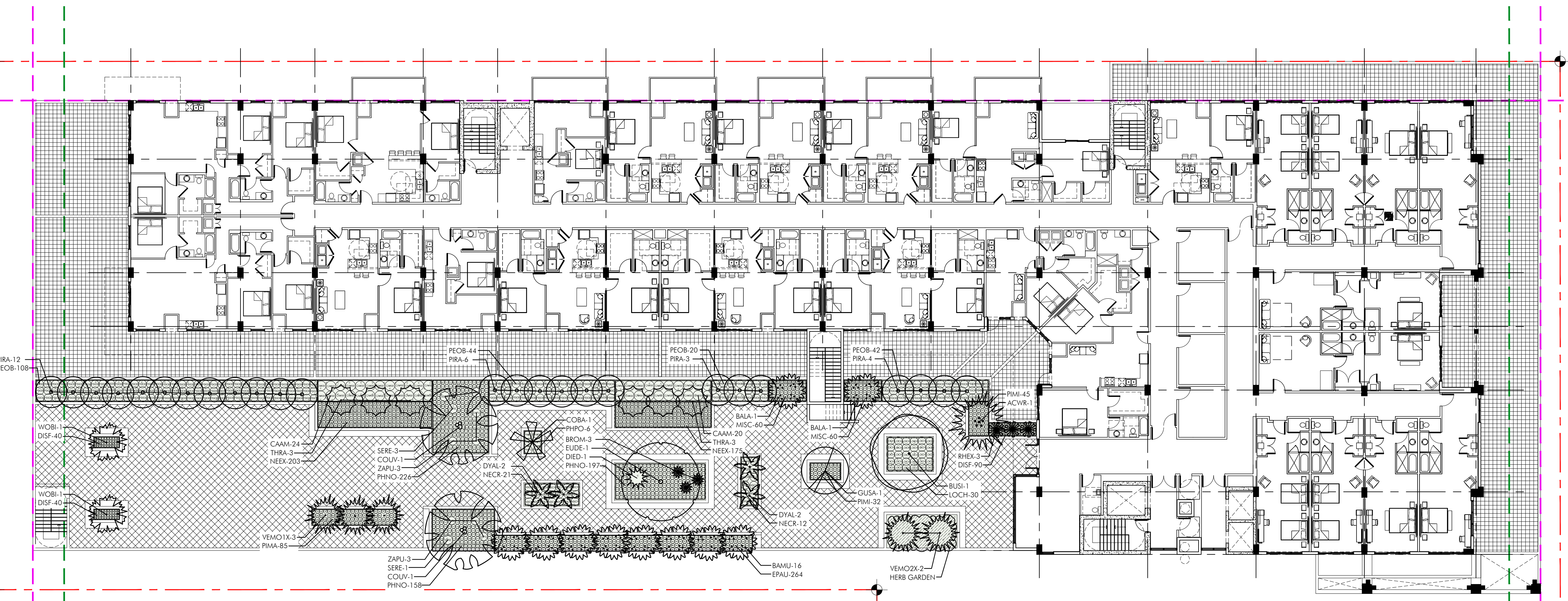
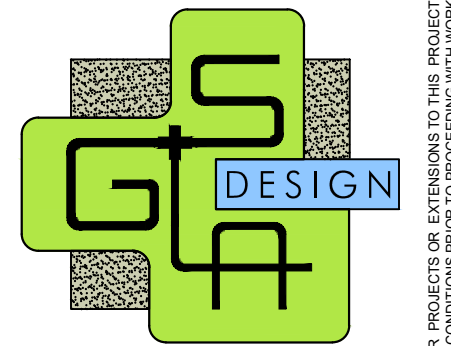
**HAY BALES FOR FILL SLOPES**  
(FDOT INDEX 102) N.T.S.

DATE	REVISION
2 03/25/22	CITY COMMENTS
1 03/01/22	CITY COMMENTS

DWG. TITLE	STORMWATER POLLUTION PREVENTION PLAN
SCALE	AS SHOWN
PROJECT NO.	2020-01
DATE	01-14-2022
SHEET NUMBER	SWPPP-2



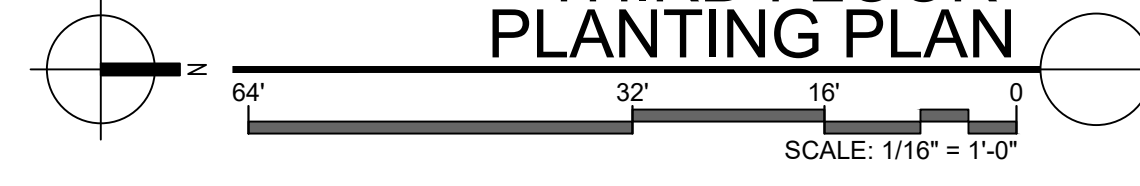




THIRD FLOOR PLANT LIST

KEY	PLANT NAME	QTY.	UT.	SIZE
<b>TREES</b>				
BUSI*	Bursera simaruba ..Gumbo Limbo	1	ea.	16' tall x 6' spread, 4" DBH
COUV*	Coccoloba uvifera ..Seagrape	2	ea.	16' tall x 6' spread, 4" DBH
EUDE	Eucalyptus deglupta ..Rainbow Eucalyptus	1	ea.	18' tall x 7' spread, 4" DBH
GUSA*	Guaiacum sanctum ..Lignum Vitae	1	ea.	12' tall x 5' spread, multi-trunked (3-4 max)
PIRA*	Pimenta racemosa "Lemon" ..Lemon Bay Rum	25	ea.	8' tall x 5' spread, full to ground
<b>PALMS</b>				
KEY	PLANT NAME	QTY.	UT.	SIZE
ACWR*	Acosoerthaphe wrightii ..Parrotis Palm	1	ea.	12' tall overall
COBA	Copernicia baileyana ..Bailey's Copernicia Palm	1	ea.	5' tall overall
DYAL*	Dichosperma album ..Hurricane Palm	4	ea.	12' tall overall
RHEX	Rhapis Excelsa ..Lady Palm	3	ea.	14'-15' tall overall, multi
THRA*	Thrinax radiata ..Florida Thatch Palm	6	ea.	7' tall overall, matched
VEMO	Veitchia montgomeryana ..Montgomery Palm	5	ea.	16'-18' tall overall, (2) double trunked, (3) single trunked, all heads same height
WOBI	Wodyetia bifurcata ..Foxtail Palm	2	ea.	18' tall overall, matched
<b>BAMBOO</b>				
KEY	PLANT NAME	QTY.	UT.	SIZE
BALA	Bambusa lako ..Tropical Black Bamboo	2	ea.	18' tall overall, 6-7 culms per clump
BAMU	Bambusa multiplex ..Chinese Dwarf Bamboo	16	ea.	8-10' tall overall, multi
<b>SHRUBS</b>				
KEY	PLANT NAME	QTY.	UT.	SIZE
BROM	Portea petropolitana ..Bromeliad Portea Jungle	3	ea.	18" x 18"
CAAM*	Callicarpa americana ..American Beautyberry	44	ea.	36" x 36"
DIED	Dioon edule ..Mexican Sago	1	ea.	5' tall x 3' spread, full to ground
LOCH	Loropetalum chinense rubrum "Ruby" ..Ruby Loropetalum	30	ea.	24" x 24"
NECR	Neomarica caerulea "Regina" ..Blue Walking Iris	33	ea.	24" x 24"
PHPO	Philodendron x "Prince of Orange" ..Philodendron Prince of Orange	6	ea.	24" x 24"
SERE*	Serenoo repens ..Silver Saw Palmetto	4	ea.	24" x 18", Full heads.
ZAPU*	Zamia pumila ..Coontie	6	ea.	24" x 18"
<b>GROUNDCOVERS</b>				
KEY	PLANT NAME	QTY.	UT.	SIZE
DISF	Dichondra argentea "Silver Falls" ..Dichondra	170	ea.	6" pots
EPAU	Epipremnum aureum ..Golden Pothos	264	ea.	4" pots
MISC	Microsorium scolopendria ..Monarch Fern	120	ea.	12" x 12"
NEEX*	Nephrolepis exaltata ..Boston Fern	378	ea.	12" x 12"
PEOB*	Peperomia elatusifolia ..Baby Rubberplant	214	ea.	24" x 24"
PHNO*	Phyla nodiflora ..Frog Fruit	581	ea.	12" x 12"
PIMI	Pilea microphylla ..Artillery Plant	163	ea.	12" x 12"
<b>MISCELLANEOUS</b>				
	Planting Soil	as req.	c.y.	
	70% Silica Sand			
	20% Everglades Muck			
	10% Shredded Pinebark			
	Shredded Melaleuca Mulch	as req.	c.y.	3" layer in all shrub beds

\* Denotes native plant species.



THIRD FLOOR  
PLANTING PLAN

GULFSTREAM HOTEL  
11 LAKE AVENUE  
LAKE WORTH, FL 334610

DATE	REVISION

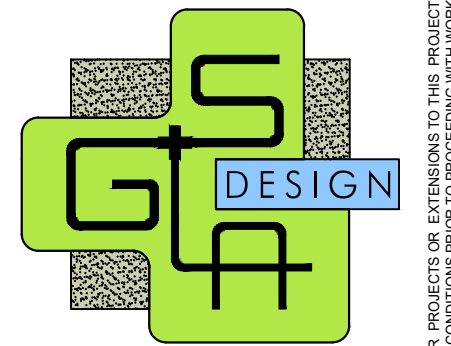
DWG. TITLE  
**THIRD FLOOR PLANTING PLAN**

SCALE  
1/16"=1'-0"

PROJECT NO.  
2020-01

DATE  
03-28-2022

SHEET NUMBER  
**LA-102**



DATE	REVISION

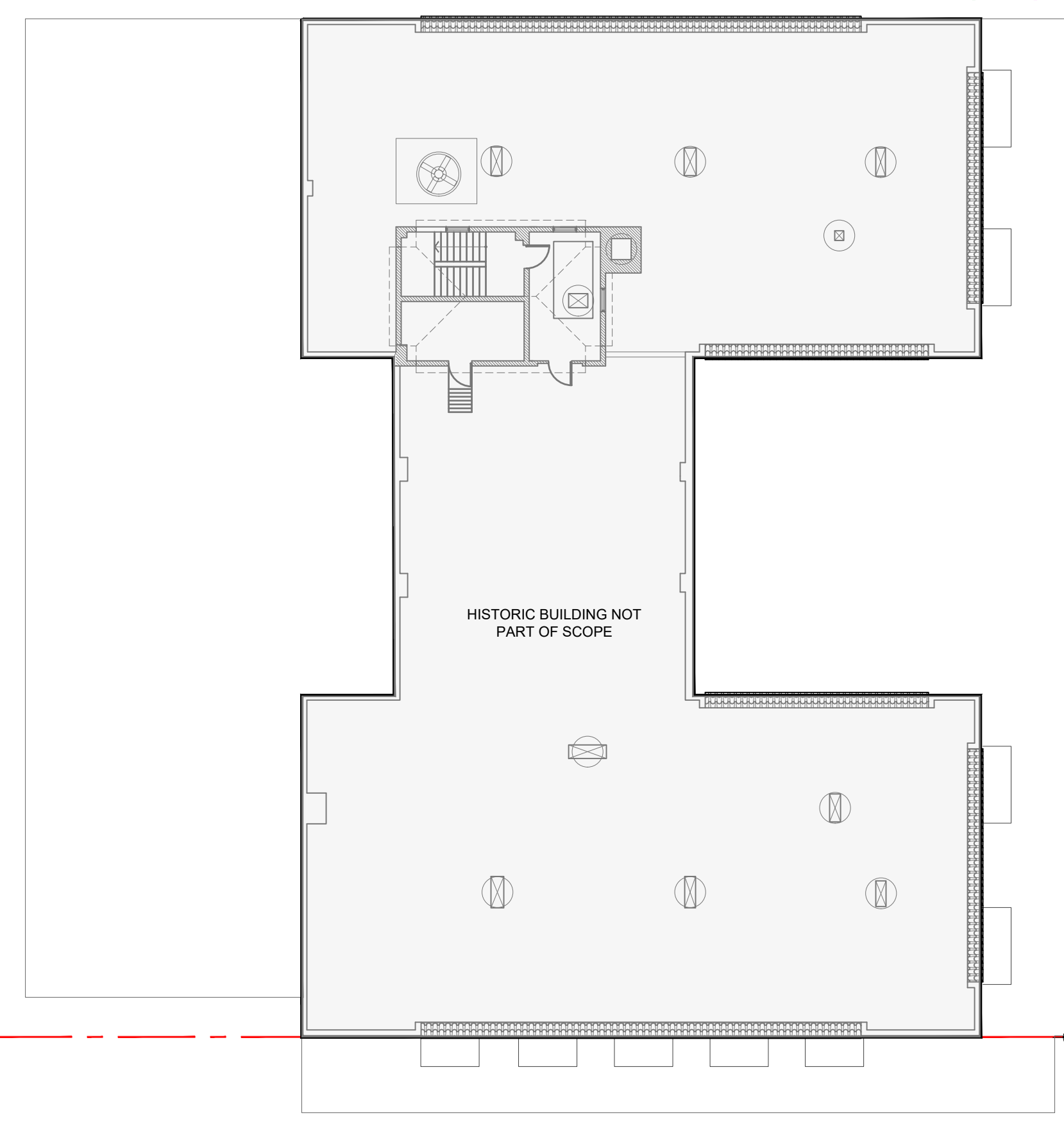
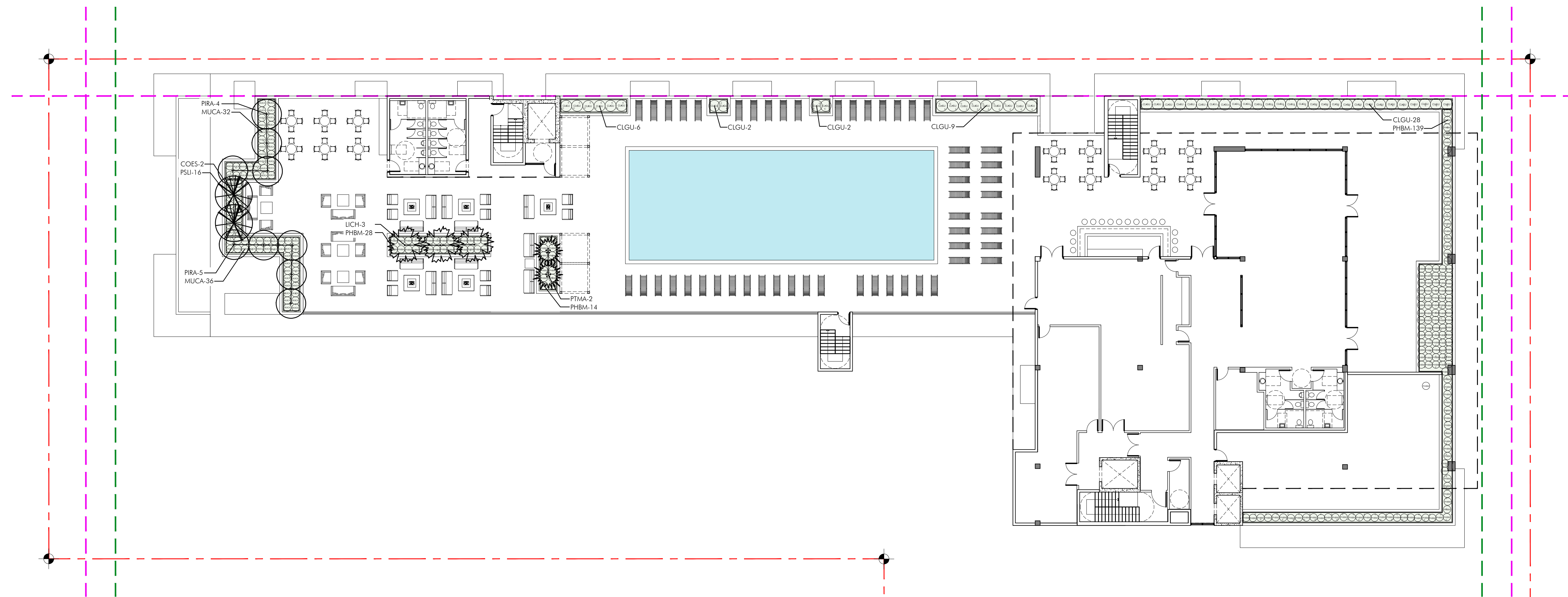
DWG. TITLE  
**ROOFDECK PLANTING PLAN**

SCALE  
1/16" = 1'-0"

PROJECT NO.  
2020-01

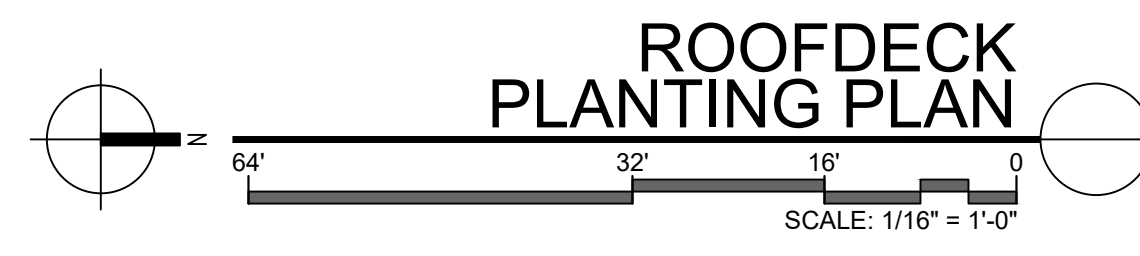
DATE  
03-28-2022

SHEET NUMBER  
**LA-103**



ROOFDECK PLANT LIST			
TREES			
KEY	PLANT NAME	QTY.	UT. SIZE
COES*	Conocarpus erectus 'Sericeus' ..Silver Buttonwood	2	ea. 8' tall x 5' spread, 3-4 trunks (totaling 2" DBH), lifted to tree
PIRA*	Pimenta racemosa 'Lemon' ..Lemon Bay Rum Tree	9	ea. 12' tall x 5' spread, 2" DBH
PALMS			
KEY	PLANT NAME	QTY.	UT. SIZE
LICH	Livistona chinensis ..Chinese Fan Palm	3	ea. 18' tall overall
PTMA	Ptychosperma macarthuri ..Macarthur Palm	2	ea. 14' tall overall, multi
SHRUBS			
KEY	PLANT NAME	QTY.	UT. SIZE
CLGU*	Clusia guttata ..Dwarf Pitch Apple	47	ea. 36" x 24"
MUCA*	Muhlenbergia capillaris ..Muhly Grass	68	ea. 18" x 18"
PHBM	Philodendron var. 'Burla man' ..Burla Man Philodendron	181	ea. 18" x 18"
PSLI*	Psychotria ligustrifolia ..Dwarf Coffee	16	ea. 24" x 24"
MISCELLANEOUS			
	Planting Soil 70% Silica Sand 20% Everglades Muck 10% Shredded Pinebark	as req.	c.y.
	Shredded Melaleuca Mulch	as req.	c.y. 3" layer in all shrub beds

\* Denotes native plant species.



**ROOFDECK PLANTING PLAN**

LANDSCAPE SPECIFICATIONS PART 1 - GENERAL

- 1.1 SCOPE
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications.
1.2 CONTRACTOR QUALIFICATIONS
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor.

- 1.3 INVESTIGATION OF UTILITIES
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities.
1.4 SUBSTITUTIONS
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

- 1.5 PLANT SIZES
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list.
1.6 PLANT QUALITY
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture.

- 1.7 PLANT QUANTITY
A. The plant quantities shown on the plant list are to be used only as an aid to bidders.
B. Water in plants by thoroughly soaking of the entire root ball immediately after planting.

- 1.8 SUCCESSFUL BIDDER
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials.

- 1.9 SUBMITTALS
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

- 1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.
B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

- 1.11 MAINTENANCE PRIOR TO ACCEPTANCE
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

- 1.12 ACCEPTANCE OF INSTALLATION
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect of the conclusion of the maintenance period.

- 1.13 GUARANTEE
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance.

- 1.14 REPLACEMENT
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification.

- 1.15 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

- 1.16 PROTECTION OF PLANTS
1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work.

PART 3 - INSTALLATION PROCEDURES

- 3.1 LAYOUT
A. Verify location of all underground utilities and obstructions prior to excavation.
3.2 HERBICIDE TREATMENT
A. In all areas infested with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates.

- 3.3 PLANT FIT EXCAVATION AND BACKFILLING
A. Trees: See the Planting and Bracing Details and notes.
B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

- 3.4 WATERING
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete.

- 3.5 FERTILIZING
A. Spread mulch over top of the surface of shrub beds and tree and palms root balls two (2) months after installation.

- 3.6 MULCHING
A. Spread mulch three (3) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans.

- 3.7 GUYING AND BRACING
A. See the details below herewith or made part of the plans.

- 3.8 SODDING
A. Provide a blanket of lawn sod as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface.

- 3.9 ROOT BARRIER INSTALLATION
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect of the conclusion of the maintenance period.

- 3.10 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.

- 3.11 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant Lists".

- 3.12 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
Condition A: If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated.

- 3.13 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
Condition B: Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches and otherwise as detailed.

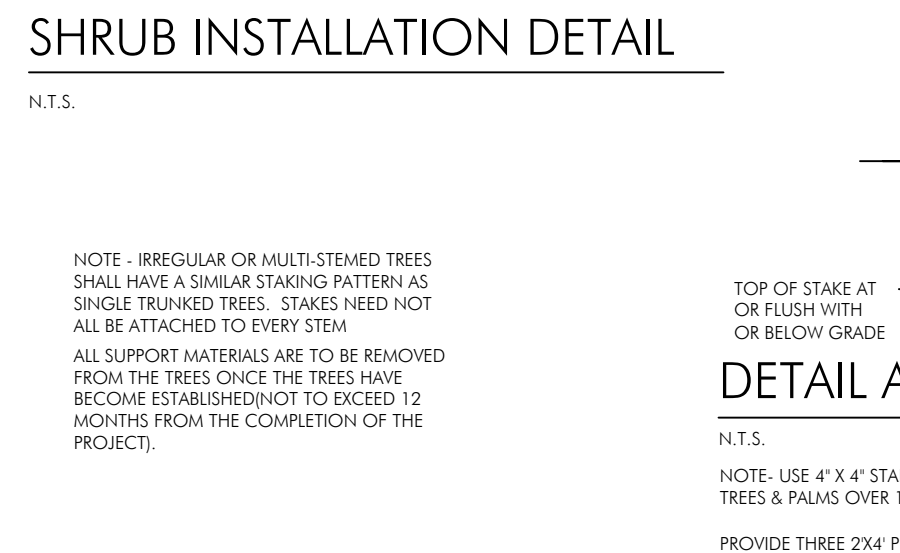
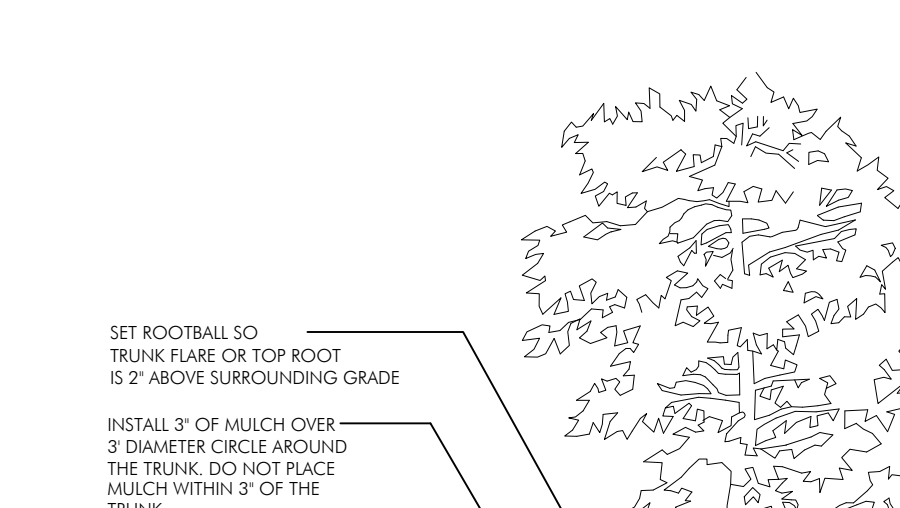
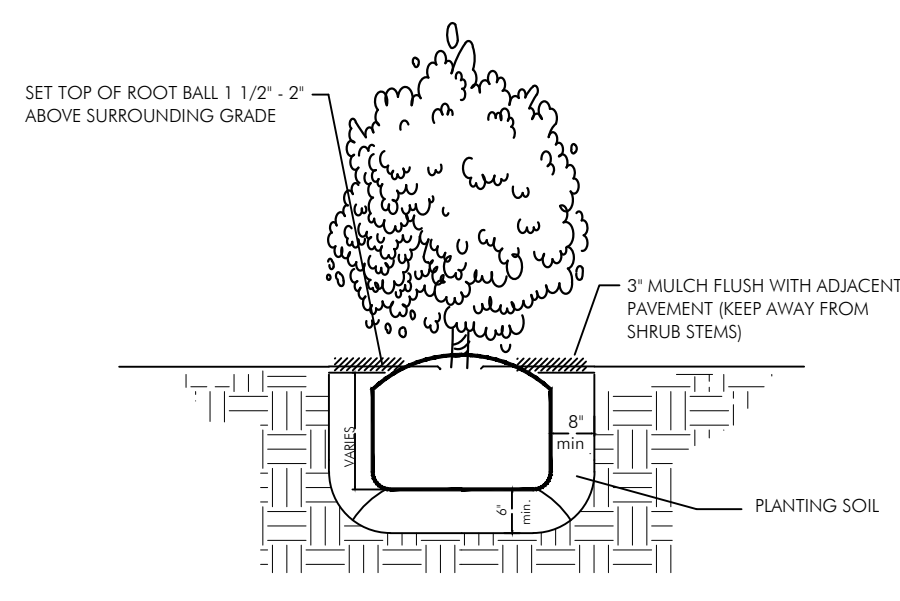
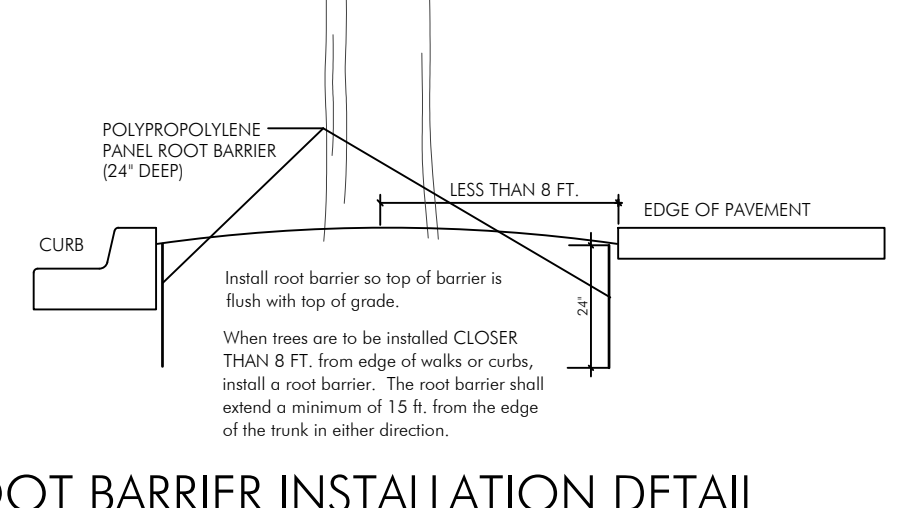
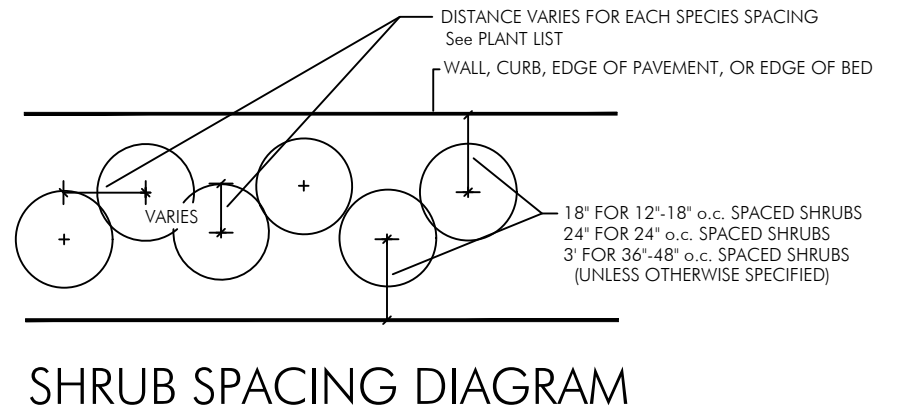
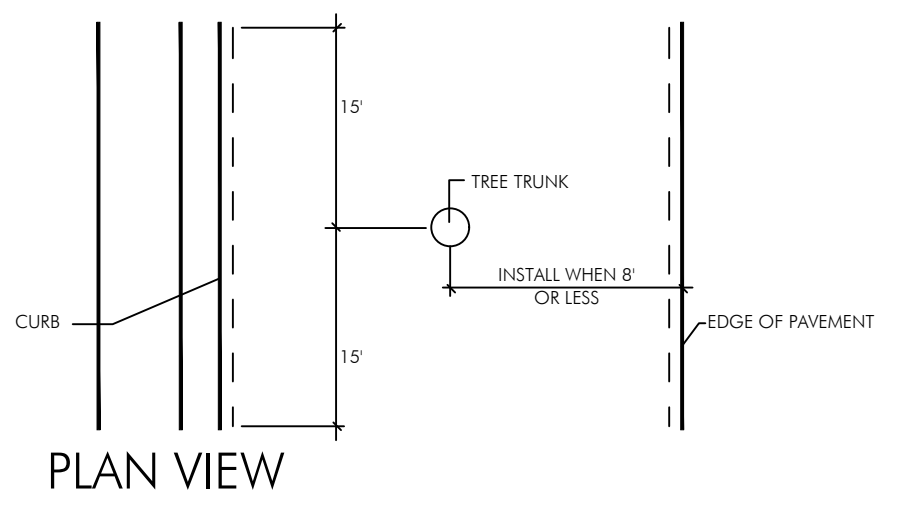
- 3.14 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
Condition C: For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before sodding.

- 3.15 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
Condition D: For trees and shrubs larger than 7 gallon, Add Dinehard® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal.

- 3.16 PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER
Condition E: For trees and shrubs larger than 7 gallon, Add Dinehard® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal.

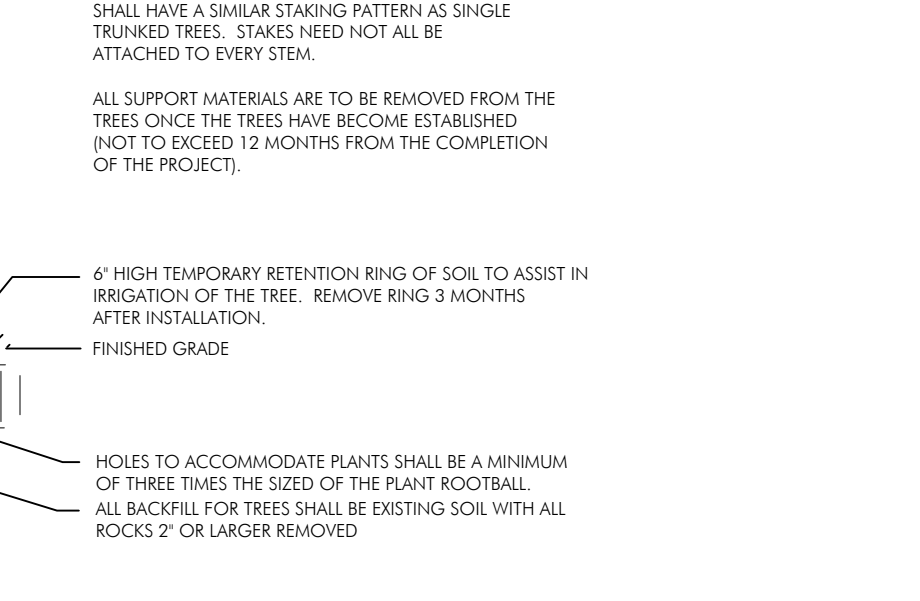
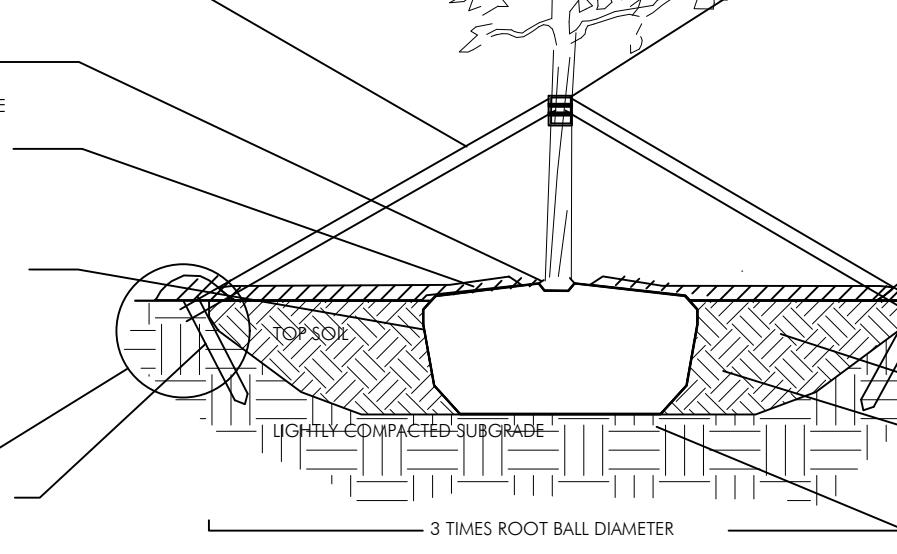
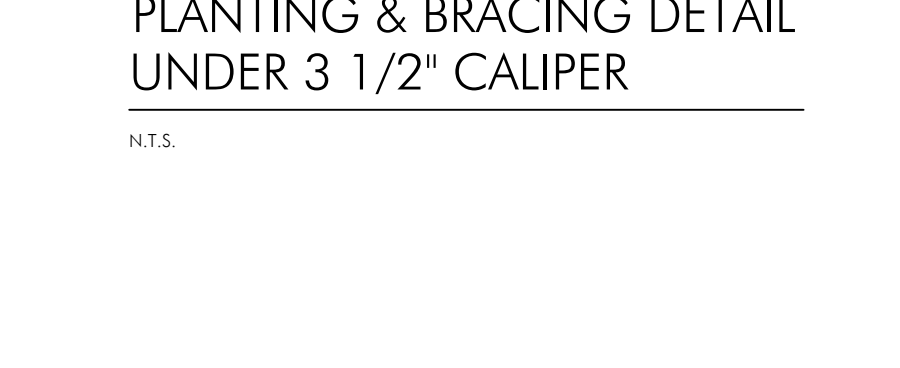
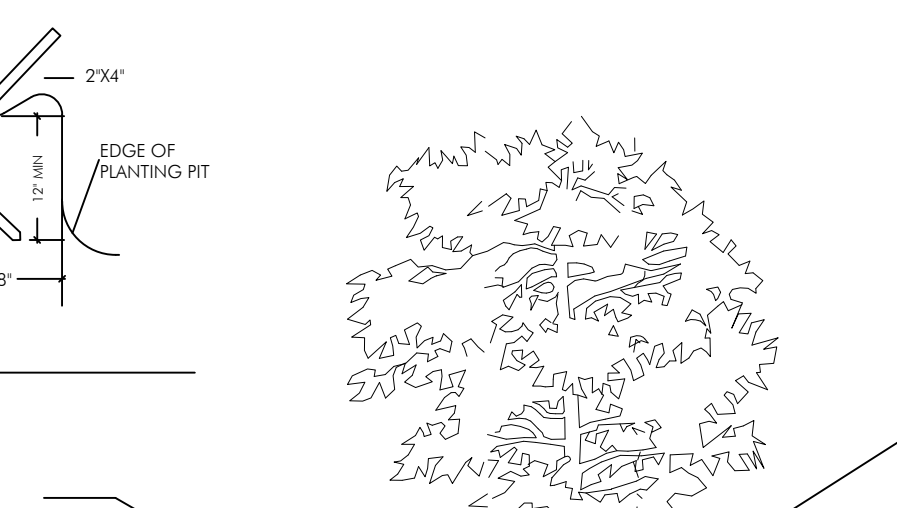
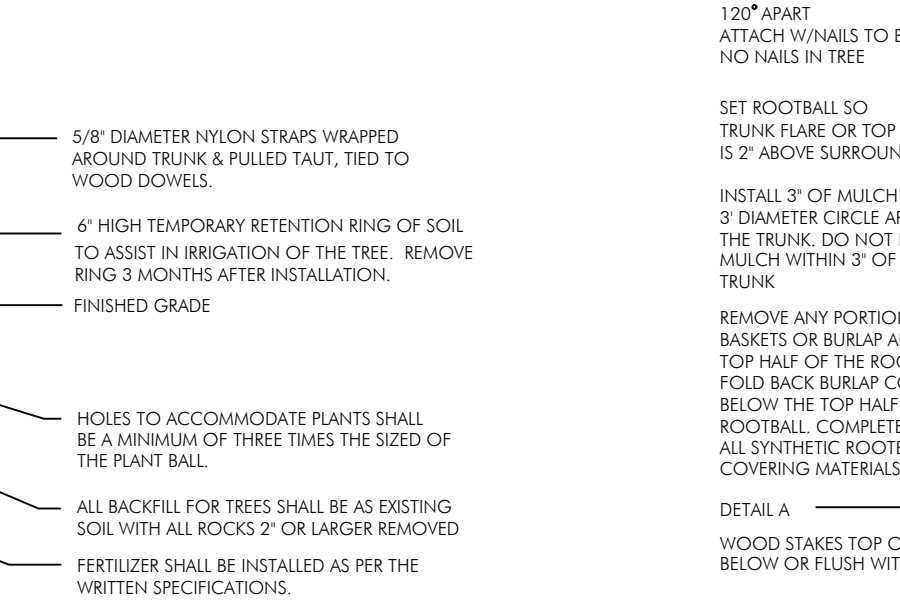
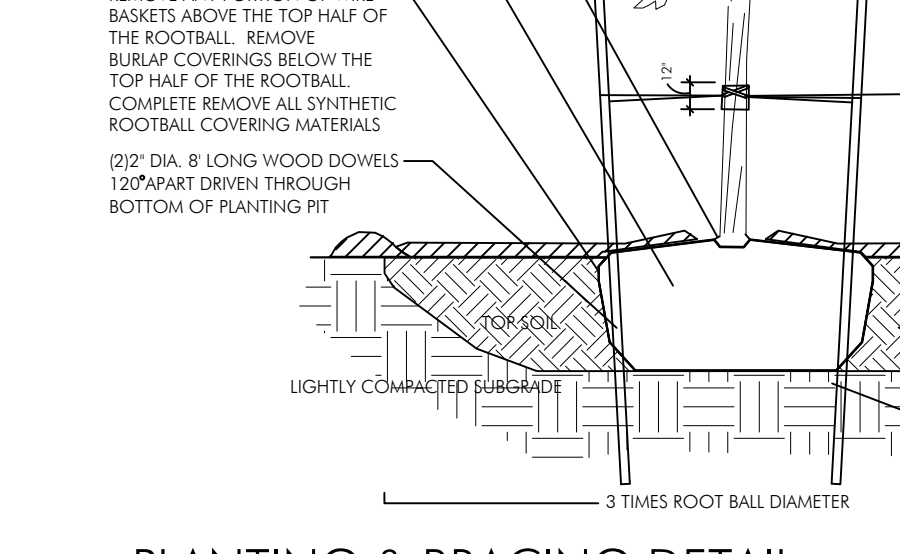
LANDSCAPE LEGEND table with columns: ZONING: DT, LOT SIZE: 79,304 s.f., CODE SECTION, DESCRIPTION, REQUIRED, PROVIDED

EXISTING TREE DISPOSITION LIST table with columns: KEY, BOTANICAL NAME, COMMON NAME, HT. (ft.), SIZE, DISPOSITION, QUALITY %, MITIGATION DBH (in.), TREE, PALM, NOTES



TOTAL DBH INCHES TREES TO BE REMOVED (over 50% condition) 208
TOTAL DBH INCHES MITIGATION TREES PROVIDED 72
TOTAL TREES TO BE REMOVED (under 50% condition) 7
TOTAL TREES PROVIDED 7
TOTAL PALMS TO BE REMOVED 23
TOTAL PALMS PROVIDED 23

Note: There is a mitigation shortfall of 136" DBH. There isn't sufficient room on site to plant these trees therefore a donation to the City of Lake Worth's Tree Canopy Restoration Fund must be made in the amount of \$54,400.



PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER table with columns: DATE, REVISION, DWG. TITLE, LANDSC. SPECS, PLTG. DETAILS, EXIST. TREE DISP. LIST & LANDSCAPE LEGEND, SCALE, PROJECT NO., DATE, SHEET NUMBER

BE LLINSON GOMEZ ARCHITECTS P.A. ARCHITECTURE AAC01062 JOSE L. GOMEZ 480015418 8101 BISCAYNE BLVD. SUITE 309 MIAMI FL 33138-4664 TEL (305) 559-1250 FAX (305) 551-1740

G S DESIGN

GARDNER + SEMLER LANDSCAPE ARCHITECTURE WWW.GSDESIGN.COM 13630 HWY 78A AVE., SUITE 214 MIAMI, FL 33015 P 305.392.1016 F 305.392.1019 C O R P . 1 0 \* 0 0 0 2 6 6

GULFSTREAM HOTEL 11 LAKE AVENUE LAKE WORTH, FL 334610

DATE REVISION DWG. TITLE LANDSC. SPECS, PLTG. DETAILS, EXIST. TREE DISP. LIST & LANDSCAPE LEGEND SCALE 1/16"=1'-0" PROJECT NO. DATE 2020-01 SHEET NUMBER 03-28-2022 LA-104

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #1 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of NE Corner of Building (3/12/2020)



Photo #2 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of SE Corner of Building (3/12/2020)



The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #3 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of entrance N Elevation (3/12/2020)



Photo #4 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of NW corner (3/12/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #5 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of W Elevation (3/12/2020)

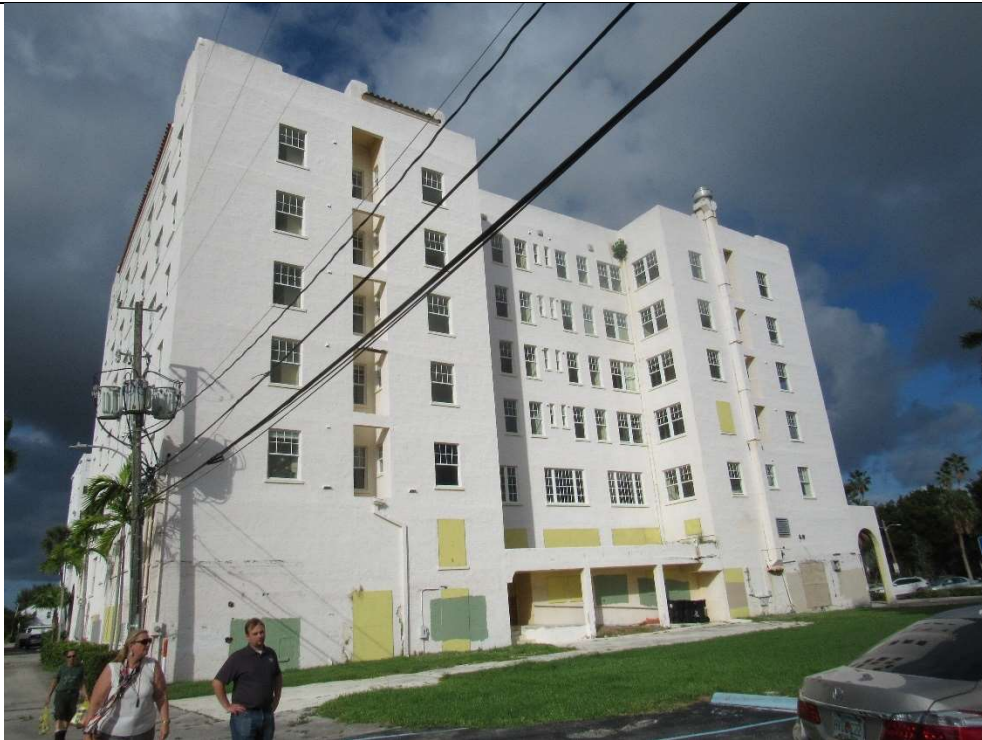


Photo #6 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of SW corner (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #7 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of S Elevation (11/7/2019)



Photo #8 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Additional view of S Elevation (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #9 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of entrance on E elevation (3/12/2020)



Photo #10 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
View of arched stucco on S/E corner (3/12/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #11 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Interior of colonnade E elevation (3/12/2020)



Photo #12 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Interior of colonnade N elevation (3/12/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #13 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of exterior window N elevation (3/12/2020)



Photo #14 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close up of exterior window sill N elevation (3/12/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #15 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Windows and terracotta roofing N elevation (3/20/2020)



Photo #16 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Lobby area facing SE (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #17 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Lobby area facing NE (11/7/2019)



Photo #18 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Lobby area looking up to mezzanine (11/7/2019)



The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #19 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of column in lobby (7/10/2020)



Photo #20 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
West side of lobby facing S (5/12/2017)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #21 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Existing elevators in lobby (11/7/2019)



Photo #22 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Lobby entrance to front room (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #23 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of flooring front room entryway (5/12/2017)



Photo #24 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Front room facing NE (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #25 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Front room facing SW (7/10/2020)



Photo #26 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
East wing facing N (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #27 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
East wing facing W (11/7/2019)



Photo #28 Gulfstream hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
East wing facing N (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #29 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
E wing facing SW (11/7/2019)



Photo #30 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
East wing facing N elevation doors (boarded from exterior) (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #31 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
East wing facing S (11/7/2019)



Photo #32 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of original exit doors in east wing (boarded from exterior) (11/7/2019)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #33 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of tile flooring in lobby (7/10/2020)

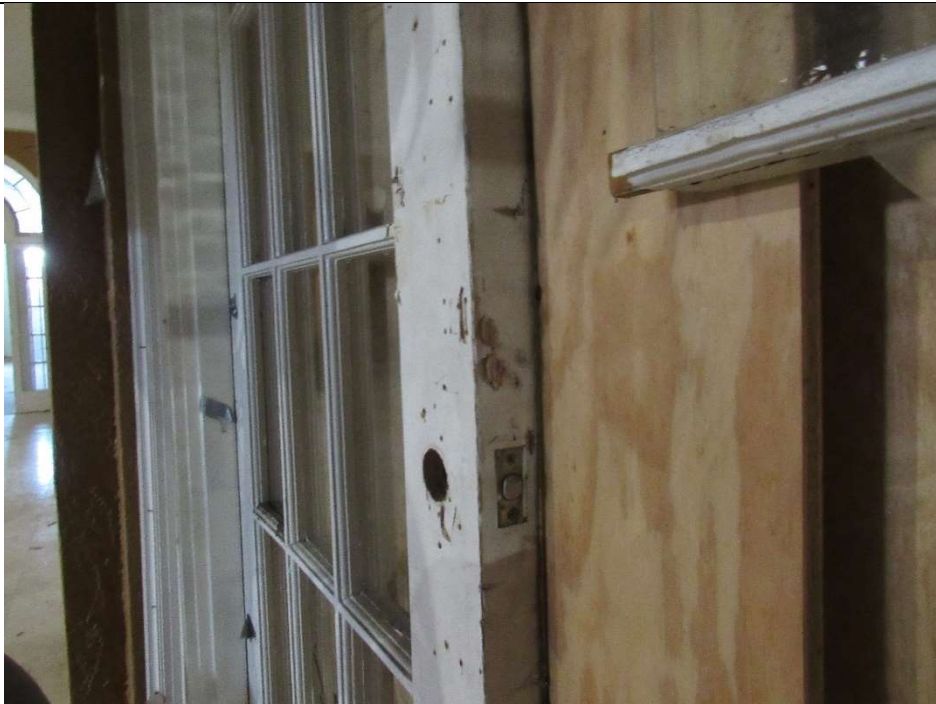


Photo #34 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of door profile (original entrance door boarded from exterior) (7/10/2020)



The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #35 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Lobby stairs to mezzanine level (7/10/2020)

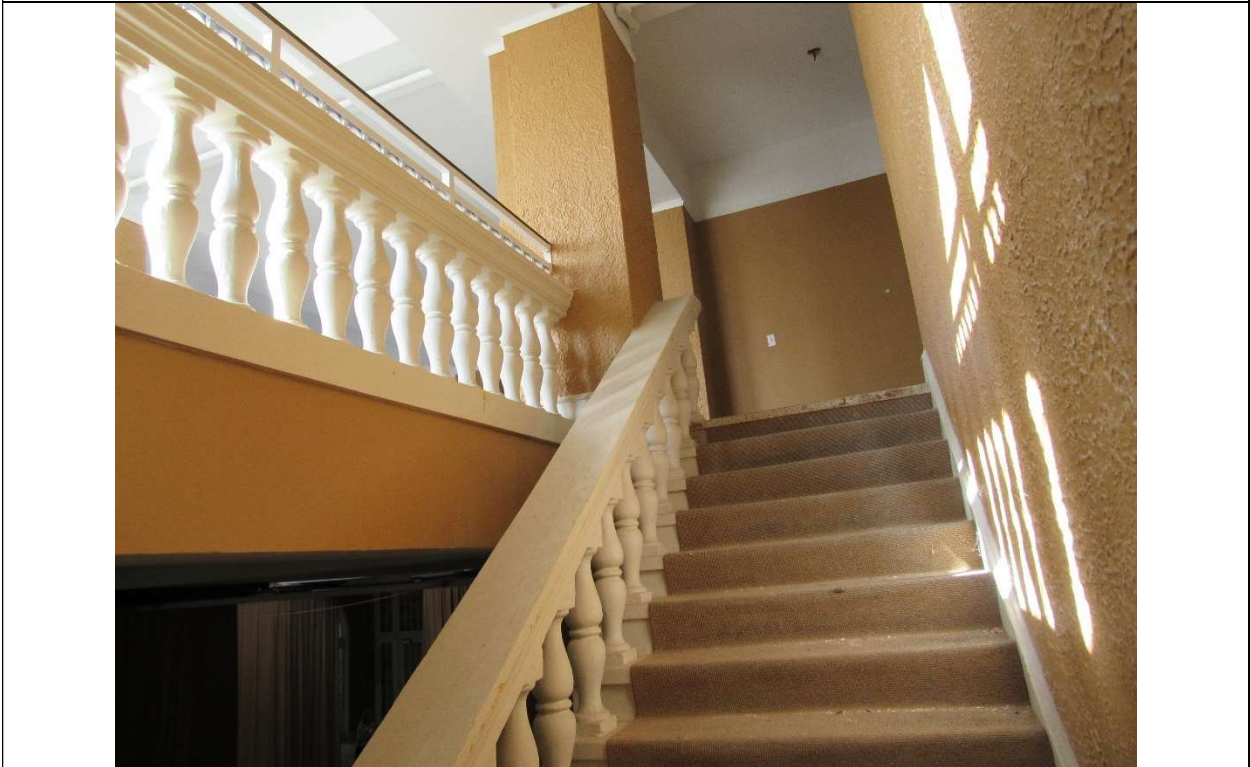


Photo #35A Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Stairs to mezzanine level (cont'd) (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #36 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Existing elevator (7/10/2020)



Photo #37 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mechanical elevator lobby (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #38 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mechanical hallway (7/10/2020)



Photo #39 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mechanical (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #40 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mechanical 2 (7/10/2020)



Photo #41 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mezzanine Area (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #42 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of mezzanine balcony (7/10/2020)



Photo #43 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mezzanine elevator lobby (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #44 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Northwest view of basement interior NW (7/10/2020)



Photo #45 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mezzanine level exterior door (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #46 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Mezzanine level exterior space N elevation (7/10/2020)



Photo #47 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Exterior space N elevation (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #48 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Exterior N elevation facing East (5/12/2017)



Photo #49 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
2<sup>nd</sup> floor corridor (7/10/2020)



The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #50 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
2<sup>nd</sup> floor room (7/10/2020)



Photo #51 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Stairwell to third floor (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #52 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Third floor corridor (7/10/2020)



Photo #53 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Third floor room (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #54 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Northwest view of first floor or interior (7/10/2020)



Photo #55 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of crown molding – third floor (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #56 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Third floor room (7/10/2020)

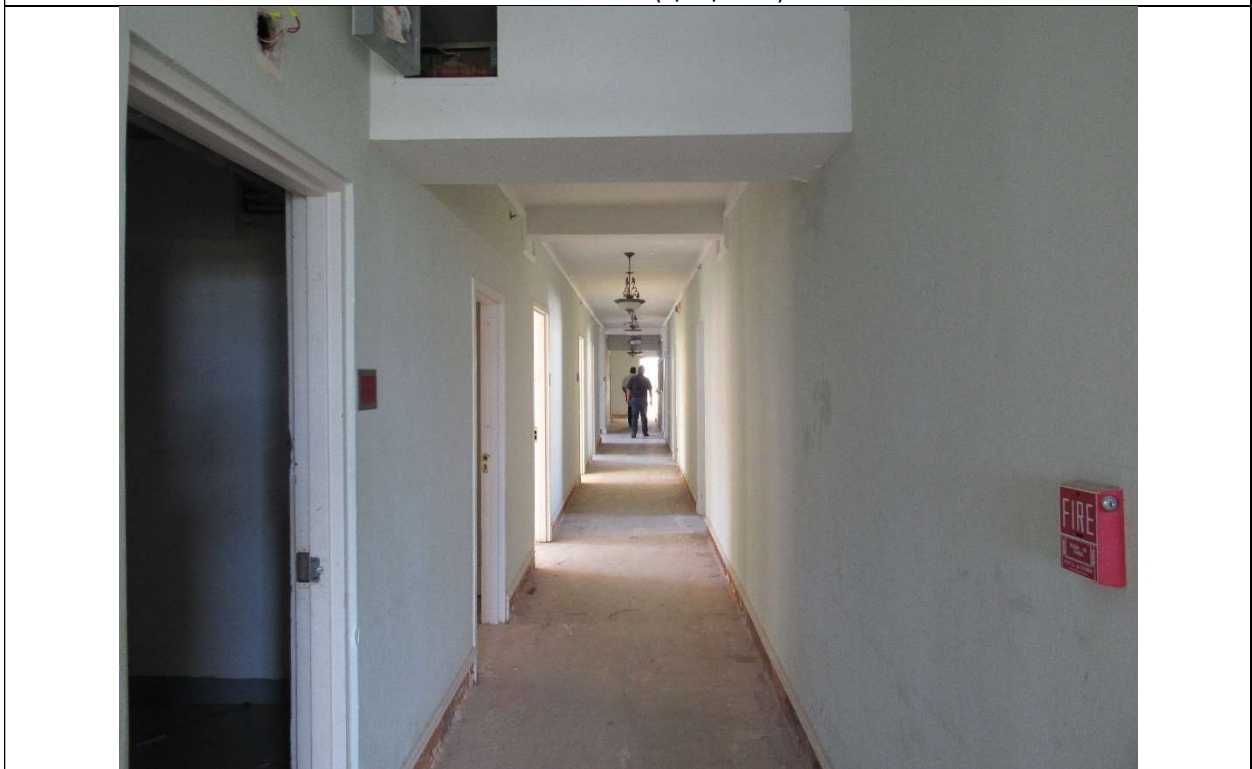


Photo #57 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fourth floor corridor (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #58 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fourth floor room (7/10/2020)



Photo #59 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fourth floor room (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #60 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of window (7/10/2020)



Photo #61 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth Floor elevator lobby (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #62 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor elevator lobby (7/10/2020)

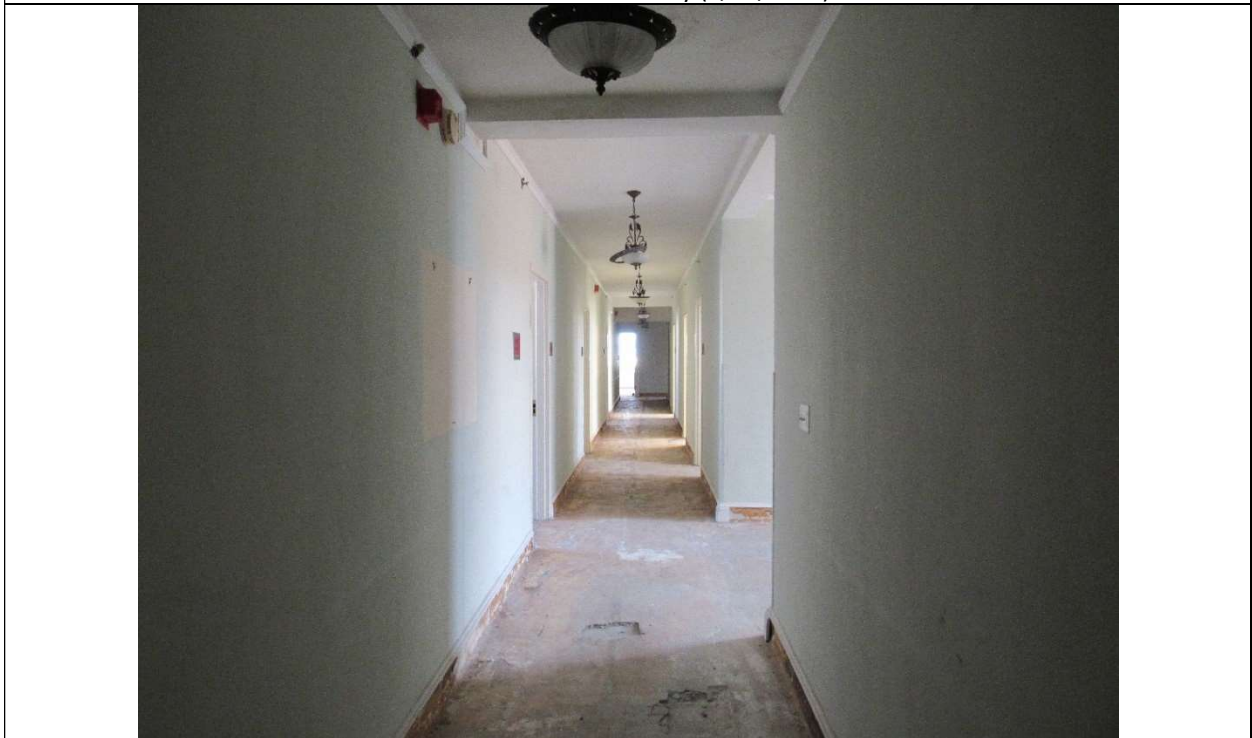


Photo #63 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor corridor (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #64 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor room (7/10/2020)



Photo #65 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor corridor (7/10/2020)



The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #66 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor room (7/10/2020)



Photo #67 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor window detail (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #68 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Fifth floor window detail (7/10/2020)



Photo #69 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Sixth floor elevator lobby (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #70 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Sixth floor corridor (7/10/2020)



Photo #71 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Sixth floor room (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #72 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Sixth floor electric panel (7/10/2020)



Photo #73 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
North view of first floor interior windows (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #74 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Stairwell to rooftop (7/10/2020)



Photo #75 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Rooftop (3/12/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos



Photo #76 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Rooftop (7/10/2020)

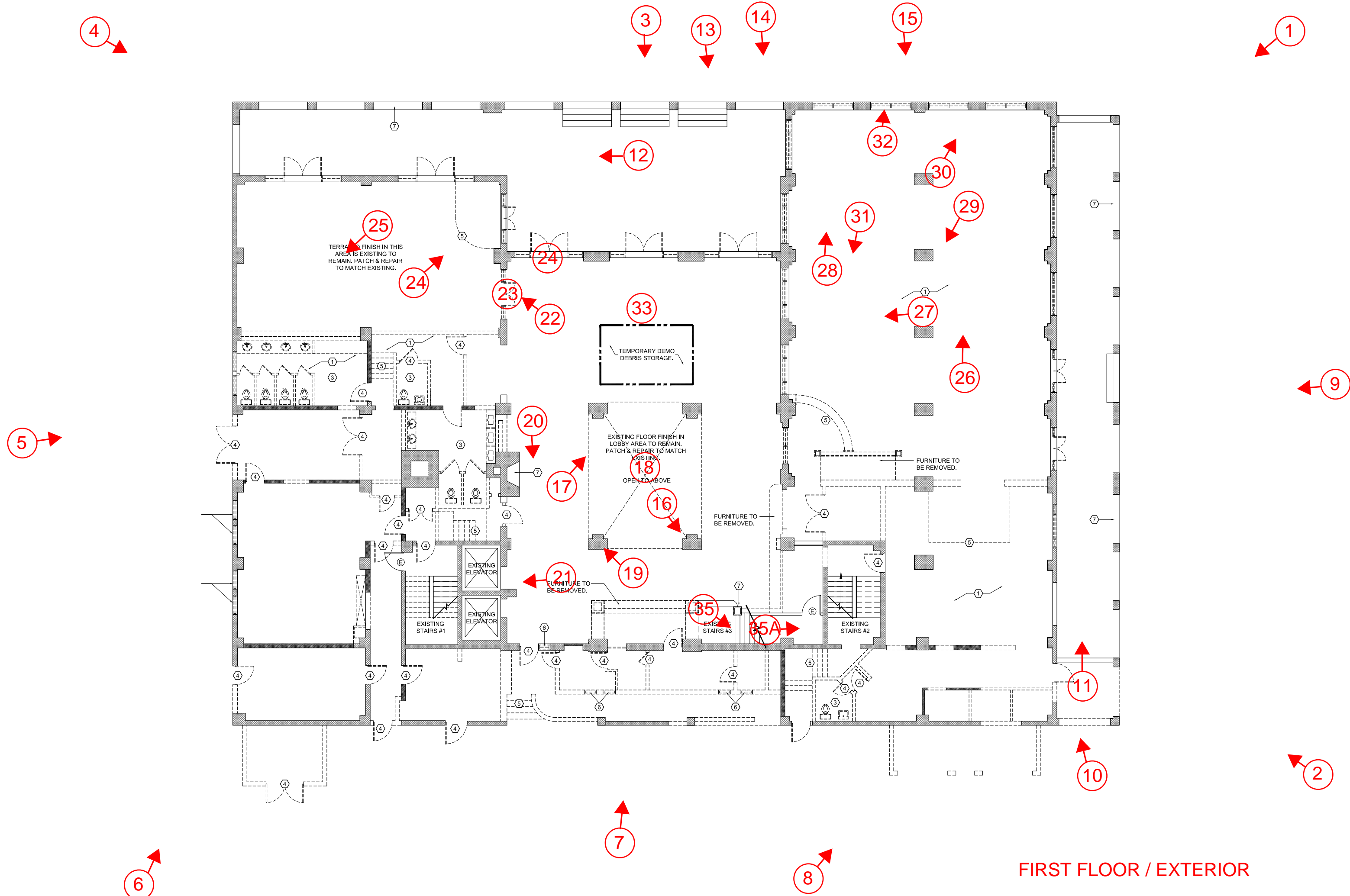


Photo #77 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Rooftop (7/10/2020)

The Gulfstream Hotel Building-1 Lake Ave, Lake Worth, FL-Part 2 Photos

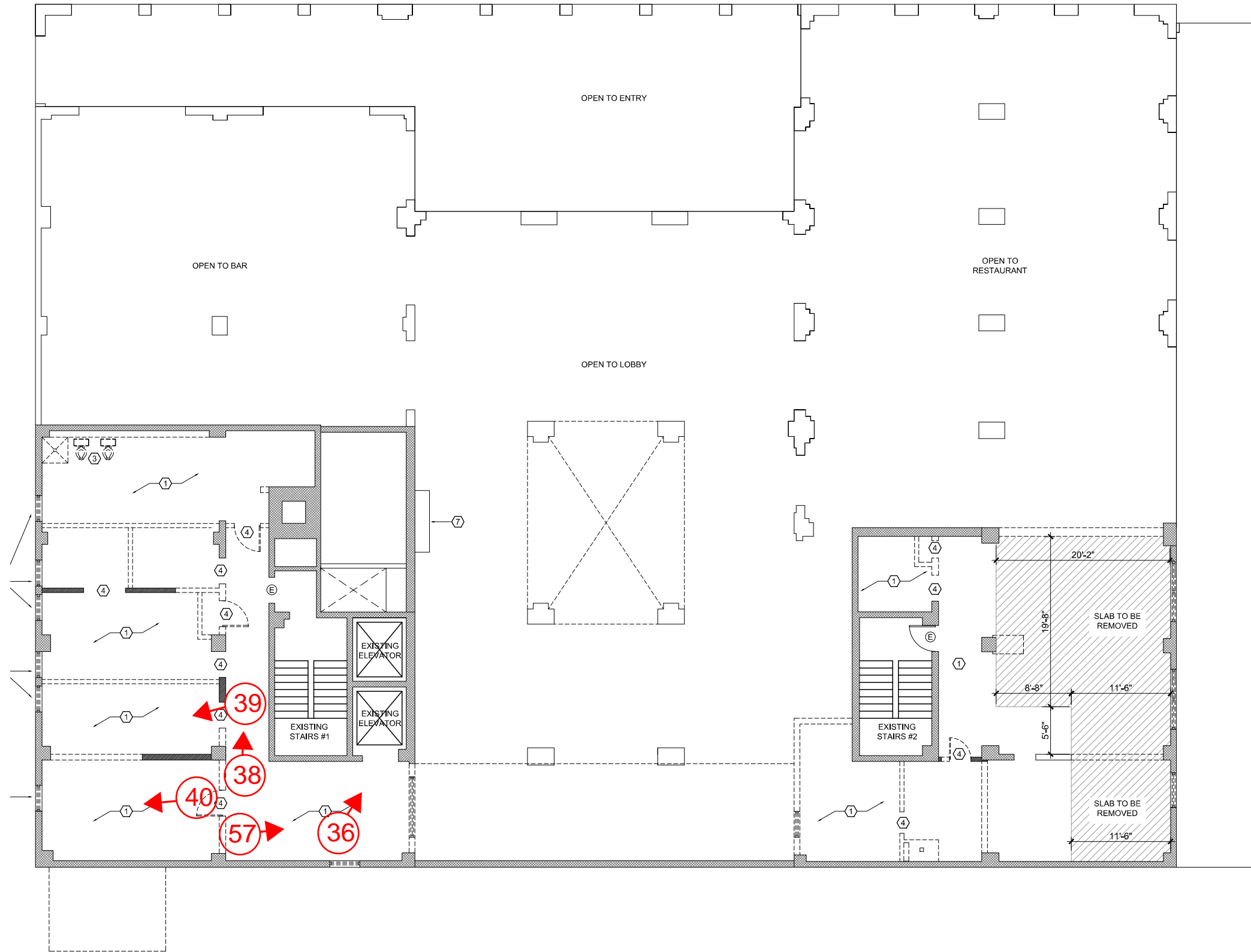


Photo #78 Gulfstream Hotel Building  
1 Lake Ave, Lake Worth, FL 33460  
Close-up of terracotta (7/10/2020)

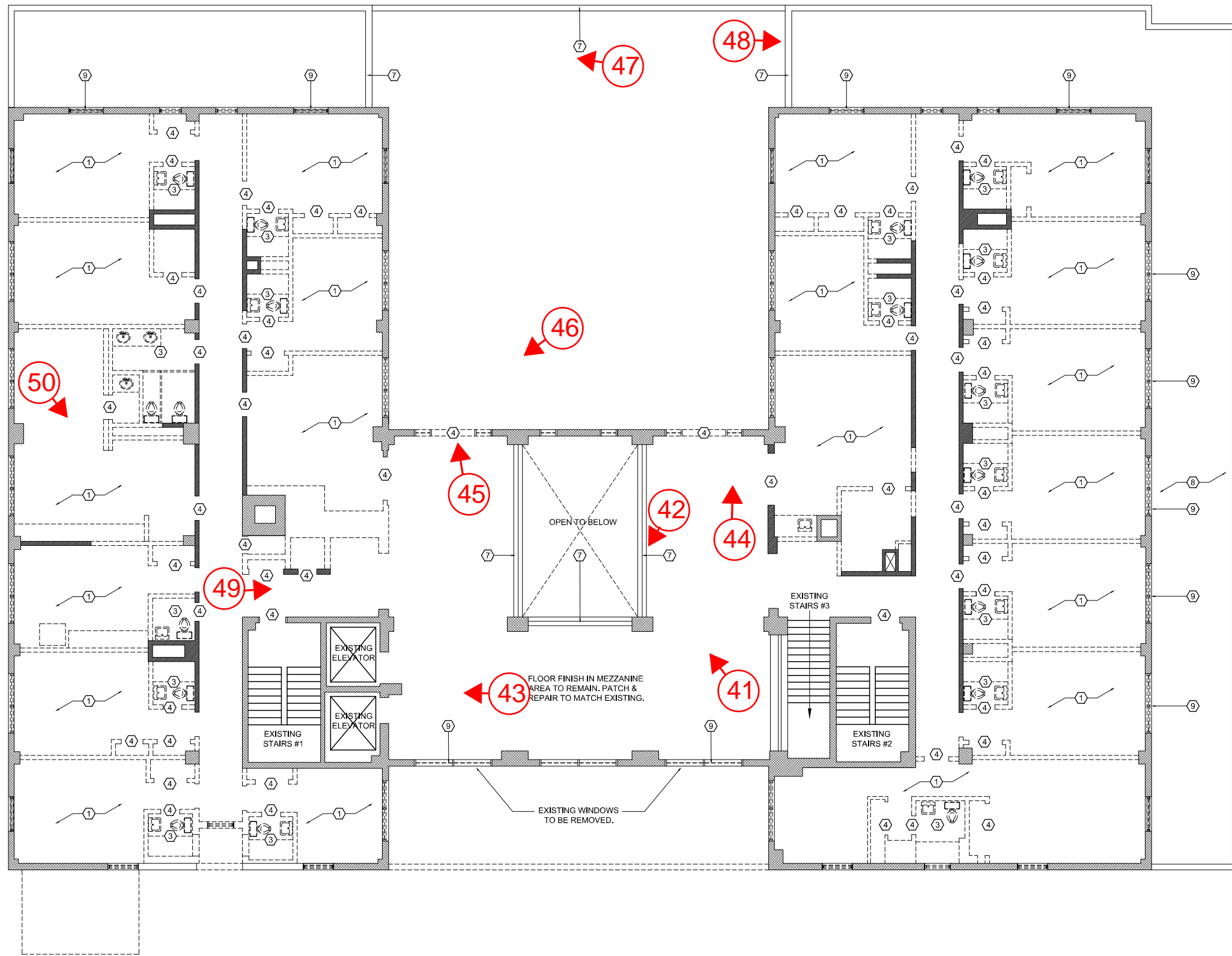


FIRST FLOOR / EXTERIOR

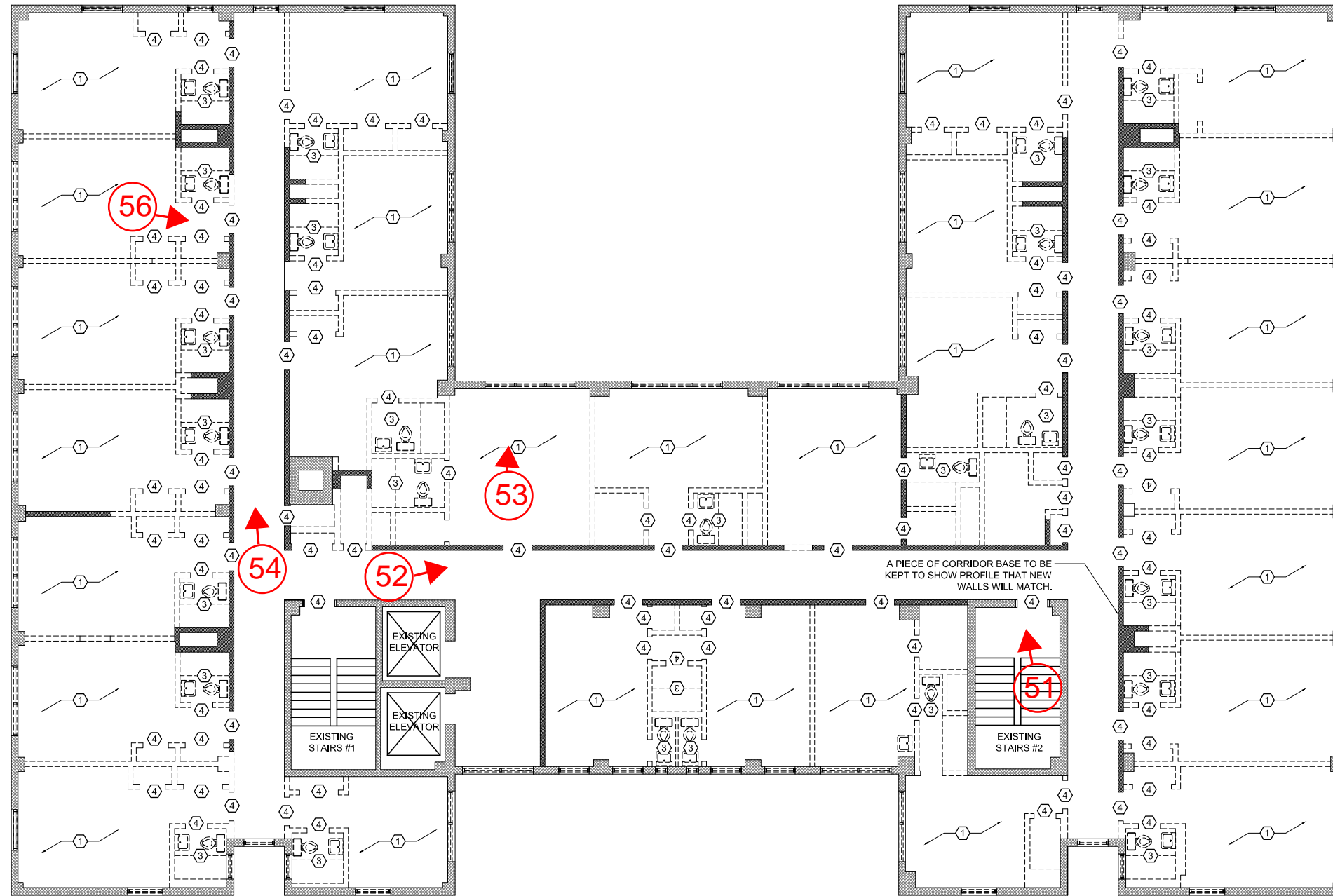


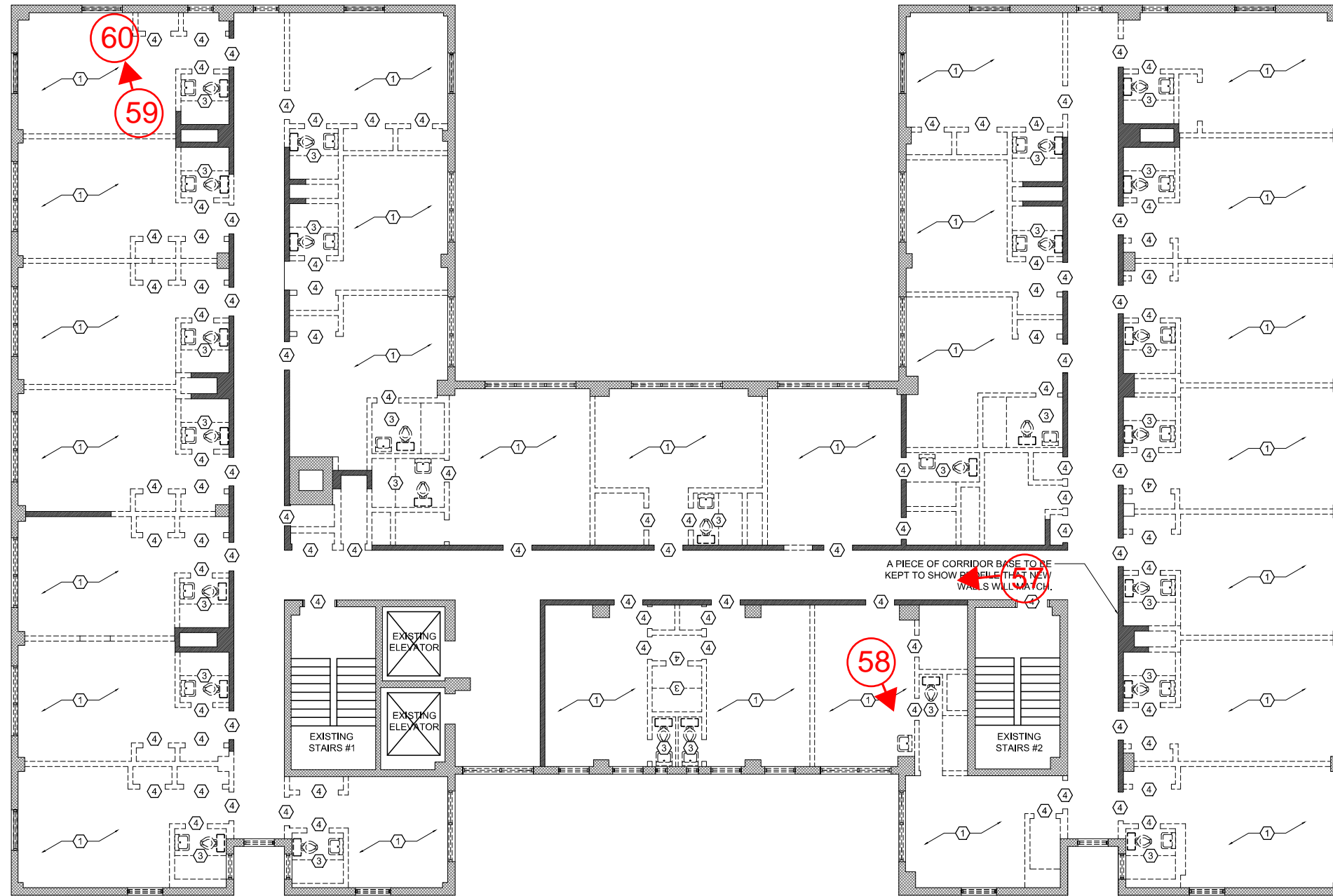


MEZZANINE FLOOR

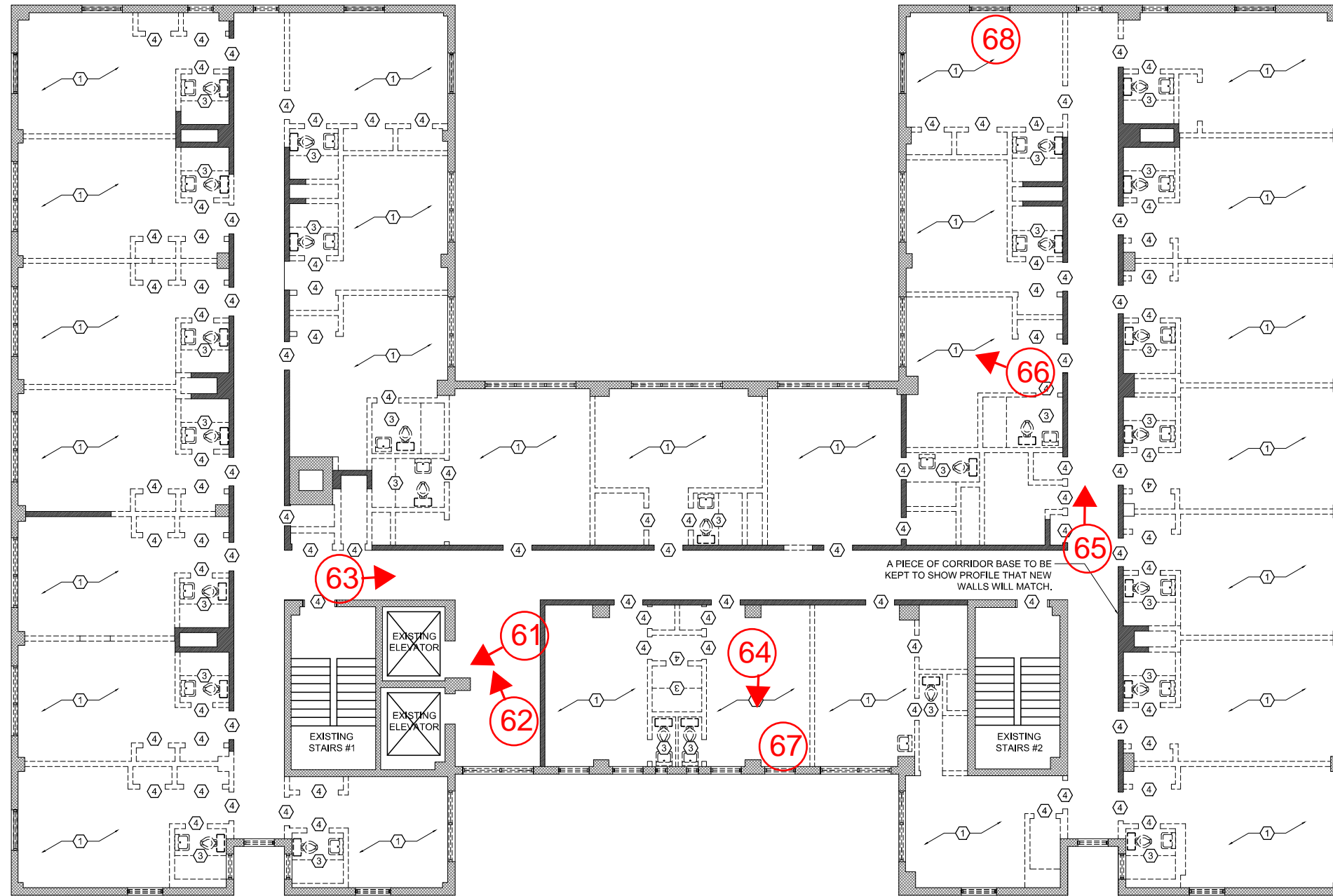


SECOND FLOOR

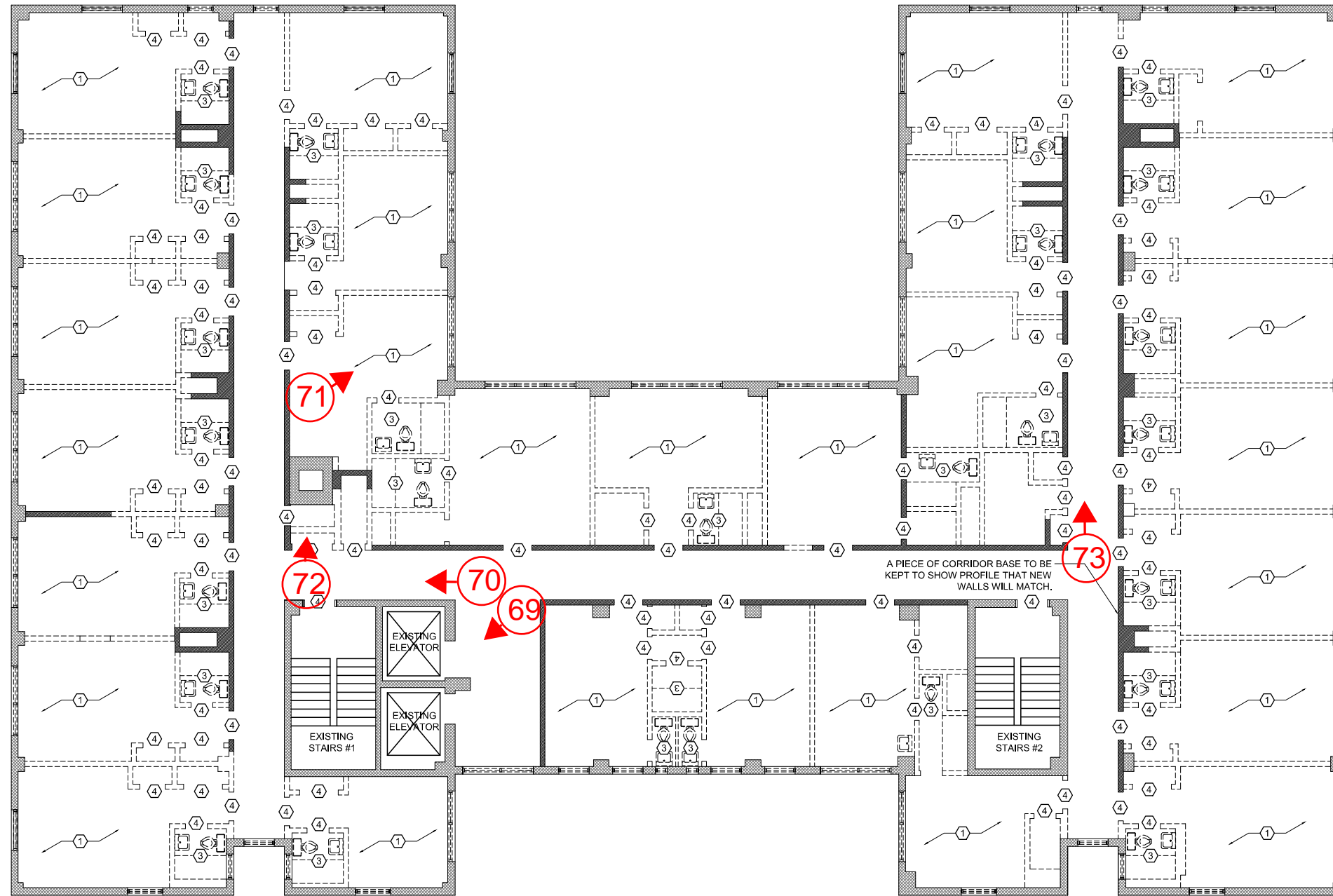


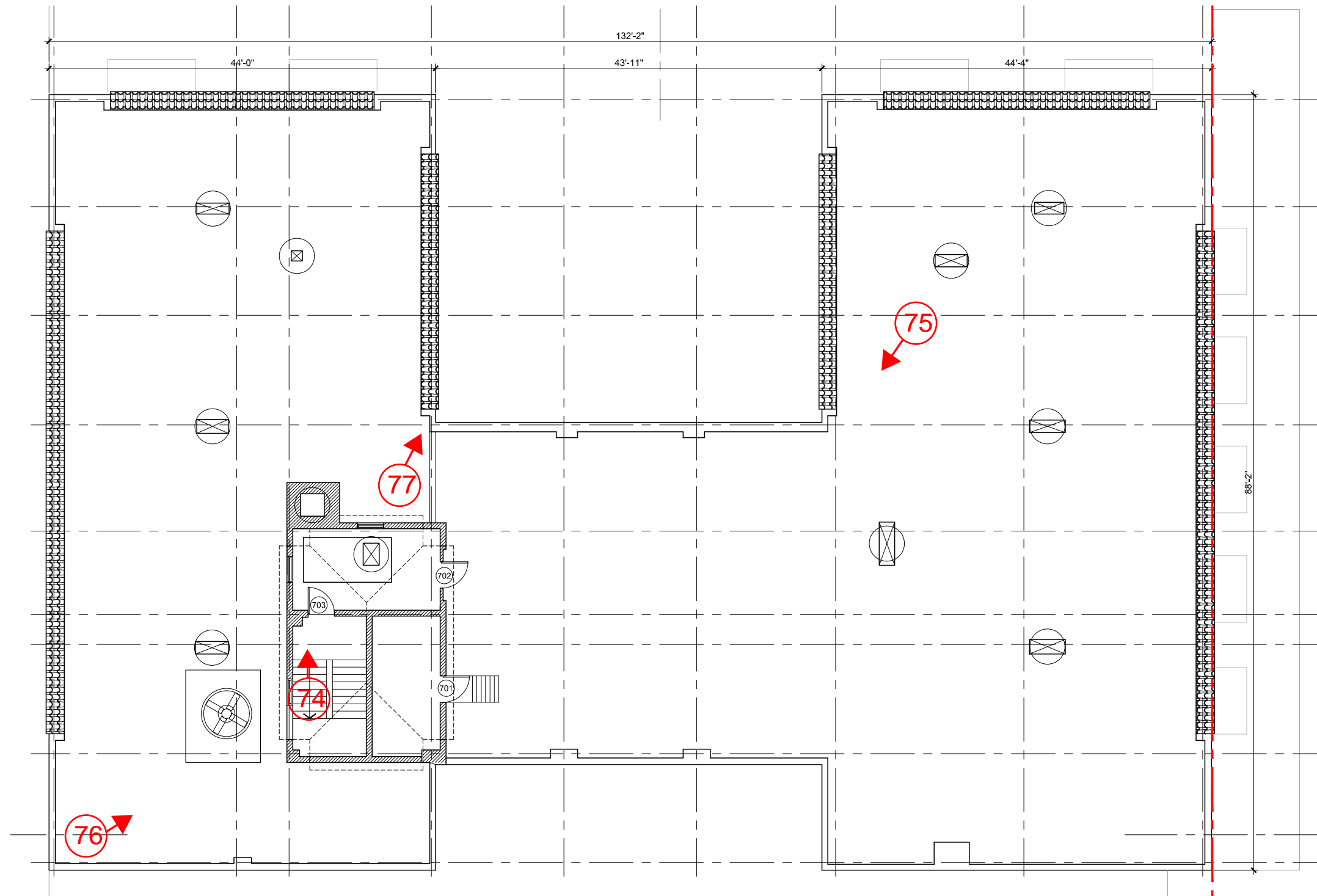


FOURTH FLOOR



FIFTH FLOOR





ROOF PLAN



CFN 20140179307  
 OR BK 26793 PG 1340  
 RECORDED 05/15/2014 14:13:38  
 Palm Beach County, Florida  
 ANT 7,225,000.00  
 Doc Stamp 50,575.00  
 Sharon R. Bock, CLERK & COMPTROLLER  
 Pgs 1340 - 1342; (3pgs)

Prepared by and return to:

David M. Layman, Esquire  
 Greenberg Traurig, P.A.  
 777 South Flagler Drive  
 Suite 300 East  
 West Palm Beach, FL 33401

**SPECIAL WARRANTY DEED**

THIS SPECIAL WARRANTY DEED made as of the 14<sup>th</sup> day of May, 2014, by CSC LAKE WORTH LIMITED PARTNERSHIP, a Delaware limited partnership, having an address of 1801 S. Australian Avenue, West Palm Beach, FL 33409, hereinafter called Grantor, to: HH GULFSTREAM LAND HOLDINGS, LLC, a Delaware limited liability company, having an address of 310 SE 1<sup>st</sup> Street, Delray Beach, FL 33483, hereinafter called Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee, all that certain land situated in Palm Beach County, Florida, viz:

THE LAND IS DESCRIBED ON EXHIBIT A

hereinafter collectively called the Land,

SUBJECT TO the following (collectively, the "Permitted Exceptions"): real property taxes for the year 2013 and all subsequent years; comprehensive land use plans, zoning, restrictions, prohibitions and other requirements imposed by governmental authority; and conditions, restrictions, reservations, limitations and easements of record, without intent to reimpose same.

TO HAVE AND TO HOLD, the same in fee simple forever,

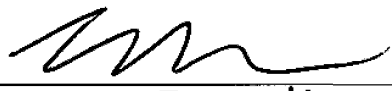
AND, subject to the Permitted Exceptions: (i) Grantor hereby covenants with the Grantee that Grantor has good right and lawful authority to sell and convey the Property; and (ii) Grantor hereby specially warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor.



IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal the day and year first above written.

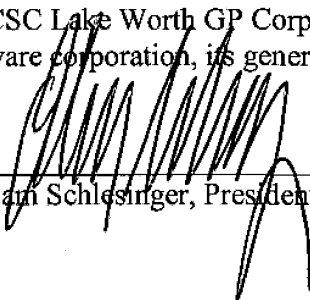
Witnesses:

  
Print Name: Adam Schlesinger

  
Print Name: Torrey Noyes

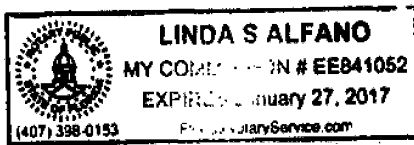
**CSC LAKE WORTH LIMITED PARTNERSHIP**, a Delaware limited partnership

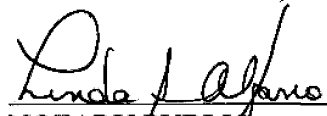
By: CSC Lake Worth GP Corporation, a Delaware corporation, its general partner

By:   
Adam Schlesinger, President

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of May, 2014, by Adam Schlesinger, as President of CSC Lake Worth GP Corporation, a Delaware corporation, as general partner of CSC LAKE WORTH LIMITED PARTNERSHIP, a Delaware limited partnership, on behalf of the limited partnership.



  
NOTARY PUBLIC  
Print Name: LINDA S. ALFANO  
Serial No. EE841052  
My Commission Expires: 1-27-2017

Personally known to me **OR**  Produced Identification  
Type of Identification Produced: \_\_\_\_\_

**EXHIBIT A**

**LAND - LEGAL DESCRIPTION**

Parcel 1

Lots 9, 10, 11 and the Northerly 24.50 feet of Lot 12, Block 33, THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, of the Public Records of Palm Beach County, Florida, said land lying in the Lucerne Townsite, Palm Beach County, Florida.

AND

Lots 7 and 8, Block 33, THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, inclusive, of the Public Records of Palm Beach County, Florida, said land lying in the Lucerne Townsite, Palm Beach County, Florida.

AND

Lots 1 through 6, Block 33, THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, inclusive, of the Public Records of Palm Beach County, Florida, said lands lying in the Lucerne Townsite, Palm Beach County, Florida.

AND

Parcel 2

That certain 10 foot wide strip of land lying west of and adjacent to the following described parcel:

Lots 9, 10, 11 and the Northerly 24.50 feet of Lot 12, Block 33, THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, (now known as Lake Worth), according to the Plat thereof as recorded in Plat Book 2, Pages 29 through 40 of the Public Records of Palm Beach County, Florida, said land lying in the Lucerne Townsite, Palm Beach County, Florida.

*WPB 383196822v2*

**OPINION OF TITLE**

To: City of Lake Worth Beach, Florida

With the understanding that this Opinion of Title is furnished to the City of Lake Worth Beach, Florida, to accompany a submission for entitlements and/or governmental approvals, it is hereby certified that we have examined and based this Opinion solely upon the following described title evidence (the "Title Evidence"): that certain Ownership and Encumbrance Report, issued by Chicago Title Insurance Company under File Number 10254662, having an effective date of January 21, 2022 at 11:00 p.m. (collectively, the "Title Evidence Effective Date"). The Title Evidence purports to cover the real property described in Exhibit "A" attached hereto and made a part hereof (the "Property").

*WE HEREBY CERTIFY* that we have reviewed the Title Evidence.

Therefore, we are of the opinion, based solely on our review of the Title Evidence, that on the Title Evidence Effective Date, the fee simple title to the above-described real property was vested in:

HH GULFSTREAM LAND HOLDINGS, LLC, a Delaware limited  
liability company

The Property is subject to the following encumbrances, liens and other exceptions:

A. **RECORDED MORTGAGES:**

MORTGAGE AND SECURITY AGREEMENT, recorded May 15, 2014 in OR Book 26793, Page 1346; as affected by COLLATERAL ASSIGNMENT OF RENTS AND LEASES recorded May 15, 2014 in OR Book 26793, Page 1359; COLLATERAL ASSIGNMENT OF RIGHTS AND AGREEMENTS AFFECTING REAL ESTATE recorded May 15, 2014 in OR Book 26793, Page 1366; UNIFORM COMMERCIAL CODE FINANCING STATEMENT FORM recorded May 15, 2014 in OR Book 26793, Page 1373; MORTGAGE MODIFICATION AND EXTENSION AGREEMENT recorded September 5, 2017 in OR Book 29333, Page 1781; ASSIGNMENT OF NOTE, MORTGAGE, AND OTHER LOAN DOCUMENTS recorded April 6, 2018, in OR Book 29765, Page 154; and ASSIGNMENT UNIFORM COMMERCIAL CODE FINANCING STATEMENT AMENDMENT FORM recorded April 6, 2018, in OR Book 29765, Page 158.

B. **RECORDED CONSTRUCTION LIENS, CONTRACT LIENS AND JUDGMENTS:**

None.

C. **GENERAL EXCEPTIONS:**

1. Any rights, interests or claims of parties in possession of the land not shown by the public records.
2. Any rights, interest or claims affecting the land which a correct survey would disclose and which are not shown by the public records.
3. Any lien for services, labor, or materials in connection with improvements, repairs or renovations provided, not shown by the public records.
4. Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land and any adverse claim to all or part of the land that is or was previously under water.
5. Taxes or special assessments not shown as lien in the public records or in the records of the local tax collecting authority.
6. Any minerals or mineral rights leased, granted or retained by current or prior owners.

D. **SPECIAL EXCEPTIONS:**

1. Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable.
2. AGREED ORDER GRANTING CONSIDERATION FOR SALE recorded July 10, 2015 in Official Records Book 27660, Page 238.
3. NOTICE OF COMMENCEMENT recorded July 29, 2021 in OR Book 32731, Page 621.
4. NOTICE OF COMMENCEMENT recorded October 28, 2021 in OR Book 33004, Page 379.
5. GRANT OF EASEMENT recorded March 10, 1988 in OR Book 5598, Page 1069.
6. GRANT OF EASEMENT recorded May 9, 1990 in OR Book 6447, Page 1583.
7. MEMORANDUM OF PCS SITE AGREEMENT recorded May 2, 1997 in OR Book 9775, Page 786.
8. ORDINANCE NO. 2000-18 recorded September 21, 2000 in Official Records Book 12020, Page 604.
9. UNITY OF TITLE DECLARATION recorded November 29, 2007 in Official Records Book 22286, Page 416.

10. PARTY MEMBERSHIP AGREEMENT TO THE FLORIDA GREEN FINANCE AUTHORITY recorded December 9, 2016 in Official Records Book 28757, Page 803.
11. FENCE/GATE REMOVAL AGREEMENT recorded September 30, 2021, in Official Records Book 32916, Page 1498.

Note: All of the recording information contained herein refers to the Public Records of Palm Beach County, Florida, unless otherwise indicated. Any reference herein to a Book and Page is a reference to the Official Record Books of said county, unless indicated to the contrary.

***WE HEREBY CERTIFY*** that we have reviewed all the aforementioned encumbrances and exceptions.

Therefore, it is our opinion, based solely on our review of the Title Evidence, that the following party must join in any agreement in order to make the agreement a valid and binding covenant on the Property.

<u>Name</u>	<u>Interest</u>	<u>Special Exception Number</u>
HH GULFSTREAM LAND HOLDINGS, LLC, a Delaware limited liability company	Fee Owner	N/A
SOUTH FLORIDA FINANCING II, LLC, a Florida limited liability company	Mortgage Lien Holder	N/A

We, the undersigned, further certify that we are attorneys-at-law duly admitted to practice in the State of Florida and are members in good standing of the Florida Bar.

Respectfully submitted this 2nd day of March, 2022.

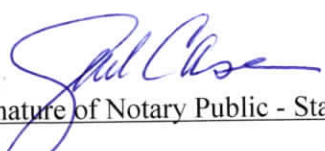
KAPP MORRISON LLP

By: 

Michelle DeRosa, Esq.  
Florida Bar No. 0084867  
Kapp Morrison LLP  
7900 Glades Road, Suite 550  
Boca Raton, Florida 33434

STATE OF FLORIDA  
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 2nd day of March, 2022 by Michelle DeRosa, who is XX personally known to me or \_\_\_\_\_ has produced \_\_\_\_\_ as identification.

  
(Signature of Notary Public - State of Florida)

\_\_\_\_\_  
(Print, Type, or Stamp Commissioned Name of Notary Public)



**Gail Case**  
Comm.: HH 142859  
Expires: June 15, 2025  
Notary Public - State of Florida

EXHIBIT "A"

PARCEL 1:

Lots 9, 10, 11 and the Northerly 24.50 feet of Lot 12, Block 33, of THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, of the Public Records of Palm Beach County, Florida; said land lying in the Lucerne Townsite, Palm Beach County, Florida.

AND

Lots 7 and 8, Block 33, of THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, of the Public Records of Palm Beach County, Florida; said land lying in the Lucerne Townsite, Palm Beach County, Florida.

AND

Lots 1, 2, 3, 4, 5 and 6, Block 33, of THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, of the Public Records of Palm Beach County, Florida; said land lying in the Lucerne Townsite, Palm Beach County, Florida.

PARCEL 2:

That certain 10 foot wide strip of land lying West of and adjacent to the following described parcel:

Lots 9, 10, 11 and the Northerly 24.50 feet of Lot 12, Block 33, of THE PALM BEACH FARMS CO. PLAT NO. 2, Lucerne Townsite, according to the Plat thereof, as recorded in Plat Book 2, Pages 29 through 40, of the Public Records of Palm Beach County, Florida; said land lying in the Lucerne Townsite, Palm Beach County, Florida.

Folio No.: 38-43-44-21-15-033-0010, 38-43-44-21-15-033-0030, 38-43-44-21-15-033-0040,  
38-43-44-21-15-033-0050, 38-43-44-21-15-033-0060, 38-43-44-21-15-033-0070,  
and 38-43-44-21-15-033-0090



THE SCHOOL DISTRICT OF  
PALM BEACH COUNTY, FL

KRISTIN K. GARRISON  
DIRECTOR

JOSEPH M. SANCHES, MBA  
CHIEF OPERATING OFFICER

PLANNING AND INTERGOVERNMENTAL RELATIONS  
3661 INTERSTATE PARK RD. N., STE 200  
RIVIERA BEACH, FL. 33404

PHONE: 561-434-8020 / FAX: 561-357-1193  
[WWW.PALMBEACHSCHOOLS.ORG/PLANNING](http://WWW.PALMBEACHSCHOOLS.ORG/PLANNING)

## SCHOOL CAPACITY AVAILABILITY DETERMINATION (SCAD)

<b>Application</b>	<b>Submittal Date</b>	03/18/2022		
	<b>SCAD No.</b>	22030901Z/Re-Zoning and 22031701D/D. O.		
	<b>FLU /Rezoning/D.O. No.</b>	22-00900001 – City of Lake Worth Beach		
	<b>PCN No. / Address</b>	38-43-44-21-15-033-0090/ 1 Lake Ave and more		
	<b>Development Name</b>	Gulfstream Hotel		
	<b>Owner / Agent Name</b>	HH Gulfstream Land Holdings, LLC / Checkmate Design, LLC		
	<b>SAC No.</b>	215		
	<b>Proposed Re-Zoning Proposed D. O.</b>	<b>Maximum 85 Residential Units 83 High-Rise Residential Units</b>		
<b>Impact Review</b>		<b>South Grade Elementary School</b>	<b>Lake Worth Middle School</b>	<b>Lake Worth High School</b>
	New Students Generated	2	1	1
	Capacity Available	-64	90	155
	Utilization Percentage	109%	94%	95%
<b>School District Staff's Recommendation</b>	<p><b>Based on the findings and evaluation of the proposed development, there will be a negative impact on the public school system. Therefore, if the proposed development is approved by the City Council, School District staff recommends the following condition to mitigate such impacts.</b></p> <p>In order to address the school capacity deficiency generated by this proposed development at the District <b>elementary school level</b>, the property owner shall contribute <b>\$10,016.00</b> to the School District of Palm Beach County prior to the issuance of first building permit.</p> <p>This school capacity contribution is intended to supplement the required school impact fee (impact fee credit has already been applied). The contribution amount may be adjusted to reflect the actual unit number and type during the Development Order process.</p> <p>Please note that the school impact fee credit is calculated based on the Net Impact Cost per Student, as calculated in the County's latest Impact Fee Ordinance, which was adopted on April 16, 2019.</p>			
<b>Validation Period</b>	<p>1) This determination is valid from <b>03/23/2022 to 03/22/2023</b> or the expiration date of the site-specific development order approved during the validation period.</p> <p>2) A copy of the approved D.O. must be submitted to the School District Planning Dept. prior to <b>03/22/2023</b> or this determination will expire automatically on <b>03/22/2023</b>.</p>			
<b>Notice</b>	<p>School age children may not necessarily be assigned to the public school closest to their residences. Students in Palm Beach County are assigned annually to schools under the authority of the School Board and by direction of the Superintendent, public school attendance zones are subject to change.</p>			

*Joyce Cai*

March 23, 2022

School District Representative Signature

Date

Joyce C. Cai, Senior Planner

[joyce.cai@palmbeachschools.org](mailto:joyce.cai@palmbeachschools.org)

Print Name & Title

Email Address

CC: Erin Sita, Assistant Director, City of Lake Worth Beach  
Joyell Shaw, PIR Manager, School District of Palm Beach County





March 9, 2022

Anna Lai, P.E., PTOE  
Simmons & White, Inc.  
2581 Metrocentre Blvd, Suite 3  
West Palm Beach, FL 33407

**Department of Engineering  
and Public Works**

P.O. Box 21229  
West Palm Beach, FL 33416-1229  
(561) 684-4000  
FAX: (561) 684-4050  
www.pbcgov.com



**Palm Beach County  
Board of County  
Commissioners**

- Robert S. Weinroth, Mayor
- Gregg K. Weiss, Vice Mayor
- Maria G. Marino
- Dave Kerner
- Maria Sachs
- Melissa McKinlay
- Mack Bernard

**County Administrator**

Verdenia C. Baker

**RE: Gulfstream Hotel Redevelopment  
Project #: 220209  
Traffic Performance Standards (TPS) Review**

Dear Ms. Lai:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated February 21, 2022, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

- Municipality:** Lake Worth Beach
- Location:** SWC of Lake Avenue and Golfview Road
- PCN:** 38-43-44-21-15-033-0090 (additional PCNs in file)
- Access:** One left-in/left-out access driveway connection onto Lakeside Dr, one ingress-only driveway connection onto Golfview Rd and one egress-only access driveway connection onto 1<sup>st</sup> Ave S via an existing alley  
(As used in the study and is NOT necessarily an approval by the County through this TPS letter)
- Existing Uses:** Hotel building (vacant >5 years)
- Proposed Uses:** Repurpose the vacant building as:  
Hotel = 140 Rooms; and add:  
Mid-rise Multi-Family Residential = 84 DU
- New Daily Trips:** 1,510
- New Peak Hour Trips:** 89 (43/46) AM; 113 (62/51) PM
- Build-out:** December 31, 2024

Based on our review, the proposed development is within the Coastal Residential Exception Area and, therefore, the residential portion of the proposed development is exempt from the TPS of Palm Beach County. The Traffic Division has determined the proposed development meets the TPS of Palm Beach County.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

"An Equal Opportunity  
Affirmative Action Employer"



Anna Lai, P.E., PTOE

March 9, 2022

Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email [HAkif@pbcgov.org](mailto:HAkif@pbcgov.org).

Sincerely,

A handwritten signature in blue ink, appearing to read "Hanane Akif".

Hanane Akif, P.E.  
Professional Engineer  
Traffic Division

QB:HA:qg

ec:

Erin Fitzhugh Sita, AICP, Assistant Director-Planning, Zoning, & Preservation Community Sustainability Department, City of Lake Worth Beach  
Quazi Bari, P.E., PTOE, Manager – Growth Management, Traffic Division

# TRAFFIC IMPACT STATEMENT

## GULFSTREAM HOTEL PALM BEACH COUNTY, FLORIDA

### Prepared for:

Restoration St. Louis, Inc.  
4240 Manchester Avenue  
St. Louis, Missouri 63110

Job No. 20-096

Date: August 26, 2020  
Revised: February 21, 2022

Anna Lai, P.E., PTOE  
FL Reg. No. 78138

**Anna Lai, P.E., State of Florida, Professional  
Engineer, License No. 56934**

**This item has been electronically signed  
and sealed by Anna Lai, P.E., on 02/21/2022**

**Printed copies of this document are not considered signed  
and sealed and the signature must be verified on  
any electronic copies.**

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## APPENDICES

TEST 1 PART 2: LINK ANALYSIS .....	APPENDIX A
PBC TPS DATABASE 2024 VOLUME SHEETS .....	APPENDIX B
TEST 1 PART 1: INTERSECTION ANALYSIS .....	APPENDIX C
TEST 2 ANALYSIS: LINK ANALYSIS .....	APPENDIX D

## 1.0 SITE DATA

The subject parcel is located on the southeast corner of Lake Avenue and South Lakeside Drive in Palm Beach County, Florida and contains approximately 1.64 acres. The Property Control Numbers (PCNs) for the subject parcel are as follows:

38-43-44-21-15-033-0090	38-43-44-21-15-033-0040
38-43-44-21-15-033-0070	38-43-44-21-15-033-0030
38-43-44-21-15-033-0060	38-43-44-21-15-033-0010
38-43-44-21-15-033-0050	

Proposed site development on the parcel was previously approved for a 170 room hotel, 42 multi-family dwelling units, and ancillary space consisting of event space, restaurants, and a spa. Proposed site development now consists of a 140 room hotel, 84 multi-family dwelling units, and ancillary space consisting of event space, restaurants, and a spa with a project build-out of 2024. Lakeside Drive is proposed to be converted from a single lane southbound one-way roadway to a two lane southbound one-way roadway. Site access is proposed via a full access driveway connection to Lakeside Drive, an ingress only driveway connection to Golfview Road, and an egress only driveway connection to 1<sup>st</sup> Avenue South via an alleyway. For additional information concerning site location and layout, please refer to the Site Plan prepared by Beilinson Gomez Architects.

## 2.0 PURPOSE OF STUDY

This study will analyze the proposed development's impact on the surrounding major thoroughfares within the project's radius of development influence in accordance with the Palm Beach County Unified Land Development Code Article 12 – Traffic Performance Standards. The Traffic Performance Standards state that a Site Specific Development Order for a proposed project shall meet the standards and guidelines outlined in two separate "Tests" with regard to traffic performance. However, the proposed 42 residential dwelling units would qualify for the Coastal Residential Exception as outlined in the TPS.

Test 1, or the Build-out Test, relates to the build-out period of the project and requires that a project not add traffic within the radius of development influence which would have total traffic exceeding the adopted LOS at the end of the build-out period. This Test 1 analysis consists of two parts and no project shall be approved for a Site Specific Development Order unless it can be shown to satisfy the requirements of Parts One and Two of Test 1.

Part One – Intersections, requires the analysis of major intersections, within or beyond a project's radius of development influence, where a project's traffic is significant on a link within the radius of development influence. The intersections analyzed shall operate within the applicable threshold associated with the level of analysis addressed.

## 2.0 PURPOSE OF STUDY (CONTINUED)

Part Two – Links, compares the total traffic in the peak hour, peak direction on each link within a project's radius of development influence with the applicable LOS "D" link service volumes. The links analyzed shall operate within the applicable thresholds associated with the level of analysis addressed.

Test 2, or the Five Year Analysis, relates to the evaluation of project traffic five years in the future and requires that a project not add traffic within the radius of development influence which would result in total traffic exceeding the adopted LOS at the end of the Five Year Analysis period. This test requires analysis of links and major intersections as necessary within or beyond the radius of development influence, where a project's traffic is significant on a link within the radius of development influence.

This analysis shall address the total traffic anticipated to be in place at the end of the fifth year of the Florida Department of Transportation Five Year Transportation Improvement Program in effect at the time of traffic analysis submittal.

The existing roadway network as well as both the State and Palm Beach County Five Year Road Program improvements, with construction scheduled to commence prior to the end of the Five Year Analysis Period shall be the Test 2 roadway network assumed in the analysis. The total traffic in the peak hour, peak direction on each link within a project's radius of development influence shall be compared with the applicable LOS "E" service volumes. The links analyzed shall operate within the applicable thresholds associated with the level of analysis addressed.

This study will verify that the proposed development's traffic impact will meet the above Traffic Performance Standards.

## 3.0 TRAFFIC GENERATION

The Palm Beach County Unified Land Development Code Article 12 requires that for any application for a site specific development order on property on which there are vested uses shall be subject to the Palm Beach County Traffic Performance Standards to the extent the traffic generation projected for the site specific development order exceeds the traffic generation of the vested uses.

The generation rates and capture rates of the vested uses shall be updated to current pro forma traffic generation and passer-by rates and shall be used to calculate vested uses/current approval traffic.

The traffic to be generated by the proposed site modifications has been calculated in accordance with the traffic generation rates listed in the *ITE Trip Generation Manual, 10<sup>th</sup> Edition* and rates published by the Palm Beach County Engineering Traffic Division as shown in Tables 1, 2, and 3. Table 1 shows the daily traffic generation associated with the proposed development in trips per day (tpd). Tables 2 and 3 show the AM and PM peak hour traffic generation,

### 3.0 TRAFFIC GENERATION (CONTINUED)

respectively, in peak hour trips (pht). The traffic to be generated by the proposed 170 room hotel and 42 multi-family dwelling units may be summarized as follows:

#### Proposed Plan of Development

Daily Traffic Generation	= 1,510 tpd
AM Peak Hour Traffic Generation (In/Out)	= 89 pht (43 In/46 Out)
PM Peak Hour Traffic Generation (In/Out)	= 113 pht (62 In/51 Out)

The proposed 84 residential dwelling units would qualify for the Coastal Residential Exception as outlined in the TPS.

### 4.0 RADIUS OF DEVELOPMENT INFLUENCE

Based on Table 12.B.2.D-7 3A of the Palm Beach County Unified Land Development Code Article 12 – Traffic Performance Standards, for a net trip generation of 76 hotel peak hour trips, the radius of development influence shall be one (1) mile.

For Test 1, a project must address those links within the radius of development influence on which its net trips are greater than one percent of the LOS “D” of the link affected on a peak hour, peak direction basis AND those links outside of the radius of development influence on which its net trips are greater than five percent of the LOS “D” of the link affected on a peak hour, peak direction basis up to the limits set forth in Table 12.B.2.C-1 1A: LOS “D” Link Service Volumes.

For Test 2, a project must address those links within the radius of development influence on which its net trips are greater than three percent of the LOS “E” of the link affected on a peak hour, peak direction basis AND those links outside of the radius of development influence on which its net trips are greater than five percent of the LOS “E” of the link affected on a peak hour, peak direction basis up to the limits set forth in Table 12.B.2.C-4 2A: LOS “E” Link Service Volumes.

### 5.0 TRIP DISTRIBUTION

The project trips were distributed and assigned on the links within the radius of development influence based on the existing and anticipated traffic patterns. Figure 1 presents the trip distribution percentages.

### 6.0 TRAFFIC ASSIGNMENT/DISTRIBUTION TEST 1 – PART 2

Tables 4 and 5 (in Appendix A) show the project’s AM and PM peak hour trip assignment, respectively, as well as the applicable Level of Service Standard for each of the links within the project’s radius of development influence. Links with a project assignment greater than 1% of the applicable Level of Service “D” have been outlined as links with significant project assignment.

Tables 6 and 7 (in Appendix A) shows the projected total AM and PM peak hour

## 6.0 TRAFFIC ASSIGNMENT/DISTRIBUTION TEST 1 – PART 2 (CONTINUED)

traffic volumes and threshold volumes for the links with significant project assignment within the project's radius of development influence. For the links, the 2024 total traffic has been calculated using the higher value between the link historical growth rate and the combination of a 1.0% background growth rate and the approved committed development trips. The 2024 build-out link volume reports for the link from the Palm Beach County Engineering Traffic Division TPS Database are included in Appendix B.

A review of Tables 4-7 indicates this project meets the applicable Peak Hour Traffic Volume Link Performance Standards listed under "Test One - Part Two" of the Palm Beach County Traffic Performance Standards on all links within the project's radius of development influence.

## 7.0 INTERSECTION ANALYSIS TEST 1 – PART 1

As a requirement of Part 1 of Test 1 of the Palm Beach County Traffic Performance Standards, all major intersections in each direction nearest to the point at which the project's traffic enters each project accessed link, and where the project traffic entering or exiting the intersection from/to the project accessed link is significant, must be analyzed. Therefore, the following intersections must be analyzed for the 2024 projected AM and PM peak hours:

Lake Avenue at Federal Highway  
Lake Avenue at Ocean Boulevard

For each intersection, the 2024 total traffic has been calculated using the higher value between the background growth rate and the combination of a 1.0% background growth rate and the approved committed development trips. The 2024 build-out volume reports from the Palm Beach County Engineering Traffic Division TPS Database are included in Appendix B.

Each intersection has been analyzed using the adjusted turning movement volumes in accordance with the methodology set forth in the Transportation Research Board Special Report 209, Planning Analysis. The intersection analyses are included in Appendix C. The analysis results show that the sum of the critical movements during the peak season, peak hours at project build-out is less than the adopted Level of Service volume of 1,400 vehicles per hours (vph) for the subject intersections.

<u>INTERSECTION</u>	<u>CRITICAL SUM</u>	
	<u>AM</u>	<u>PM</u>
Lake Avenue at Federal Highway	707	610
Lake Avenue at Ocean Boulevard	509	462



## 8.0 TEST 2 – FIVE YEAR ANALYSIS

Test 2, or the Five Year Analysis, relates to the evaluation of project traffic five years in the future and requires that a project not add traffic within the radius of development influence which would result in total traffic exceeding the adopted LOS at the end of the Five Year Analysis Period. Tables 8 and 9 (in Appendix D) show the project's net trip generation is less than 3% of the applicable LOS "E" threshold for all links within the project's radius of development influence. This project therefore meets the requirements of Test 2.

## 9.0 SITE RELATED IMPROVEMENTS

The AM and PM peak hour volumes at the project entrances for the overall development with no reduction for pass by credits are shown in Tables 2 and 3 and may be summarized as follows:

<b>Directional Distribution (Trips IN/OUT)</b>	
AM =	47 / 49
PM =	66 / 55

Figure 2 presents the AM and PM peak turning movement volume assignments at the project driveway based on the directional distributions. As previously mentioned, Lakeside Drive is proposed to be converted from a single lane southbound one-way roadway to a two lane southbound one-way roadway. Site access is proposed via a full access driveway connection to Lakeside Drive, an ingress only driveway connection to Golfview Road, and an egress only driveway connection to 1<sup>st</sup> Avenue South via an alleyway.

Based on the Palm Beach County Engineering Guidelines used in determining the need for turn lanes of 75 right turns or 30 left turns in the peak hour, and on the existing and proposed lanes, additional turn lanes are not warranted or recommended.

## 10.0 CONCLUSION

The proposed development has been estimated to generate 1,510 trips per day, 89 AM peak hour trips, and 113 PM peak hour trips at project build-out in 2024. The proposed 84 residential dwelling units would qualify for the Coastal Residential Exception as outlined in the TPS. A review of the links within the project's radius of development influence reveals that capacity is available to support the project and the project meets the requirements of the Palm Beach County Traffic Performance Standards.



September 16, 2020

Anna Lai, P.E., PTOE  
Simmons & White, Inc.  
2581 Metrocentre Blvd, Suite 3  
West Palm Beach, FL 33411

**Department of Engineering  
and Public Works**

P.O. Box 21229  
West Palm Beach, FL 33416-1229  
(561) 684-4000  
FAX: (561) 684-4050  
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**Palm Beach County  
Board of County  
Commissioners**

- Dave Kerner, Mayor
- Robert S. Weinroth, Vice Mayor
- Hal R. Valeche
- Gregg K. Weiss
- Mary Lou Berger
- Melissa McKinlay
- Mack Bernard

**County Administrator**

Verdenia C. Baker

**RE: Gulfstream Hotel  
Project #: 200905  
Traffic Performance Standards Review**

Dear Ms. Lai:

The Palm Beach County Traffic Division has reviewed the **Gulfstream Hotel** Traffic Impact Statement, dated August 26, 2020, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Unified Land Development Code (ULDC). The project is summarized as follows:

- Municipality:** Lake Worth Beach
- Location:** SWC of Lake Avenue and Golfview Road
- PCN:** 38-43-44-21-15-033-0090 (additional PCNs in file)
- Access:** One full access driveway connection onto Lakeside Dr, one ingress-only driveway connection onto Golfview Rd and one egress-only access driveway connection onto 1<sup>st</sup> Ave S via an existing alley  
(As used in the study and is NOT necessarily an approval by the County through this TPS letter)
- Existing Uses:** Hotel building (vacant >5 years)
- Proposed Uses:** Repurpose the vacant building as:  
Hotel = 170 Rooms; and add:  
Mid-rise Multi-Family Residential = 42 DU
- New Daily Trips:** 1,507
- New Peak Hour Trips:** 87 (46/41) AM; 110 (58/52) PM
- Build-out:** December 31, 2024

The proposed development is located within the Coastal Residential Exception Area and therefore, the residential portion of the proposed development is exempt from the Traffic Performance Standards of Palm Beach County. The Traffic Division has determined the proposed development **meets** the Traffic Performance Standards of Palm Beach County.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

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Anna Lai, P.E., PTOE  
September 16, 2020  
Page 2

No building permits are to be issued by the City after the build-out date specified above. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or email [QBari@pbcgov.org](mailto:QBari@pbcgov.org).

Sincerely,

Quazi Bari, P.E., PTOE  
Manager – Growth Management  
Traffic Division

QB:HA:rb

ec: Addressee  
Erin Fitzhugh Sita, AICP, Assistant Director-Planning, Zoning, & Preservation Community  
Sustainability Department, City of Lake Worth Beach  
Hanane Akif, E.I., Project Coordinator II, Traffic Division  
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review  
F:\TRAFFIC\HA\MUNICIPALITIES\APPROVALS\2020\200905 - GULFSTREAM HOTEL.DOCXN



February 23, 2022

Palm Beach County Engineering Department  
Traffic Division  
2300 North Jog Road  
Floor 3E  
West Palm Beach, Florida 33411

Attention: Mr. Quazi Bari, P.E.

Reference: Gulfstream Hotel Redevelopment  
Palm Beach County Project # 200905  
City of Lake Worth Beach, Florida

Dear Mr. Bari:

Please find enclosed for your review and approval, the following items pertaining to the above referenced project located on the southeast corner of Lake Avenue and South Lakeside Drive in the City of Lake Worth Beach:

1. One (1) 11" x 17" copy of the proposed Site Plan layout
2. One (1) copy of the Traffic Impact Statement dated February 21, 2022
3. One (1) check in the amount of \$1,208.00 for the TPS review fee
4. One (1) copy of the previously issued TPS approval letter dated September 16, 2020

The site was previously developed with a hotel site and has been vacant for more than five years, so there is no traffic concurrency vesting associated with the project. The approval in 2020 consisted of a 170-room hotel and 42 multi-family residential units. Proposed side development now consists of a 140-room hotel and 84 multi-family units as well as ancillary areas consisting of event space, restaurants, and a spa facility with a project build-out of 2024.

Mr. Quazi Bari, P.E.  
February 23, 2022

Please review the enclosed and contact our office if you should have any questions or if you require any additional information. We respectfully request a letter from your Department to the City of Lake Worth Beach following your review and approval. Thank you for your help with this matter.

Sincerely,

SIMMONS & WHITE, INC.



Kyle Duncan

Enclosures

# GULFSTREAM HOTEL

08/20/20  
Revised: 02/21/22

## PROPOSED DEVELOPMENT

**TABLE 1 - Daily Traffic Generation**

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips	Internalization			External Trips	Pass-by		Net Trips
				In	Out		%	Total			%	Trips	
Multifamily Mid-Rise Housing 3-10 story (Apartment/Condo/TH)	221	84	Dwelling Units	5.44			457		0	457	0%	0	457
Hotel	310	140	Rooms	8.36			1,170		0	1,170	10%	117	1,053
<b>Grand Totals:</b>							<b>1,627</b>	<b>0.0%</b>	<b>0</b>	<b>1,627</b>	<b>7%</b>	<b>117</b>	<b>1,510</b>

**TABLE 2 - AM Peak Hour Traffic Generation**

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by		Net Trips				
				In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total	
Multifamily Mid-Rise Housing 3-10 story (Apartment/Condo/TH)	221	84	Dwelling Units	0.36	0.26	0.74	8	22	30	0.0%	0	0	0	8	22	30	0%	0	8	22	30
Hotel	310	140	Rooms	0.47	0.59	0.41	39	27	66	0.0%	0	0	0	39	27	66	10%	7	35	24	59
<b>Grand Totals:</b>							<b>47</b>	<b>49</b>	<b>96</b>	<b>0.0%</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>47</b>	<b>49</b>	<b>96</b>	<b>7%</b>	<b>7</b>	<b>43</b>	<b>46</b>	<b>89</b>

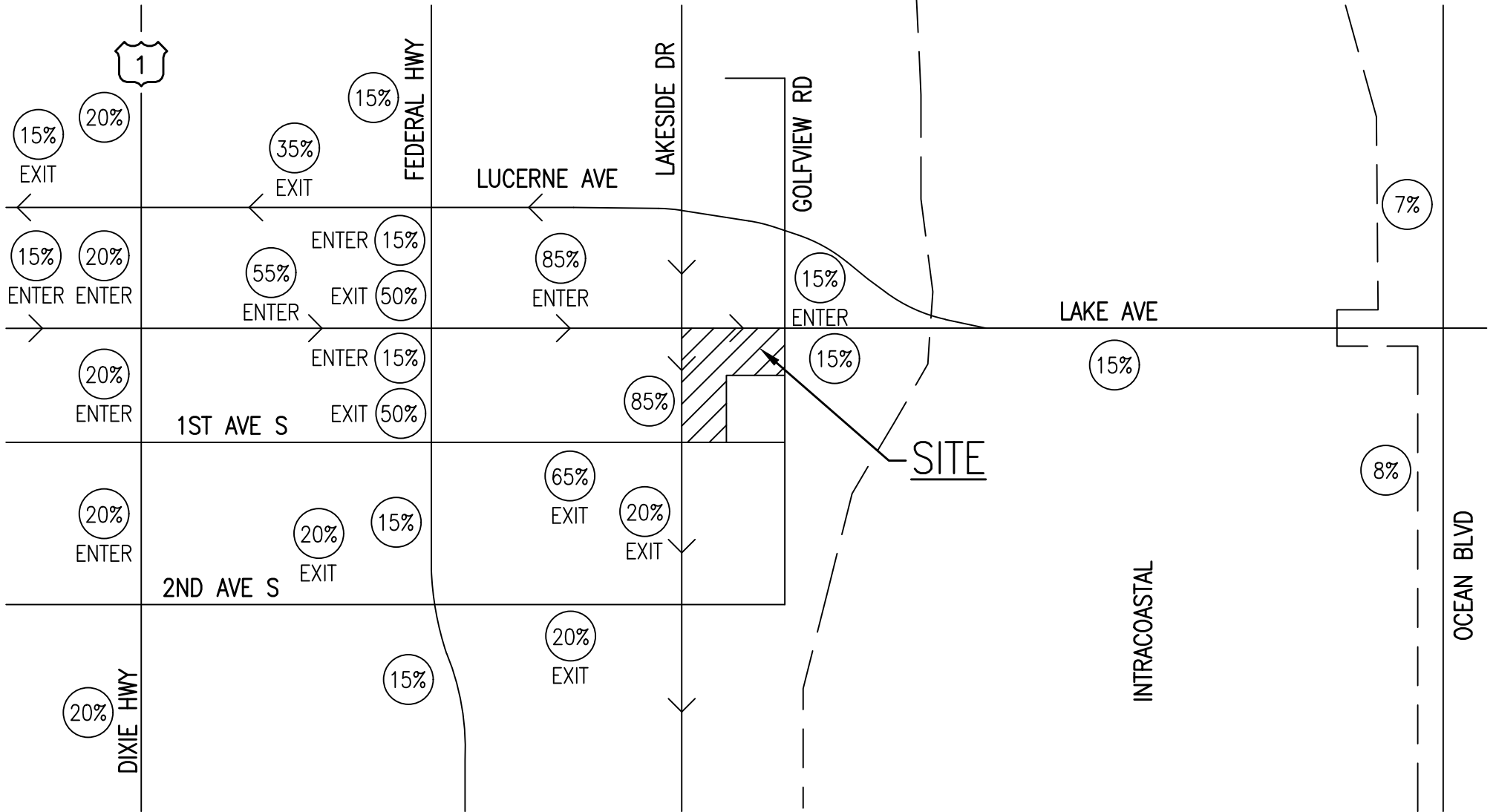
**TABLE 3 - PM Peak Hour Traffic Generation**

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips			Internalization			External Trips			Pass-by		Net Trips				
				In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total	
Multifamily Mid-Rise Housing 3-10 story (Apartment/Condo/TH)	221	84	Dwelling Units	0.44	0.61	0.39	23	14	37	0.0%	0	0	0	23	14	37	0%	0	23	14	37
Hotel	310	140	Rooms	0.6	0.51	0.49	43	41	84	0.0%	0	0	0	43	41	84	10%	8	39	37	76
<b>Grand Totals:</b>							<b>66</b>	<b>55</b>	<b>121</b>	<b>0.0%</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>66</b>	<b>55</b>	<b>121</b>	<b>7%</b>	<b>8</b>	<b>62</b>	<b>51</b>	<b>113</b>





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**LEGEND**

-  PROJECT DISTRIBUTION
-  ONE-WAY STREET

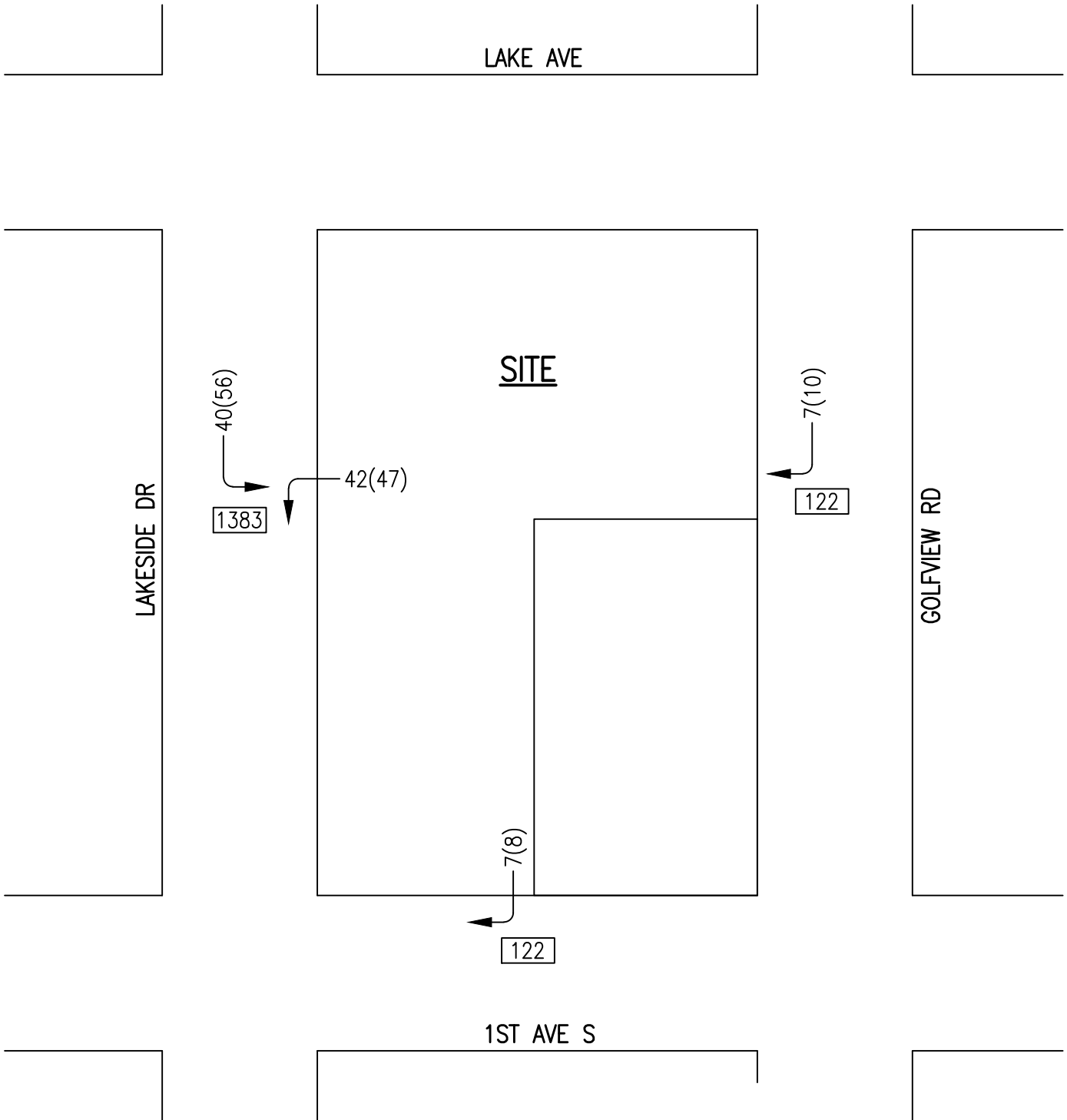
**FIGURE 1**  
**PROJECT DISTRIBUTION**

**GULFSTREAM HOTEL**  
 20-096 AL 08-25-20



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**FIGURE 2**  
**PROJECT TURNING MOVEMENTS**

**LEGEND**

- 40 A.M. PEAK HOUR TURNING MOVEMENT
- (56) P.M. PEAK HOUR TURNING MOVEMENT
- 1383 A.A.D.T.

**GULFSTREAM HOTEL**

20-096 AL 08-25-20  
REVISED: 02-21-22



# **APPENDIX A**

## **TEST 1 PART 2: LINK ANALYSIS**

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 4**  
**TEST 1 - PROJECT SIGNIFICANCE CALCULATION**  
**AM PEAK HOUR**

2024 BUILD OUT  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 43  
TOTAL AM PEAK HOUR PROJECT TRIPS (EXITING) = 46  
HOTEL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 35  
HOTEL AM PEAK HOUR PROJECT TRIPS (EXITING) = 24

STATION	ROADWAY**	FROM	TO	AM PEAK HOUR		ENTER/EXIT	EXISTING LANES	CLASS	LOS D STANDARD	COMMERCIAL HOTEL PROJECT			
				PROJECT DISTRIBUTION	TOTAL PROJECT TRIPS*					DIRECTIONAL HOTEL PROJECT TRIPS	TOTAL PROJECT IMPACT	HOTEL PROJECT IMPACT	PROJECT SIGNIFICANT
4813	LUCERNE AVENUE	A STREET	DIXIE HIGHWAY	15%	7	4	EXIT	2LO	II	2120	0.33%	0.19%	NO
4811	LUCERNE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	35%	16	8	EXIT	2LO	II	2120	0.75%	0.38%	NO
N/A	LUCERNE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	0%	0	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
N/A	LUCERNE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
4817	LAKE AVENUE	A STREET	DIXIE HIGHWAY	15%	6	5	ENTER	2LO	II	2120	0.28%	0.24%	NO
4815	LAKE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	55%	24	19	ENTER	2LO	II	2120	1.13%	0.90%	NO
<b>N/A</b>	<b>LAKE AVENUE</b>	<b>FEDERAL HIGHWAY</b>	<b>LAKESIDE DRIVE</b>	<b>85%</b>	<b>37</b>	<b>30</b>	<b>ENTER</b>	<b>2LO</b>	<b>II</b>	<b>2120</b>	<b>1.75%</b>	<b>1.42%</b>	<b>YES</b>
N/A	LAKE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
4801	LAKE AVENUE	GOLFVIEW ROAD	OCEAN BOULEVARD	15%	6	5	ENTER/EXIT	4D	II	1770	0.34%	0.28%	NO
4800	DIXIE HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	20%	9	7	ENTER/EXIT	4	II	1680	0.54%	0.42%	NO
N/A	DIXIE HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	20%	9	7	ENTER	4	II	1680	0.54%	0.42%	NO
4820	DIXIE HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	20%	9	7	ENTER	4	II	1680	0.54%	0.42%	NO
4820	DIXIE HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	20%	9	7	ENTER	4	II	1680	0.54%	0.42%	NO
4820	DIXIE HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	20%	9	7	ENTER/EXIT	4	II	1680	0.54%	0.42%	NO
4802	FEDERAL HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	15%	6	5	ENTER/EXIT	2	II	810	0.74%	0.62%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	15%	6	5	ENTER	2	II	810	0.74%	0.62%	NO
<b>N/A</b>	<b>FEDERAL HIGHWAY</b>	<b>LUCERNE AVENUE</b>	<b>LAKE AVENUE</b>	<b>50%</b>	<b>23</b>	<b>12</b>	<b>EXIT</b>	<b>2</b>	<b>II</b>	<b>810</b>	<b>2.84%</b>	<b>1.48%</b>	<b>YES</b>
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	15%	6	5	ENTER	2	II	810	0.74%	0.62%	NO
<b>4824</b>	<b>FEDERAL HIGHWAY</b>	<b>LAKE AVENUE</b>	<b>1ST AVENUE SOUTH</b>	<b>50%</b>	<b>23</b>	<b>12</b>	<b>EXIT</b>	<b>2</b>	<b>II</b>	<b>810</b>	<b>2.84%</b>	<b>1.48%</b>	<b>YES</b>
4824	FEDERAL HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	15%	6	5	ENTER/EXIT	2	II	810	0.74%	0.62%	NO
4824	FEDERAL HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	15%	6	5	ENTER/EXIT	2	II	810	0.74%	0.62%	NO

NOTES:

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\*\* 1ST AVENUE SOUTH, 2ND AVENUE SOUTH, LAKESIDE DRIVE, AND GOLFVIEW ROAD WERE NOT EVALUATED AS PART OF THIS STUDY AS THESE ARE NON-THOROUGHFARE ROADS WITH LOW VOLUMES AND NO OPERATIONAL ISSUES ARE ANTICIPATED.

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 5  
TEST 1 - PROJECT SIGNIFICANCE CALCULATION  
PM PEAK HOUR**

2024 BUILD OUT  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 62  
TOTAL PM PEAK HOUR PROJECT TRIPS (EXITING) = 51  
HOTEL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 39  
HOTEL PM PEAK HOUR PROJECT TRIPS (EXITING) = 37

STATION	ROADWAY**	FROM	TO	PM PEAK HOUR		ENTER/EXIT	EXISTING LANES	CLASS	LOS D STANDARD	COMMERCIAL HOTEL PROJECT		
				PROJECT DISTRIBUTION	TOTAL PROJECT TRIPS*					HOTEL PROJECT TRIPS	TOTAL PROJECT IMPACT	HOTEL PROJECT IMPACT
4813	LUCERNE AVENUE	A STREET	DIXIE HIGHWAY	15%	8	EXIT	2LO	II	2120	0.38%	0.28%	NO
4811	LUCERNE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	35%	18	EXIT	2LO	II	2120	0.85%	0.61%	NO
N/A	LUCERNE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	0%	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
N/A	LUCERNE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
4817	LAKE AVENUE	A STREET	DIXIE HIGHWAY	15%	9	ENTER	2LO	II	2120	0.42%	0.28%	NO
4815	LAKE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	55%	34	ENTER	2LO	II	2120	1.60%	0.99%	NO
<b>N/A</b>	<b>LAKE AVENUE</b>	<b>FEDERAL HIGHWAY</b>	<b>LAKESIDE DRIVE</b>	<b>85%</b>	<b>53</b>	<b>ENTER</b>	<b>2LO</b>	<b>II</b>	<b>2120</b>	<b>2.50%</b>	<b>1.56%</b>	<b>YES</b>
N/A	LAKE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2120	0.00%	0.00%	NO
4801	LAKE AVENUE	GOLFVIEW ROAD	OCEAN BOULEVARD	15%	9	ENTER/EXIT	4D	II	1770	0.51%	0.34%	NO
4800	DIXIE HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	20%	12	ENTER/EXIT	4	II	1680	0.71%	0.48%	NO
N/A	DIXIE HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	20%	12	ENTER	4	II	1680	0.71%	0.48%	NO
4820	DIXIE HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	20%	12	ENTER	4	II	1680	0.71%	0.48%	NO
4820	DIXIE HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	20%	12	ENTER	4	II	1680	0.71%	0.48%	NO
4820	DIXIE HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	20%	12	ENTER/EXIT	4	II	1680	0.71%	0.48%	NO
4802	FEDERAL HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	15%	9	ENTER/EXIT	2	II	810	1.11%	0.74%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	15%	9	ENTER	2	II	810	1.11%	0.74%	NO
<b>N/A</b>	<b>FEDERAL HIGHWAY</b>	<b>LUCERNE AVENUE</b>	<b>LAKE AVENUE</b>	<b>50%</b>	<b>26</b>	<b>EXIT</b>	<b>2</b>	<b>II</b>	<b>810</b>	<b>3.21%</b>	<b>2.35%</b>	<b>YES</b>
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	15%	9	ENTER	2	II	810	1.11%	0.74%	NO
<b>4824</b>	<b>FEDERAL HIGHWAY</b>	<b>LAKE AVENUE</b>	<b>1ST AVENUE SOUTH</b>	<b>50%</b>	<b>26</b>	<b>EXIT</b>	<b>2</b>	<b>II</b>	<b>810</b>	<b>3.21%</b>	<b>2.35%</b>	<b>YES</b>
4824	FEDERAL HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	15%	9	ENTER/EXIT	2	II	810	1.11%	0.74%	NO
4824	FEDERAL HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	15%	9	ENTER/EXIT	2	II	810	1.11%	0.74%	NO

**NOTES:**

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**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 6**  
**AM PEAK HOUR - TEST 1**

2024 BUILD OUT  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 43  
TOTAL AM PEAK HOUR PROJECT TRIPS (EXITING) = 46  
HOTEL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 35  
HOTEL AM PEAK HOUR PROJECT TRIPS (EXITING) = 24

ROADWAY	FROM	TO	DIRECTION	AM PEAK HOUR COUNT YEAR	2020 AM PEAK HOUR TRAFFIC	PROJECT DISTRIBUTION	AM PEAK HOUR HOTEL PROJECT TRIPS	LINK GROWTH RATE	LINK GROWTH	MAJOR PROJECT	1.0% GROWTH	TOTAL BACKGROUND TRAFFIC USED	2024 TOTAL TRAFFIC	ASSURED LANES	CLASS	LOS D	MEETS LOS STD.
LAKE AVENUE*	FEDERAL HIGHWAY	LAKESIDE DRIVE	EB	2021	602	85%	30	1%	18	49	18	67	699	2LO	II	2120	YES
FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	SB	2020	181	50%	12	1%	7	26	7	33	226	2	II	810	YES
FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	SB	2020	181	50%	12	1%	7	38	7	45	238	2	II	810	YES

**NOTES:**

\* FOR LAKE AVENUE BETWEEN FEDERAL HIGHWAY AND LAKESIDE DRIVE: LINK GROWTH RATE ASSUMED TO BE 1%, AS THE RATE WAS NOT AVAILABLE. 2021 PEAK HOUR TRAFFIC CALCULATED BASED ON LAKE AVENUE AT FEDERAL INTERSECTION VOLUMES.

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 7**  
**PM PEAK HOUR - TEST 1**

2024 BUILD OUT  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 62  
TOTAL PM PEAK HOUR PROJECT TRIPS (EXITING) = 51  
HOTEL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 39  
HOTEL PM PEAK HOUR PROJECT TRIPS (EXITING) = 37

ROADWAY	FROM	TO	DIRECTION	AM PEAK HOUR COUNT YEAR	2020 PM PEAK HOUR TRAFFIC	PROJECT DISTRIBUTION	PM PEAK HOUR HOTEL PROJECT TRIPS	LINK GROWTH RATE	LINK GROWTH	MAJOR PROJECT	1.0% GROWTH	TOTAL BACKGROUND TRAFFIC USED	2024 TOTAL TRAFFIC	ASSURED LANES	CLASS	LOS D	MEETS LOS STD.
LAKE AVENUE*	FEDERAL HIGHWAY	LAKESIDE DRIVE	EB	2021	419	85%	33	1%	13	91	13	104	556	2LO	II	2120	YES
FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	SB	2020	365	50%	19	1%	15	27	15	42	426	2	II	810	YES
FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	SB	2020	365	50%	19	1%	15	90	15	105	489	2	II	810	YES

**NOTES:**

\* FOR LAKE AVENUE BETWEEN FEDERAL HIGHWAY AND LAKESIDE DRIVE: LINK GROWTH RATE ASSUMED TO BE 1%, AS THE RATE WAS NOT AVAILABLE. 2021 PEAK HOUR TRAFFIC CALCULATED BASED ON LAKE AVENUE AT FEDERAL INTERSECTION VOLUMES.

# **APPENDIX B**

**PBC TPS DATABASE**  
**2024 BUILD-OUT**  
**LINK & INTERSECTION VOLUME SHEETS**  
**(WITH APPROVED COMMITTED TRIPS)**

FLORIDA DEPARTMENT OF TRANSPORTATION  
 TRANSPORTATION STATISTICS OFFICE  
 2020 HISTORICAL AADT REPORT

COUNTY: 93 - PALM BEACH

SITE: 0221 - SR 5 / OLIVE AVE - S OF LAKE & LUCERNE AVE (COUNTY LINK: 4824)

YEAR	AADT		DIRECTION 1		DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	8400	C	N 4400		S 4000	9.00	57.60	4.60
2019	8800	C	N 4700		S 4100	9.00	58.80	2.90
2018	9200	C	N 4600		S 4600	9.00	55.50	2.90
2017	9000	C	N 4600		S 4400	9.00	55.40	2.90
2016	9000	C	N 4500		S 4500	9.00	55.30	6.90
2015	7900	C	N 3900		S 4000	9.00	55.60	6.90
2014	8000	C	N 4100		S 3900	9.00	55.40	6.90
2013	8900	C	N 4500		S 4400	9.00	58.50	0.10
2012	8800	C	N 4500		S 4300	9.00	59.30	0.10
2011	7200	C	N 3500		S 3700	9.00	58.80	3.30
2010	7800	C	N 3900		S 3900	10.86	60.20	3.30
2009	8500	C	N 4300		S 4200	11.11	60.16	3.30
2008	9900	C	N 4900		S 5000	10.95	57.63	7.90
2007	10100	C	N 5000		S 5100	10.80	57.68	7.90
2006	10900	C	N 5700		S 5200	10.77	57.38	2.50
2005	11200	C	N 5600		S 5600	10.80	56.50	4.30

Based on 2017 and 2020 volumes, use 1% growth rate for a conservative analysis.

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE  
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE  
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN  
 \*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

County: 93  
 Station: 0221  
 Description: SR 5 / OLIVE AVE - S OF LAKE & LUCERNE AVE (COUNTY  
 Start Date: 10/01/2020  
 Start Time: 0000

Time	Direction: N					Direction: S					Combined	
	1st	2nd	3rd	4th	Total	1st	2nd	3rd	4th	Total	Total	
0000	9	8	9	7	33	13	9	7	1	30	63	
0100	6	3	3	3	15	2	3	8	3	16	31	
0200	5	2	2	0	9	0	3	5	3	11	20	
0300	2	1	1	4	8	2	3	1	2	8	16	
0400	4	6	1	4	15	3	4	1	3	11	26	
0500	6	11	14	13	44	3	7	9	12	31	75	
0600	20	25	34	45	124	9	27	31	23	90	214	
0700	45	55	65	82	247	39	39	50	51	179	426	
0800	73	67	78	83	301	59	41	42	39	181	482	
0900	69	57	68	65	259	39	47	45	45	176	435	
1000	59	65	66	63	253	44	42	46	42	174	427	
1100	59	58	49	63	229	69	54	51	67	241	470	
1200	54	72	77	80	283	54	57	68	66	245	528	
1300	59	88	59	56	262	67	41	56	66	230	492	
1400	68	47	87	85	287	61	64	78	70	273	560	
1500	58	76	77	76	287	67	57	83	69	276	563	
1600	80	78	77	80	315	70	90	81	108	349	664	
1700	72	69	71	87	299	89	98	99	79	365	664	
1800	60	62	67	64	253	67	75	63	49	254	507	
1900	51	68	62	52	233	50	51	71	47	219	452	
2000	41	34	41	35	151	43	45	40	38	166	317	
2100	38	38	27	20	123	37	25	30	18	110	233	
2200	22	26	22	12	82	17	28	19	17	81	163	
2300	3	8	14	11	36	16	18	14	7	55	91	

24-Hour Totals: 4148 3771 7919

Peak Volume Information

	Direction: N		Direction: S		Combined Directions	
	Hour	Volume	Hour	Volume	Hour	Volume
A.M.	800	301	730	201	745	493
P.M.	1600	315	1645	394	1645	686
Daily	1600	315	1645	394	1645	686

Truck Percentage 4.34 4.96 4.63

Classification Summary Database

Dir	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TotTrk	TotVol
N	20	3189	759	19	141	3	0	14	3	0	0	0	0	0	0	180	4148
S	22	2691	870	18	150	4	0	15	0	0	0	0	0	0	1	187	3771



Generated by SPS 5.0.53P

Input Data

ROAD NAME: Lake Ave STATION: 0  
 CURRENT YEAR: 2020 FROM: N Federal Hwy  
 ANALYSIS YEAR: 2024 TO: Midpoint  
 GROWTH RATE: 0% COUNT DATE: NA  
 PSF: 0

Report Created  
 02/21/2022

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	1	0	12	6	6	NR	0%
Lake Ave/Palm Way Mixed Use	0	0	0	0	0	0	Res	100%
Gulfstream Hotel	81	37	44	92	52	40	NR	0%
Lake Worth Middle School	8	4	3	2	1	1	NR	77.20%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
Watertower Commons	13	5	9	33	17	15	NR	25%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	18	3	15	34	20	14	Res	0%
Total Committed Developments	123	50	71	174	96	76		
Total Committed Residential	19	3	15	35	20	14		
Total Committed Non-Residential	104	47	56	139	76	62		
Double Count Reduction	5	1	4	9	5	4		
Total Discounted Committed Developments	118	49	67	165	91	72		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	118	49	67	165	91	72		
Growth Volume Used	118	49	67	165	91	72		
Total Volume	118	49	67	165	91	72		

Lanes	3LO					
LOS D Capacity	3530	3220	3220	3530	3220	3220
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	3530	3400	3400	3530	3400	3400
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

A B C D E F G H I

Input Data

ROAD NAME: Lake Ave STATION: 0  
 CURRENT YEAR: 2020 FROM: Midpoint  
 ANALYSIS YEAR: 2024 TO: Lucerne Ave  
 GROWTH RATE: 0% COUNT DATE: NA  
 PSF: 0

Report Created  
 02/21/2022

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	1	0	12	6	6	NR	0%
Lake Ave/Palm Way Mixed Use	0	0	0	0	0	0	Res	100%
Gulfstream Hotel	81	37	44	92	52	40	NR	0%
Lake Worth Middle School	8	4	3	2	1	1	NR	77.20%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
Watertower Commons	13	5	9	33	17	15	NR	25%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	18	3	15	34	20	14	Res	0%
Total Committed Developments	123	50	71	174	96	76		
Total Committed Residential	19	3	15	35	20	14		
Total Committed Non-Residential	104	47	56	139	76	62		
Double Count Reduction	5	1	4	9	5	4		
Total Discounted Committed Developments	118	49	67	165	91	72		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	118	49	67	165	91	72		
Growth Volume Used	118	49	67	165	91	72		
Total Volume	118	49	67	165	91	72		

Lanes	3LO					
LOS D Capacity	3530	3220	3220	3530	3220	3220
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	3530	3400	3400	3530	3400	3400
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Federal Hwy STATION: 0  
 CURRENT YEAR: 2020 FROM: Midpoint  
 ANALYSIS YEAR: 2024 TO: Lucerne Ave  
 GROWTH RATE: 0% COUNT DATE: NA  
 PSF: 0

Report Created  
 02/21/2022

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
Maritime Academy	0	0	0	0	0	0	NR	100%
ADOPT A FAMILY	0	0	0	0	0	0	NR	100%
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	0	1	12	6	6	NR	0%
Gulfstream Hotel	14	8	6	16	7	9	NR	0%
Lake Worth Middle School	29	16	13	8	4	4	NR	77.20%
Walmart-Palm Springs	1	0	0	4	2	2	NR	75%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	10	2	8	19	11	8	Res	0%
Total Committed Developments	57	26	28	60	30	29		
Total Committed Residential	11	2	8	20	11	8		
Total Committed Non-Residential	46	24	20	40	19	21		
Double Count Reduction	3	1	2	5	3	2		
Total Discounted Committed Developments	54	25	26	55	27	27		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	54	25	26	55	27	27		
Growth Volume Used	54	25	26	55	27	27		
Total Volume	54	25	26	55	27	27		

Lanes	2L					
LOS D Capacity	1480	810	810	1480	810	810
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	1570	860	860	1570	860	860
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

A B C D E F G H I

Input Data

ROAD NAME: Federal Hwy STATION: 0  
 CURRENT YEAR: 2020 FROM: Lake Ave  
 ANALYSIS YEAR: 2024 TO: Midpoint  
 GROWTH RATE: 0% COUNT DATE: NA  
 PSF: 0

Report Created  
 02/21/2022

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments Type % Complete

Maritime Academy	0	0	0	0	0	0	NR	100%
ADOPT A FAMILY	0	0	0	0	0	0	NR	100%
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	0	1	12	6	6	NR	0%
Gulfstream Hotel	14	8	6	16	7	9	NR	0%
Lake Worth Middle School	29	16	13	8	4	4	NR	77.20%
Walmart-Palm Springs	1	0	0	4	2	2	NR	75%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	10	2	8	19	11	8	Res	0%
Total Committed Developments	57	26	28	60	30	29		
Total Committed Residential	11	2	8	20	11	8		
Total Committed Non-Residential	46	24	20	40	19	21		
Double Count Reduction	3	1	2	5	3	2		
Total Discounted Committed Developments	54	25	26	55	27	27		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	54	25	26	55	27	27		
Growth Volume Used	54	25	26	55	27	27		
Total Volume	54	25	26	55	27	27		

Lanes

	2L					
LOS D Capacity	1480	810	810	1480	810	810
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	1570	860	860	1570	860	860
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>	<b>G</b>	<b>H</b>	<b>I</b>
	Input Data							
	ROAD NAME: S Federal Hwy			STATION: 4824			Report Created	
	CURRENT YEAR: 2020			FROM: Midpoint			02/21/2022	
	ANALYSIS YEAR: 2024			TO: Lake Ave				
	GROWTH RATE: 0%			COUNT DATE: NA				
				PSF: 0				

Time Period Direction	Link Analysis					
	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
Maritime Academy	0	0	0	0	0	0	NR	100%
ADOPT A FAMILY	0	0	0	0	0	0	NR	100%
Romano Eriksen & Cronin Law Offices	0	0	0	0	0	0	Res	100%
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	0	1	12	6	6	NR	0%
Gulfstream Hotel	19	9	10	22	12	9	NR	0%
Lake Worth Middle School	11	6	5	3	2	2	NR	77.20%
Walmart-Palm Springs	1	0	0	4	2	2	NR	75%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
Watertower Commons	53	34	19	131	62	69	NR	25%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	5	1	4	9	5	3	Res	0%
Total Committed Developments	92	50	39	182	89	91		
Total Committed Residential	6	1	4	10	5	3		
Total Committed Non-Residential	86	49	35	172	84	88		
Double Count Reduction	2	0	1	3	1	1		
Total Discounted Committed Developments	90	50	38	179	88	90		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	90	50	38	179	88	90		
Growth Volume Used	90	50	38	179	88	90		
Total Volume	90	50	38	179	88	90		

Lanes	2L					
LOS D Capacity	1480	880	880	1480	880	880
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	1570	880	880	1570	880	880
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

Input Data

ROAD NAME: S Federal Hwy STATION: 4824  
 CURRENT YEAR: 2020 FROM: 6th Ave S  
 ANALYSIS YEAR: 2024 TO: Midpoint  
 GROWTH RATE: 0% COUNT DATE: NA  
 PSF: 0

Report Created  
 02/21/2022

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Direction						
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
Maritime Academy	0	0	0	0	0	0	NR	100%
ADOPT A FAMILY	0	0	0	0	0	0	NR	100%
Romano Eriksen & Cronin Law Offices	0	0	0	0	0	0	Res	100%
The Promenade at Lake Worth	0	0	0	0	0	0	NR	100%
Lucerne / "L" Street Mixed Use	2	0	1	12	6	6	NR	0%
Lake Worth Middle School	11	6	5	3	2	2	NR	77.20%
Walmart-Palm Springs	1	0	0	4	2	2	NR	75%
The Village at Lake Worth	0	0	0	0	0	0	Res	100%
Watertower Commons	53	34	19	131	62	69	NR	25%
North O Street BandB Hotel	1	0	0	1	0	0	Res	0%
The Bohemian	5	1	4	9	5	3	Res	0%
Total Committed Developments	73	41	29	160	77	82		
Total Committed Residential	6	1	4	10	5	3		
Total Committed Non-Residential	67	40	25	150	72	79		
Double Count Reduction	2	0	1	3	1	1		
Total Discounted Committed Developments	71	41	28	157	76	81		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	71	41	28	157	76	81		
Growth Volume Used	71	41	28	157	76	81		
Total Volume	71	41	28	157	76	81		

Lanes	2L					
LOS D Capacity	1480	880	880	1480	880	880
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	1570	880	880	1570	880	880
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

A B C D E F G H I J K L M N O

Input Data

E-W Street: Lake Ave                      COUNT DATE: 05/31/2012                      Report Created  
 N-S STREET: S Federal Hwy                      CURRENT YEAR: 2012                      08/25/2020  
 TIME PERIOD: AM                      ANALYSIS YEAR: 2024  
 GROWTH RATE: -1.92%                      PSF: 1.05  
 SIGNAL ID: 37450

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	53	370	42	0	0	0	0	205	106	142	253	0		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	56	389	44	0	0	0	0	215	111	149	266	0		
Committed Developments														
Lake Worth Middle School	4	4	0	3	3	0	0	6	4	0	5	3	NR	77.20%
Walmart-Palm Springs	1	0	0	0	0	0	0	1	0	0	1	1	NR	72%
Lucerne / "L" Street Mixed Use	0	0	0	0	0	0	0	0	0	1	1	1	NR	0%
Total Committed Developments	5	4	0	3	3	0	0	7	4	1	7	5		
Total Committed Residential	0	0	0	0	0	0	0	0	0	0	0	0		
Total Committed Non-Residential	5	4	0	3	3	0	0	7	4	1	7	5		
Double Count Reduction	0	0	0	0	0	0	0	0	0	0	0	0		
Total Discounted Committed	5	4	0	3	3	0	0	7	4	1	7	5		
Historical Growth	-12	-81	-9	0	0	0	0	-45	-23	-31	-55	0		
Comm Dev+1% Growth	12	53	6	3	3	0	0	34	18	20	41	5		
Growth Volume Used	12	53	6	3	3	0	0	34	18	20	41	5		
Total Volume	68	442	50	3	3	0	0	249	129	169	307	5		

Input Data

E-W Street: Lake Ave                      COUNT DATE: 05/31/2012                      Report Created  
 N-S STREET: S Federal Hwy                      CURRENT YEAR: 2012                      08/25/2020  
 TIME PERIOD: PM                      ANALYSIS YEAR: 2024  
 GROWTH RATE: -1.92%                      PSF: 1.05  
 SIGNAL ID: 37450

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	70	351	49	0	0	0	0	253	111	118	307	0		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	74	369	51	0	0	0	0	266	117	124	322	0		
Committed Developments														
Lake Worth Middle School	1	1	0	1	1	0	0	2	1	0	2	1	NR	77.20%
Walmart-Palm Springs	2	0	0	0	0	0	0	2	0	0	3	3	NR	72%
Lucerne / "L" Street Mixed Use	6	0	0	0	0	6	0	6	0	6	6	6	NR	0%
Total Committed Developments	9	1	0	1	1	6	0	10	1	6	11	10		
Total Committed Residential	0	0	0	0	0	0	0	0	0	0	0	0		
Total Committed Non-Residential	9	1	0	1	1	6	0	10	1	6	11	10		
Double Count Reduction	0	0	0	0	0	0	0	0	0	0	0	0		
Total Discounted Committed	9	1	0	1	1	6	0	10	1	6	11	10		
Historical Growth	-15	-77	-11	0	0	0	0	-55	-24	-26	-67	0		
Comm Dev+1% Growth	18	48	6	1	1	6	0	44	16	22	52	10		
Growth Volume Used	18	48	6	1	1	6	0	44	16	22	52	10		
Total Volume	92	417	57	1	1	6	0	310	133	146	374	10		



A B C D E F G H I J K L M N O

Input Data

E-W Street: Lake Worth Rd      COUNT DATE: 09/29/2014      Report Created  
 N-S STREET: S Ocean Blvd      CURRENT YEAR: 2014      08/25/2020  
 TIME PERIOD: AM      ANALYSIS YEAR: 2024  
 GROWTH RATE: 1.69%      PSF: 1.28  
 SIGNAL ID: 37475

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	417	55	191	6	23	5	76	179	7	4	50	88		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	534	70	244	8	29	6	97	229	9	5	64	113		
Committed Developments														
Palm Beach Oceanfront Inn	0	0	0	0	0	0	1	0	0	0	0	0	Res	58%
Total Committed Developments	0	0	0	0	0	0	1	0	0	0	0	0		
Total Committed Residential	0	0	0	0	0	0	1	0	0	0	0	0		
Total Committed Non-Residential	0	0	0	0	0	0	0	0	0	0	0	0		
Double Count Reduction	0	0	0	0	0	0	0	0	0	0	0	0		
Total Discounted Committed	0	0	0	0	0	0	1	0	0	0	0	0		
Historical Growth	97	13	45	1	5	1	18	42	2	1	12	21		
Comm Dev+1% Growth	56	7	26	1	3	1	11	24	1	1	7	12		
Growth Volume Used	97	13	45	1	5	1	18	42	2	1	12	21		
Total Volume	631	83	289	9	34	7	115	271	11	6	76	134		

Input Data

E-W Street: Lake Worth Rd      COUNT DATE: 09/29/2014      Report Created  
 N-S STREET: S Ocean Blvd      CURRENT YEAR: 2014      08/25/2020  
 TIME PERIOD: PM      ANALYSIS YEAR: 2024  
 GROWTH RATE: 1.69%      PSF: 1.28  
 SIGNAL ID: 37475

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	146	114	100	13	81	6	197	135	9	8	130	288		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	187	146	128	17	104	8	252	173	12	10	166	369		
Committed Developments														
Palm Beach Oceanfront Inn	0	0	1	0	0	0	0	0	0	0	0	0	Res	58%
Total Committed Developments	0	0	1	0	0	0	0	0	0	0	0	0		
Total Committed Residential	0	0	1	0	0	0	0	0	0	0	0	0		
Total Committed Non-Residential	0	0	0	0	0	0	0	0	0	0	0	0		
Double Count Reduction	0	0	0	0	0	0	0	0	0	0	0	0		
Total Discounted Committed	0	0	1	0	0	0	0	0	0	0	0	0		
Historical Growth	34	27	23	3	19	1	46	32	2	2	30	67		
Comm Dev+1% Growth	20	15	14	2	11	1	26	18	1	1	17	39		
Growth Volume Used	34	27	23	3	19	1	46	32	2	2	30	67		
Total Volume	221	173	151	20	123	9	298	205	14	12	196	436		

# **APPENDIX C**

## **TEST 1 PART 1: INTERSECTION ANALYSIS**

SIGNAL ID	E-W STREET	N-S STREET	DATE	TIME	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	TOTAL
62455	Kimberly Bl	SR 7	11/28/2018	7:45 AM	0	32	1754	81	2	79	1738	29	0	51	29	54	0	126	15	55	4045
62455	Kimberly Bl	SR 7	11/28/2018	1:00 PM	3	63	1466	183	20	64	1375	25	2	29	9	43	0	122	11	58	3473
62455	Kimberly Bl	SR 7	11/28/2018	4:45 PM	0	52	1891	182	12	69	2057	23	0	43	7	34	0	150	28	78	4626
62460	Kimberly Bl/Century Villag	Lyons Rd	5/25/2021	7:30 AM	0	26	920	57	1	10	854	40	0	90	20	68	1	124	47	35	2293
62460	Kimberly Bl/Century Villag	Lyons Rd	5/25/2021	1:00 PM	6	54	776	115	1	38	853	76	0	71	63	51	0	176	57	47	2384
62460	Kimberly Bl/Century Villag	Lyons Rd	11/27/2018	7:30 AM	1	33	1139	63	2	36	1228	76	0	157	21	117	0	145	42	67	3127
62460	Kimberly Bl/Century Villag	Lyons Rd	11/27/2018	12:30 PM	2	78	818	139	2	55	838	63	0	91	69	82	0	207	62	69	2575
62460	Kimberly Bl/Century Villag	Lyons Rd	11/27/2018	5:00 PM	0	111	1303	126	3	59	1881	117	0	80	63	90	0	205	65	36	4139
62460	Kimberly Bl/Century Villag	Lyons Rd	5/25/2021	5:00 PM	2	76	1081	124	0	67	1151	81	0	80	62	76	0	132	45	31	3008
53051	Kings Point Shopping Cen	Jog Rd	11/13/2017	7:45 AM	20	45	1004	5	1	0	2224	64	0	16	0	48	0	0	0	10	3437
53051	Kings Point Shopping Cen	Jog Rd	11/13/2017	12:00 PM	20	101	1199	9	0	0	1086	114	0	108	1	88	0	0	0	48	2774
53051	Kings Point Shopping Cen	Jog Rd	11/13/2017	4:45 PM	3	27	1803	6	0	0	965	43	0	38	0	64	0	0	0	26	2975
14370	Kyoto Gardens Dr	Alt A1A/SR 811	2/12/2019	7:30 AM	1	70	1247	55	2	68	1169	145	0	158	134	134	1	10	24	21	3239
14370	Kyoto Gardens Dr	Alt A1A/SR 811	2/12/2019	12:30 PM	4	99	814	80	0	36	423	92	0	138	189	76	4	70	155	67	2247
14370	Kyoto Gardens Dr	Alt A1A/SR 811	2/12/2019	4:45 PM	8	201	1183	57	0	60	747	143	1	206	83	61	1	78	216	115	3160
14370	Kyoto Gardens Dr	Alt A1A/SR 811	9/14/2016	7:30 AM	0	40	1093	55	0	48	878	103	0	111	106	75	0	8	13	18	2548
14370	Kyoto Gardens Dr	Alt A1A/SR 811	9/14/2016	12:30 PM	12	67	779	71	1	30	522	73	0	111	96	31	0	74	120	69	2056
14370	Kyoto Gardens Dr	Alt A1A/SR 811	9/14/2016	4:45 PM	0	127	1012	43	0	32	701	78	0	150	91	63	2	72	160	83	2614
12651	Kyoto Gardens Dr	Military Tr	3/5/2020	7:30 AM	0	210	1133	278	0	346	1038	17	0	0	0	0	0	95	39	70	3226
12651	Kyoto Gardens Dr	Military Tr	3/5/2020	11:45 AM	2	118	828	191	4	119	759	17	0	0	0	0	0	198	49	153	2438
12651	Kyoto Gardens Dr	Military Tr	3/5/2020	5:00 PM	1	282	1169	180	1	120	1091	27	0	0	0	0	0	368	228	269	3736
12651	Kyoto Gardens Dr	Military Tr	4/26/2018	7:30 AM	1	94	1109	229	1	299	1138	22	0	0	0	0	10	105	30	52	3090
12651	Kyoto Gardens Dr	Military Tr	4/26/2018	11:45 AM	2	136	722	140	2	176	880	4	0	0	0	0	3	193	37	142	2437
12651	Kyoto Gardens Dr	Military Tr	4/26/2018	5:00 PM	1	299	1017	139	2	153	919	9	0	0	0	0	0	297	198	233	3267
37475	Lake Ave	Ocean Bl/A1A	10/26/2017	7:45 AM	0	90	186	13	0	4	90	103	8	446	53	292	0	5	47	14	1351
37475	Lake Ave	Ocean Bl/A1A	10/26/2017	12:00 PM	2	171	182	20	0	18	136	248	7	174	89	149	0	22	58	26	1302
37475	Lake Ave	Ocean Bl/A1A	10/26/2017	3:45 PM	1	322	155	17	0	20	189	423	10	160	97	136	1	20	108	20	1679
37325	Lake Ave	US-1 DIXIE HWY	4/1/2021	7:30 AM	0	0	457	44	0	161	373	0	0	143	263	116	0	0	0	0	1557
37325	Lake Ave	US-1 DIXIE HWY	4/1/2021	11:30 AM	0	0	600	90	7	185	476	0	0	165	263	105	0	0	0	0	1891
37325	Lake Ave	US-1 DIXIE HWY	4/1/2021	4:45 PM	0	0	1008	80	5	140	758	0	0	196	226	145	0	0	0	0	2558
37450	Lake Ave	US-1 FEDERREAL HWY	5/11/2021	7:30 AM	0	0	231	99	0	115	212	0	0	40	388	27	0	0	0	0	1112
37450	Lake Ave	US-1 FEDERREAL HWY	5/11/2021	12:00 PM	0	0	152	82	0	113	192	0	0	56	314	31	0	0	0	0	940
37450	Lake Ave	US-1 FEDERREAL HWY	5/11/2021	4:30 PM	0	0	240	52	0	97	346	0	0	51	270	51	0	0	0	0	1107
53500	Lake Bl	Military Tr	5/10/2021	7:45 AM	4	36	738	0	18	0	1710	44	0	98	0	104	0	0	0	0	2752
53500	Lake Bl	Military Tr	5/10/2021	4:00 PM	1	78	1526	0	13	0	1059	101	0	69	0	39	0	0	0	0	2886
53500	Lake Bl	Military Tr	4/30/2019	7:30 AM	3	39	767	0	16	0	2394	50	0	106	0	143	0	0	0	0	3518

2019 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL  
 CATEGORY: 9301 CEN.-W OF US1 TO SR7

WEEK	DATES	SF	MOCF: 0.97 PSCF
1	01/01/2019 - 01/05/2019	1.00	1.03
2	01/06/2019 - 01/12/2019	1.00	1.03
3	01/13/2019 - 01/19/2019	1.00	1.03
4	01/20/2019 - 01/26/2019	0.99	1.02
* 5	01/27/2019 - 02/02/2019	0.98	1.01
* 6	02/03/2019 - 02/09/2019	0.97	1.00
* 7	02/10/2019 - 02/16/2019	0.96	0.99
* 8	02/17/2019 - 02/23/2019	0.96	0.99
* 9	02/24/2019 - 03/02/2019	0.96	0.99
*10	03/03/2019 - 03/09/2019	0.96	0.99
*11	03/10/2019 - 03/16/2019	0.96	0.99
*12	03/17/2019 - 03/23/2019	0.96	0.99
*13	03/24/2019 - 03/30/2019	0.96	0.99
*14	03/31/2019 - 04/06/2019	0.97	1.00
*15	04/07/2019 - 04/13/2019	0.97	1.00
*16	04/14/2019 - 04/20/2019	0.97	1.00
*17	04/21/2019 - 04/27/2019	0.98	1.01
18	04/28/2019 - 05/04/2019	0.99	1.02
19	05/05/2019 - 05/11/2019	0.99	1.02
20	05/12/2019 - 05/18/2019	1.00	1.03
21	05/19/2019 - 05/25/2019	1.01	1.04
22	05/26/2019 - 06/01/2019	1.02	1.05
23	06/02/2019 - 06/08/2019	1.02	1.05
24	06/09/2019 - 06/15/2019	1.03	1.06
25	06/16/2019 - 06/22/2019	1.04	1.07
26	06/23/2019 - 06/29/2019	1.04	1.07
27	06/30/2019 - 07/06/2019	1.05	1.08
28	07/07/2019 - 07/13/2019	1.05	1.08
29	07/14/2019 - 07/20/2019	1.06	1.09
30	07/21/2019 - 07/27/2019	1.05	1.08
31	07/28/2019 - 08/03/2019	1.04	1.07
32	08/04/2019 - 08/10/2019	1.03	1.06
33	08/11/2019 - 08/17/2019	1.03	1.06
34	08/18/2019 - 08/24/2019	1.03	1.06
35	08/25/2019 - 08/31/2019	1.04	1.07
36	09/01/2019 - 09/07/2019	1.05	1.08
37	09/08/2019 - 09/14/2019	1.05	1.08
38	09/15/2019 - 09/21/2019	1.06	1.09
39	09/22/2019 - 09/28/2019	1.05	1.08
40	09/29/2019 - 10/05/2019	1.03	1.06
41	10/06/2019 - 10/12/2019	1.02	1.05
42	10/13/2019 - 10/19/2019	1.00	1.03
43	10/20/2019 - 10/26/2019	1.00	1.03
44	10/27/2019 - 11/02/2019	1.00	1.03
45	11/03/2019 - 11/09/2019	1.00	1.03
46	11/10/2019 - 11/16/2019	1.00	1.03
47	11/17/2019 - 11/23/2019	1.00	1.03
48	11/24/2019 - 11/30/2019	1.00	1.03
49	12/01/2019 - 12/07/2019	1.00	1.03
50	12/08/2019 - 12/14/2019	1.00	1.03
51	12/15/2019 - 12/21/2019	1.00	1.03
52	12/22/2019 - 12/28/2019	1.00	1.03
53	12/29/2019 - 12/31/2019	1.00	1.03

\* PEAK SEASON

14-FEB-2020 15:39:27

830UPD

4\_9301\_PKSEASON.TXT

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

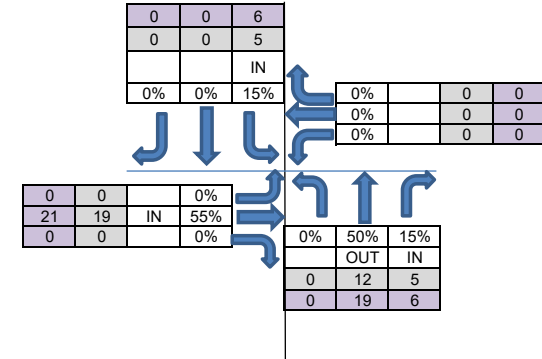
**CMA INTERSECTION ANALYSIS  
GULFSTREAM HOTEL  
LAKE AVENUE AND FEDERAL HIGHWAY**

INPUT DATA			
Comments:			
Growth Rate = 1.00%	Peak Season = 1.02	Current Year = 2021	Buildout Year = 2024

AM Peak Hour												
INTERSECTION VOLUME DEVELOPMENT												
	Northbound			Southbound			Eastbound			Westbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume (2021)		231	99	115	212		40	388	27			
Peak Season Adjustment		5	2	2	4		1	8	1			
Background Traffic Growth		7	3	4	7		1	12	1			
1.0% Background Growth		7	3	4	7		1	12	1			
Major Projects Traffic		7	4	1	7		5	4	0			
1% BGR + Major Projects		14	7	5	14		6	16	1			
Project Traffic		12	5	5	0		0	19	0			
<b>Total</b>	<b>0</b>	<b>262</b>	<b>113</b>	<b>127</b>	<b>230</b>	<b>0</b>	<b>47</b>	<b>431</b>	<b>28</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Approach Total</b>	<b>375</b>			<b>357</b>			<b>506</b>			<b>0</b>		
CRITICAL VOLUME ANALYSIS												
No. of Lanes		1	<	1	1		1	2	1			
Per Lane Volume		375		127	230		47	215	28			
Right on Red		10					60			60		
Overlaps Left		0			47		0			127		
Adj. Per Lane Volume	0	365		127	230		47	215	0	0	0	0
Through/Right Volume		365		230			215			0		
Opposing Left Turns		127		0			0			47		
Critical Volume for Approach		492		230			215			47		
Critical Volume for Direction		492			230			215			47	
<b>Intersection Critical Volume</b>							<b>707</b>					
<b>STATUS?</b>	<b>UNDER</b>											

HOTEL PROJECT TRIPS

	IN	OUT
AM	35	24
PM	39	37



PM Peak Hour												
INTERSECTION VOLUME DEVELOPMENT												
	Northbound			Southbound			Eastbound			Westbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume (2021)		240	52	97	346		51	270	51			
Peak Season Adjustment		5	1	2	7		1	5	1			
Background Traffic Growth		7	2	3	11		2	8	2			
1.0% Background Growth		7	2	3	11		2	8	2			
Major Projects Traffic		10	1	6	11		9	1	0			
1% BGR + Major Projects		17	3	9	22		11	9	2			
Project Traffic		19	6	6	0		0	21	0			
<b>Total</b>	<b>0</b>	<b>281</b>	<b>62</b>	<b>114</b>	<b>375</b>	<b>0</b>	<b>63</b>	<b>306</b>	<b>54</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Approach Total</b>	<b>343</b>			<b>489</b>			<b>422</b>			<b>0</b>		
CRITICAL VOLUME ANALYSIS												
No. of Lanes		1	<	1	1		1	2	1			
Per Lane Volume		343		114	375		63	153	54			
Right on Red		10					60			60		
Overlaps Left		0			63		0			114		
Adj. Per Lane Volume	0	343	0	114	375		63	153	0	0	0	0
Through/Right Volume		343		375			153			0		
Opposing Left Turns		114		0			0			63		
Critical Volume for Approach		457		375			153			63		
Critical Volume for Direction		457			375			153			63	
<b>Intersection Critical Volume</b>							<b>610</b>					
<b>STATUS?</b>	<b>UNDER</b>											

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

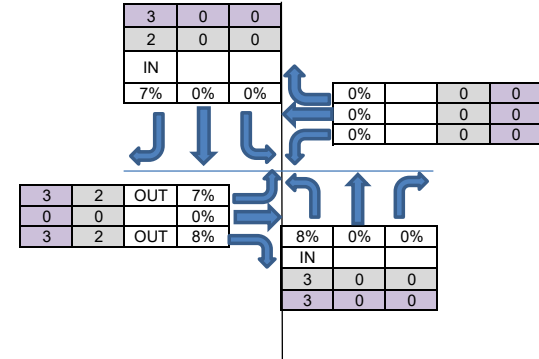
**CMA INTERSECTION ANALYSIS  
GULFSTREAM HOTEL  
LAKE AVENUE AND OCEAN BOULEVARD**

**HOTEL PROJECT TRIPS**

	IN	OUT
AM	35	24
PM	39	37

INPUT DATA			
Comments:			
Growth Rate =	1.69%	Peak Season =	1.03
Current Year =	2017	Buildout Year =	2024

AM Peak Hour												
INTERSECTION VOLUME DEVELOPMENT												
	Northbound			Southbound			Eastbound			Westbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume (2017)	90	186	13	4	90	103	454	53	292	5	47	14
Peak Season Adjustment	3	6	0	0	3	3	14	2	9	0	1	0
Background Traffic Growth	12	24	2	1	12	13	58	7	37	1	6	2
1.0% Background Growth	7	14	1	0	7	8	34	4	22	0	3	1
Major Projects Traffic	1	0	0	0	0	0	0	0	0	0	0	0
Background Growth Used	12	24	2	1	12	13	58	7	37	1	6	2
Project Traffic	3	0	0	0	0	2	2	0	2	0	0	0
<b>Total</b>	<b>107</b>	<b>215</b>	<b>15</b>	<b>5</b>	<b>104</b>	<b>121</b>	<b>528</b>	<b>61</b>	<b>340</b>	<b>6</b>	<b>54</b>	<b>16</b>
<b>Approach Total</b>	<b>338</b>			<b>230</b>			<b>929</b>			<b>76</b>		
CRITICAL VOLUME ANALYSIS												
No. of Lanes	2	1	1	1	2	1	2	1	1	1	2	<
Per Lane Volume	54	215	15	5	52	121	264	61	340	6	27	35
Right on Red	60			60			60			10		
Overlaps Left	6			264			3			5		
Adj. Per Lane Volume	54	215	0	5	52	0	264	61	277	6	25	25
Through/Right Volume	215			52			277			25		
Opposing Left Turns	5			54			6			264		
Critical Volume for Approach	220			106			283			289		
Critical Volume for Direction	220						289					
<b>Intersection Critical Volume</b>	<b>509</b>						<b>509</b>					
<b>STATUS?</b>	<b>UNDER</b>											



PM Peak Hour												
INTERSECTION VOLUME DEVELOPMENT												
	Northbound			Southbound			Eastbound			Westbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volume (2017)	323	155	17	20	189	423	170	97	136	21	108	20
Peak Season Adjustment	10	5	1	1	6	13	5	3	4	1	3	1
Background Traffic Growth	41	20	2	3	24	54	22	12	17	3	14	3
1.0% Background Growth	24	12	1	1	14	31	13	7	10	2	8	1
Major Projects Traffic	1	0	0	0	0	0	0	0	1	0	0	0
Background Growth Used	41	20	2	3	24	54	22	12	17	3	14	3
Project Traffic	3	0	0	0	0	3	3	0	3	0	0	0
<b>Total</b>	<b>377</b>	<b>180</b>	<b>20</b>	<b>23</b>	<b>219</b>	<b>493</b>	<b>200</b>	<b>112</b>	<b>161</b>	<b>24</b>	<b>125</b>	<b>23</b>
<b>Approach Total</b>	<b>576</b>			<b>735</b>			<b>473</b>			<b>173</b>		
CRITICAL VOLUME ANALYSIS												
No. of Lanes	2	1	1	1	2	1	2	1	1	1	2	<
Per Lane Volume	189	180	20	23	109	493	100	112	161	24	74	74
Right on Red	60			60			60			10		
Overlaps Left	24			100			3			23		
Adj. Per Lane Volume	189	180	0	23	109	333	100	112	98	24	64	64
Through/Right Volume	180			109			112			64		
Opposing Left Turns	23			189			24			100		
Critical Volume for Approach	203			298			137			164		
Critical Volume for Direction	298						164					
<b>Intersection Critical Volume</b>	<b>462</b>						<b>462</b>					
<b>STATUS?</b>	<b>UNDER</b>											

# **APPENDIX D**

## **TEST 2 ANALYSIS: LINK ANALYSIS**

**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 8**  
**TEST 2 - PROJECT SIGNIFICANCE CALCULATION**  
**AM PEAK HOUR**

TEST 2 - FIVE YEAR ANALYSIS  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 43  
TOTAL AM PEAK HOUR PROJECT TRIPS (EXITING) = 46  
HOTEL AM PEAK HOUR PROJECT TRIPS (ENTERING) = 35  
HOTEL AM PEAK HOUR PROJECT TRIPS (EXITING) = 24

STATION	ROADWAY**	FROM	TO	AM PEAK HOUR		ENTER/EXIT	EXISTING LANES	CLASS	LOS E STANDARD	TOTAL PROJECT IMPACT	COMMERCIAL HOTEL PROJECT IMPACT	PROJECT SIGNIFICANT
				PROJECT DISTRIBUTION	AM PEAK HOUR DIRECTIONAL TOTAL PROJECT TRIPS*							
4813	LUCERNE AVENUE	A STREET	DIXIE HIGHWAY	15%	7	EXIT	2LO	II	2240	0.31%	0.18%	NO
4811	LUCERNE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	35%	16	EXIT	2LO	II	2240	0.71%	0.36%	NO
N/A	LUCERNE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
N/A	LUCERNE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
4817	LAKE AVENUE	A STREET	DIXIE HIGHWAY	15%	6	ENTER	2LO	II	2240	0.27%	0.22%	NO
4815	LAKE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	55%	24	ENTER	2LO	II	2240	1.07%	0.85%	NO
N/A	LAKE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	85%	37	ENTER	2LO	II	2240	1.65%	1.34%	NO
N/A	LAKE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
4801	LAKE AVENUE	GOLFVIEW ROAD	OCEAN BOULEVARD	15%	6	ENTER/EXIT	4D	II	1870	0.32%	0.27%	NO
4800	DIXIE HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	20%	9	ENTER/EXIT	4	II	860	1.05%	0.81%	NO
N/A	DIXIE HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	20%	9	ENTER	4	II	860	1.05%	0.81%	NO
4820	DIXIE HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	20%	9	ENTER	4	II	860	1.05%	0.81%	NO
4820	DIXIE HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	20%	9	ENTER	4	II	860	1.05%	0.81%	NO
4820	DIXIE HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	20%	9	ENTER/EXIT	4	II	860	1.05%	0.81%	NO
4802	FEDERAL HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	15%	6	ENTER/EXIT	2	II	860	0.70%	0.58%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	15%	6	ENTER	2	II	860	0.70%	0.58%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	50%	23	EXIT	2	II	860	2.67%	1.40%	NO
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	15%	6	ENTER	2	II	860	0.70%	0.58%	NO
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	50%	23	EXIT	2	II	860	2.67%	1.40%	NO
4824	FEDERAL HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	15%	6	ENTER/EXIT	2	II	860	0.70%	0.58%	NO
4824	FEDERAL HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	15%	6	ENTER/EXIT	2	II	860	0.70%	0.58%	NO

**NOTES:**

\* THE RESIDENTIAL PROJECT DISTRIBUTION DETAILED IN THIS TABLE IS FOR INFORMATIONAL PURPOSES ONLY. THE PROPOSED PROJECT IS LOCATED IN A COASTAL RESIDENTIAL EXCEPTION AREA AND THE RESIDENTIAL PORTION IS THEREFORE NOT REQUIRED TO MEET THE PALM BEACH COUNTY TRAFFIC PERFORMANCE STANDARDS.

\*\* 1ST AVENUE SOUTH, 2ND AVENUE SOUTH, LAKESIDE DRIVE, AND GOLFVIEW ROAD WERE NOT EVALUATED AS PART OF THIS STUDY AS THESE ARE NON-THOROUGHFARE ROADS WITH LOW VOLUMES AND NO OPERATIONAL ISSUES ARE ANTICIPATED.



**GULFSTREAM HOTEL**

08/20/20  
Revised: 02/21/22

**TABLE 9  
TEST 2 - PROJECT SIGNIFICANCE CALCULATION  
PM PEAK HOUR**

TEST 2 - FIVE YEAR ANALYSIS  
1 MILE RADIUS OF DEVELOPMENT INFLUENCE  
TOTAL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 62  
TOTAL PM PEAK HOUR PROJECT TRIPS (EXITING) = 51  
HOTEL PM PEAK HOUR PROJECT TRIPS (ENTERING) = 39  
HOTEL PM PEAK HOUR PROJECT TRIPS (EXITING) = 37

STATION	ROADWAY**	FROM	TO	PM PEAK HOUR		ENTER/EXIT	EXISTING LANES	CLASS	LOS E STANDARD	TOTAL PROJECT IMPACT	COMMERCIAL HOTEL PROJECT IMPACT	PROJECT SIGNIFICANT
				PROJECT DISTRIBUTION	PM PEAK HOUR DIRECTIONAL TOTAL PROJECT TRIPS*							
4813	LUCERNE AVENUE	A STREET	DIXIE HIGHWAY	15%	8	EXIT	2LO	II	2240	0.36%	0.27%	NO
4811	LUCERNE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	35%	18	EXIT	2LO	II	2240	0.80%	0.58%	NO
N/A	LUCERNE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
N/A	LUCERNE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
4817	LAKE AVENUE	A STREET	DIXIE HIGHWAY	15%	9	ENTER	2LO	II	2240	0.40%	0.27%	NO
4815	LAKE AVENUE	DIXIE HIGHWAY	FEDERAL HIGHWAY	55%	34	ENTER	2LO	II	2240	1.52%	0.94%	NO
N/A	LAKE AVENUE	FEDERAL HIGHWAY	LAKESIDE DRIVE	85%	53	ENTER	2LO	II	2240	2.37%	1.47%	NO
N/A	LAKE AVENUE	LAKESIDE DRIVE	GOLFVIEW ROAD	0%	0	ENTER/EXIT	2LO	II	2240	0.00%	0.00%	NO
4801	LAKE AVENUE	GOLFVIEW ROAD	OCEAN BOULEVARD	15%	9	ENTER/EXIT	4D	II	1870	0.48%	0.32%	NO
4800	DIXIE HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	20%	12	ENTER/EXIT	4	II	860	1.40%	0.93%	NO
N/A	DIXIE HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	20%	12	ENTER	4	II	860	1.40%	0.93%	NO
4820	DIXIE HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	20%	12	ENTER	4	II	860	1.40%	0.93%	NO
4820	DIXIE HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	20%	12	ENTER	4	II	860	1.40%	0.93%	NO
4820	DIXIE HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	20%	12	ENTER/EXIT	4	II	860	1.40%	0.93%	NO
4802	FEDERAL HIGHWAY	10TH AVENUE NORTH	LUCERNE AVENUE	15%	9	ENTER/EXIT	2	II	860	1.05%	0.70%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	15%	9	ENTER	2	II	860	1.05%	0.70%	NO
N/A	FEDERAL HIGHWAY	LUCERNE AVENUE	LAKE AVENUE	50%	26	EXIT	2	II	860	3.02%	2.21%	NO
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	15%	9	ENTER	2	II	860	1.05%	0.70%	NO
4824	FEDERAL HIGHWAY	LAKE AVENUE	1ST AVENUE SOUTH	50%	26	EXIT	2	II	860	3.02%	2.21%	NO
4824	FEDERAL HIGHWAY	1ST AVENUE SOUTH	2ND AVENUE SOUTH	15%	9	ENTER/EXIT	2	II	860	1.05%	0.70%	NO
4824	FEDERAL HIGHWAY	2ND AVENUE SOUTH	6TH AVENUE SOUTH	15%	9	ENTER/EXIT	2	II	860	1.05%	0.70%	NO

**NOTES:**

\* THE RESIDENTIAL PROJECT DISTRIBUTION DETAILED IN THIS TABLE IS FOR INFORMATIONAL PURPOSES ONLY. THE PROPOSED PROJECT IS LOCATED IN A COASTAL RESIDENTIAL EXCEPTION AREA AND THE RESIDENTIAL PORTION IS THEREFORE NOT REQUIRED TO MEET THE PALM BEACH COUNTY TRAFFIC PERFORMANCE STANDARDS.

\*\* 1ST AVENUE SOUTH, 2ND AVENUE SOUTH, LAKESIDE DRIVE, AND GOLFVIEW ROAD WERE NOT EVALUATED AS PART OF THIS STUDY AS THESE ARE NON-THOROUGHFARE ROADS WITH LOW VOLUMES AND NO OPERATIONAL ISSUES ARE ANTICIPATED.



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March 2, 2022

City of Lake Worth Beach  
1900 2<sup>nd</sup> Avenue North  
Lake Worth Beach, FL 33461

SUBJECT: Gulfstream Hotel  
1 Lake Avenue  
Lake Worth, FL 33461  
**Drainage/Wellfield Narrative**

To Whom It May Concern:

The purpose of this letter is to describe the activity proposed for the above referenced project. This project includes the renovation of the existing Gulfstream Hotel and the construction of a new multi-story building with an interior parking garage. The site is approximately 1.49 acres and is located at 1 Lake Avenue, City of Lake Worth Beach, Palm Beach County, FL. The site is located on the south side of Lake Avenue (State Road 802) and is bounded on the east by South Golfview Road, on the west by South Lakeside Drive and the south by 1<sup>st</sup> Avenue.

### **Drainage Narrative**

The existing drainage system includes an outfall connection to an existing storm manhole located within Lake Avenue. The proposed drainage system includes five (5) new drainage wells to collect the roof and parking garage runoff. The below grade portion of the parking garage will be collected and pumped up by the to the exterior Civil system and will be a part of the MEP drawings. In addition, new exfiltration trenches are proposed for the at-grade portions of the alley and adjacent roadway. The intent is to meet and match existing grades as much as possible. The drainage wells will be capable of retaining the runoff from a 3-year, 1-hour storm (2.6" of rainfall) at a minimum. Drainage approvals from SFWMD and the FDOT will be secured prior to the issuance of the building permit.

This site is located within FEMA Flood Zone AE 6.0 per Flood Insurance Rate Map Number 120213 0781F, last revised on December 19, 2019. The finished floor elevation of the proposed building is Elevation 10.00 NAVD 88, and the elevation of the existing building is Elevation 6.95 NAVD 88 and will be Floodproofed.

**Wellfield Narrative**

The site is located within Zone 4 of the Wellfield Protection Zone. See attached Wellfield Map.

Sincerely,



Nelson Ortiz, P.E.  
**Principal**

PE-57556

# National Flood Hazard Layer FIRMMette



80°3'15"W 26°37'11"N



**GULFSTREAM HOTEL IS LOCATED IN ZONE AE EL. 6 FEET**

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>	With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway

		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>

OTHER AREAS OF FLOOD HAZARD	NO SCREEN	Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
		Area of Undetermined Flood Hazard <i>Zone D</i>

		Culvert, or Storm Sewer
		Levee, or Floodwall
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

		Digital Data Available
		No Digital Data Available
		Unmapped

		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.
--	--	--

		Digital Data Available
		No Digital Data Available
		Unmapped

		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

		Digital Data Available
		No Digital Data Available
		Unmapped

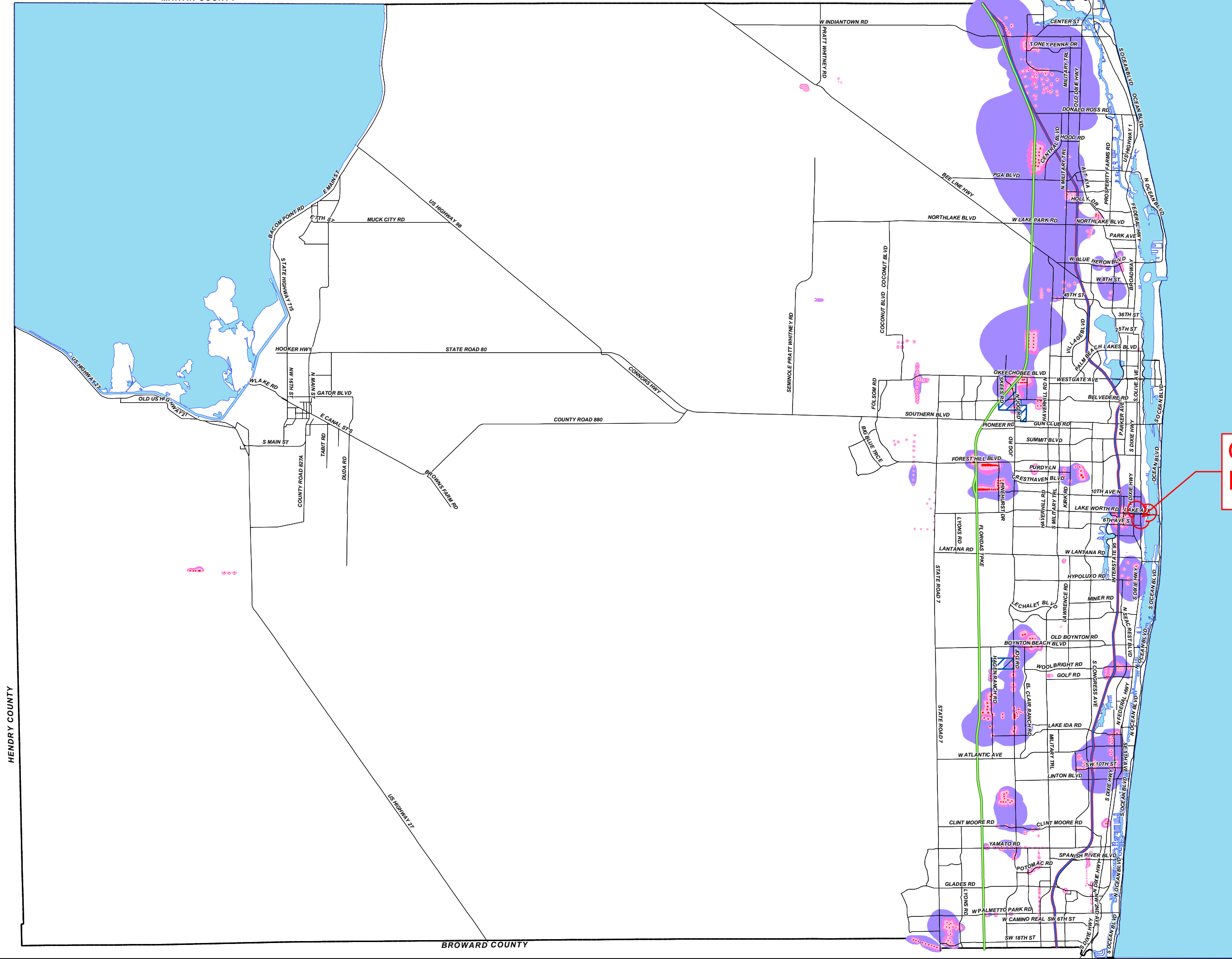
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards






The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/11/2022 at 11:48 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

MARTIN COUNTY



**MAP LU 4.1**  
**WELLFIELD PROTECTION**  
**ZONES IN PALM BEACH**  
**COUNTY, FLORIDA**

-  Zone 1
-  Zone 2
-  Zone 3
-  Zone 4
-  Turnpike Aquifer Protection Overlay

**GULFSTREAM HOTEL IS LOCATED IN ZONE 4**

9J-5.006(4)(B)1  
 SOURCES:  
 PBC Dept. of Environmental Resources Management  
 Note: Official Wellfield Protection Maps are kept at, and can be obtained from, the Palm Beach County Department of Environmental Resources Management.  
 The information presented represents the most readily available data. No guarantee is made as to the completeness or accuracy of the information displayed. Consult appropriate County staff for final determination.



**PALM BEACH COUNTY**  
**COMPREHENSIVE PLAN**  
**MAP SERIES**



Effective Date: 10/29/04  
 Filename: N:\Map Series\MXD\Adopted  
 Contact: PBC Planning Dept.

HENDRY COUNTY

BROWARD COUNTY



**AGENDA**  
**CITY OF LAKE WORTH BEACH**  
**REGULAR CITY COMMISSION MEETING**  
**CITY HALL COMMISSION CHAMBER**  
**TUESDAY, JUNE 21, 2022 - 6:00 PM**

**ROLL CALL:**

**INVOCATION OR MOMENT OF SILENCE:** led by Mayor Betty Resch.

**PLEDGE OF ALLEGIANCE:** led by Vice Mayor Christopher McVoy.

**AGENDA - Additions / Deletions / Reordering:**

**CITY MANAGER'S REPORT:**

**PRESENTATIONS:** (there is no public comment on Presentation items)

- A. Legislature Session Update by State Representative David Silvers
- B. Proclamation recognizing the LWHS boys' basketball team achievement in reaching the State Championship
- C. Proclamation declaring June 27, 2022 as National HIV Testing Day
- D. Quarterly CRA Update by Joan Oliva, CRA Director

**COMMISSION LIAISON REPORTS AND COMMENTS:**

**PUBLIC PARTICIPATION OF NON-AGENDAED ITEMS AND CONSENT AGENDA:**

**APPROVAL OF MINUTES:**

- A. Special Meeting - May 18, 2022
- B. Regular Meeting - May 19, 2022
- C. Work Session - May 23, 2022
- D. Budget Work Session #1 - May 24, 2022

**CONSENT AGENDA:** (public comment allowed during Public Participation of Non-Agendaed items)

- A. Resolution XX-2022 - directing the development of a preliminary assessment roll for non-ad valorem assessments for lot clearing and boarding and securing costs

**PUBLIC HEARINGS:**

- A. Ordinance 2022 -08 - First Reading - A planned development, major site plan, conditional use permit and sustainable bonus requests for Detroit St/ Buffalo St at 7 Detroit Street and 26 Buffalo Street to construct an approximately 36-story, 60-unit

multi-family mid-rise residential structure. The sustainable bonus request is for an additional 6 feet (1- story) of height. The property is zoned Mixed-Use West (MU-W).

- B. Ordinance 2022-06 - Second Reading - Consideration of an ordinance amending Chapter 23 “Land Development Regulations,” Article 2 “Administration,” Division 2 “Procedures,” adding a new Section 23.3-20 “Applicant’s Public Neighborhood Meeting and Outreach,” providing for an applicant held public neighborhood meeting and virtual outreach

**UNFINISHED BUSINESS:**

**NEW BUSINESS:**

- A. Task Order # 3 with CPZ Architects, INC for the Lake Worth Beach Complex Conceptual Plans Design, Cost Estimates & Construction Design and Construction Phase Services
- B. Resolution No. xx-2022 – Sunsetting the City’s Economic Investment Incentive Program
- C. Provide for second amendment to the professional services agreement with NZ Consultants to allow for additional expenditure of funds for services
- D. Resolution No. 35-2022 amending the annual debt service associated with the Combined Utility Bonds
- E. Resolution No. 36-2022 - Establishment of a Risk Management Policy for the City of Lake Worth Beach

**CITY ATTORNEY'S REPORT:**

**UPCOMING MEETINGS AND WORK SESSIONS:**

**ADJOURNMENT:**

The City Commission has adopted Rules of Decorum for Citizen Participation (See Resolution No. 25-2021). The Rules of Decorum are posted within the City Hall Chambers, City Hall Conference Room, posted online at: <https://lakeworthbeachfl.gov/government/virtual-meetings/>, and available through the City Clerk’s office. Compliance with the Rules of Decorum is expected and appreciated.

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)